

# CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	ROBERT L. EDDY, 4415 Cowell Road., Sacramento, CA 94518
OWNER	Mt. Pilgrim Baptist Church - 4800 Martin Luther King Blvd.
PLANS BY	Robert L. Eddy, 4415 Cowell Road, Sacramento, CA 94518
FILING DATE	1/26/89
ENVIR. DET.	Exempt 15301 e2
ASSESSOR'S PCL. NO.	022-024-045
REPORT BY	.vf

**APPLICATION:** Special Permit to allow a 2,732+ sq. ft. church addition on 0.5+ developed acres in the Standard Single Family (R-1) zone.

**LOCATION:** 4800 Martin Luther King Boulevard

**PROPOSAL:** The applicant is requesting the necessary entitlements to increase the size of an existing church with a social hall, multi-purpose room and offices.

**PROJECT INFORMATION:**

General Plan Designation: Low Density Residential (4-15 du/na)  
Existing Zoning of Site: R-1  
Existing Land Use of Site: Church

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Residential; R-1	Front:	25'	25'
South: Vacant; R-1	Side (Int):	5'	72'
East: Residential; R-1	Side (St):	12-1/2'	15'
West: Residential; R-1	Rear:	15'	25'

Parking Required: 22 spaces (1 space per 6 seats - 130 seats)  
Parking Provided: 27 spaces  
Property Dimensions: 150' x 150'  
Property Area: 0.5+ acres

Square Footage of Building: Existing: 4,036  
Proposed Addition: 2,732

Height of Building: 22 feet  
Topography: Flat  
Street Improvements: Existing  
Utilities: Existing  
Exterior Building Materials: Concrete Block & Stucco  
Roof Material: Built-up roof/asphalt

**BACKGROUND INFORMATION:**

On September 26, 1972, a Special Permit was approved to allow the construction of a 3,600 sq. ft. church (P-5251). Additional square footage totaling 4,036 was built prior to final Special Permit approval.

PROJECT INFORMATION: Staff has the following comments:

A. Land Use and Zoning

The subject site consists of one parcel totaling 0.5+ developed acres located in the Standard Single Family (R-1) zone. The General Plan designates the site for Low Density Residential (4-15 du/na). Churches are allowed in an R-1 zone subject to the granting of a Special Permit. Surrounding land uses and zoning includes residential to the north, east and west, zoned R-1; and a vacant lot to the south, zoned R-1. The site is located in the Oak Park Design Review Preservation District and Redevelopment area. Currently, the church is known as Mount Pilgrim Baptist Church.

B. Applicant's Proposal

The applicant is proposing to construct a 2,732 sq. ft. addition to an existing 4,036 sq. ft. church. The proposed addition will consist of a 2,112 sq. ft., two story social hall (1st floor) and a multi-purpose room with offices (2nd floor). The 2,112 sq. ft. addition will be attached to the existing church structure on the southern portion of the building. The remaining 620 square feet will be constructed at the rear and will contain the Pastor and Deacon's offices.

C. Staff Analysis

Staff had no problems with the proposed addition. The addition will be compatible with the church's building material and design. The applicant worked with the City's Design Review Coordinator for review and comment of the proposed addition. After discussion with Planning Staff and the Design Review Coordinator, the applicant revised the elevations for a more interesting and compatible addition. The project is tentatively scheduled for review by the Design Review Preservation Board on March 15, 1989.

A minimum six foot masonry wall is required, if a church abuts a residential use or zone. Staff observes a leaning cyclone fence between the church site and residential use along the west property line. Staff recommends that a six foot masonry wall be placed on the west and south property lines to screen and allow for a visual buffer between the two uses. Staff also noticed air conditioning equipment on top of the building. Staff recommends that all mechanical equipment be adequately screened. The screening material shall be reviewed and approved by the Planning Director prior to issuance of building permits.

D. Parking

There are currently twenty-seven (27) parking spaces on site, two of which are handicap. In addition, two striped parallel parking spaces are located on site on the west portion. The Zoning Ordinance requires one (1) space for every six (6) seats. Currently, the total seating capacity in the church is

130. A total of twenty-two (22) parking spaces are, therefore, required. Parallel parking is not allowed, therefore, staff recommends that the two existing parallel spaces be removed.

E. Agency Comments

The proposal was routed to the City's Traffic Engineer, Engineering, Building Inspections, City Police and City Water and Sewer. The project was also routed to Oak Park PAC. The following comments were received.

1. Police Department

A six foot masonry wall to separate the church property from the neighboring residence shall be provided.

2. Traffic Engineering

Repair/replace any substandard improvements.

3. Sacramento Housing and Redevelopment Agency

The agency supports the requested expansion. (see attached letter)

ENVIRONMENTAL DETERMINATION: The proposed project is exempt from environmental review, pursuant to CEQA Guidelines (Section 15301 e2).

RECOMMENDATION: Staff recommends the Commission approve the Special Permit request subject to conditions and based upon findings of fact which follow:

Conditions

1. A six foot masonry wall shall be placed on the west and south property lines prior to issuance of a building permit.
2. All mechanical equipment on the roof shall be adequately screened. The screening material shall be reviewed and approved by the Planning Director prior to issuance of building permits.
3. The two parallel parking spaces located on the west property line shall be removed.
4. The applicant shall repair or replace any substandard improvements to the satisfaction of the City Traffic Engineer.

Findings of Fact

1. The project, as conditioned, is based on sound principles of land use in that the project is compatible with surrounding land uses in the area which include residential and commercial.

2. The project, as conditioned, will not be detrimental to the public health, safety or welfare, nor result in the creation of a nuisance in that the project provides adequate setbacks, landscaping, parking and screening.
3. The project is consistent with the City's General Plan in that the subject site is designated for low density residential and churches are allowed in a residential area subject to a Special Permit.

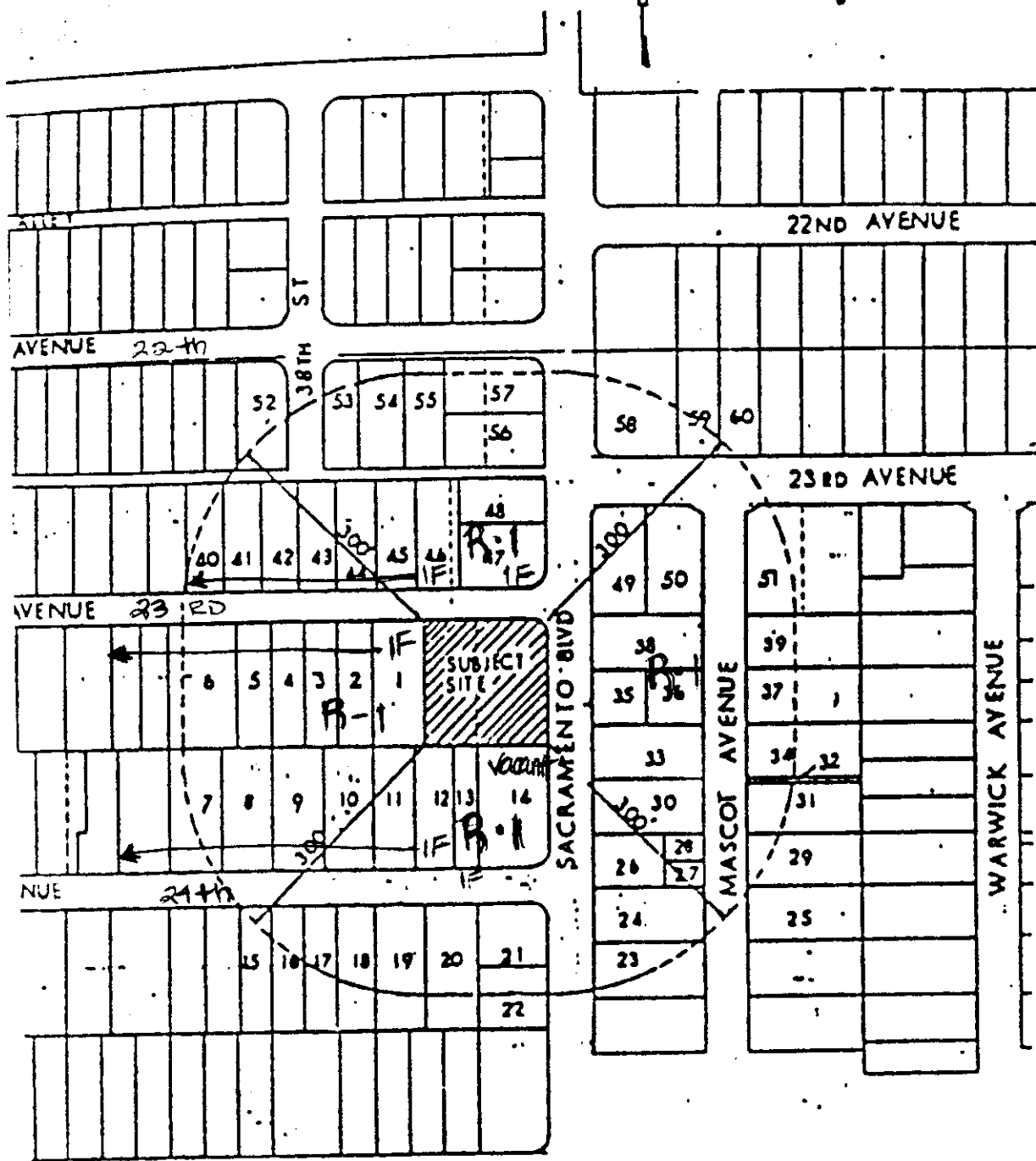


VICINITY MAP

PEP-073

3-7-8-9

Item #2



# LAND USE & ZONING MAP

FE9-073

3-2-89

Item #25

# EXHIBIT A SITE PLAN

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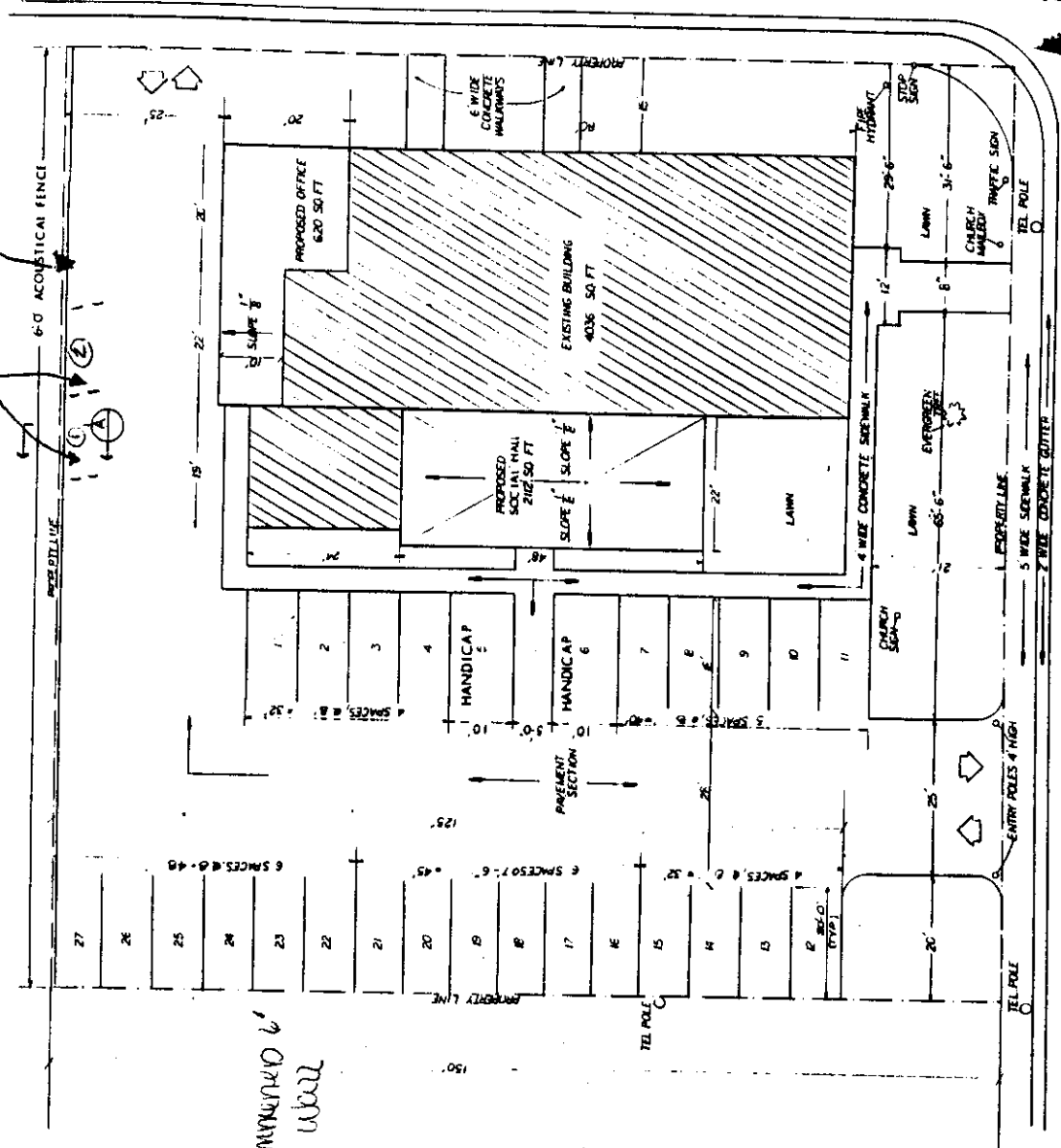
MARTIN LUTHER KING BLVD. 89073

CONTRACTORS ASSISTANCE SERVICE  
MOUNT PILGRIM BAPTIST CHURCH  
ROBERT EDDY, C.M.A. ENGINEER  
4415 CORNELL ROAD, SUITE 2020  
CONCORD, CA 94520

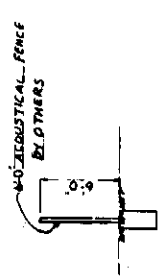
NOTES:

- EXISTING BUILDING AREA 4036  
PROPOSED SOCIAL HALL & OFFICES 620  
TOTAL AREA 6716 50 FT
- EXISTING PARKING STALLS 33  
(ASSUMING OCCUPANCY IS SANCTUARY OCCUPANCY)
- APPLICANT SHALL OBTAIN A SOIL REPORT FROM THE PROJECT ENGINEER BEFORE BEGINNING CONSTRUCTION OF THE PROPOSED BUILDING FOUNDATIONS
- UTILITY LINES SHALL BE POSTED VIA CONSPICIOUS POLES WITHIN THE BUILDING AREA.

parallel parking  
Recommended 6' wall



Recommended 6' wall



SECTION A  
6'-11.0"

1-24.81	DATE	A-5
1-17-89	BY	
1-17-89	CHECKED	
1-17-89	SCALE	
1-17-89	NO.	

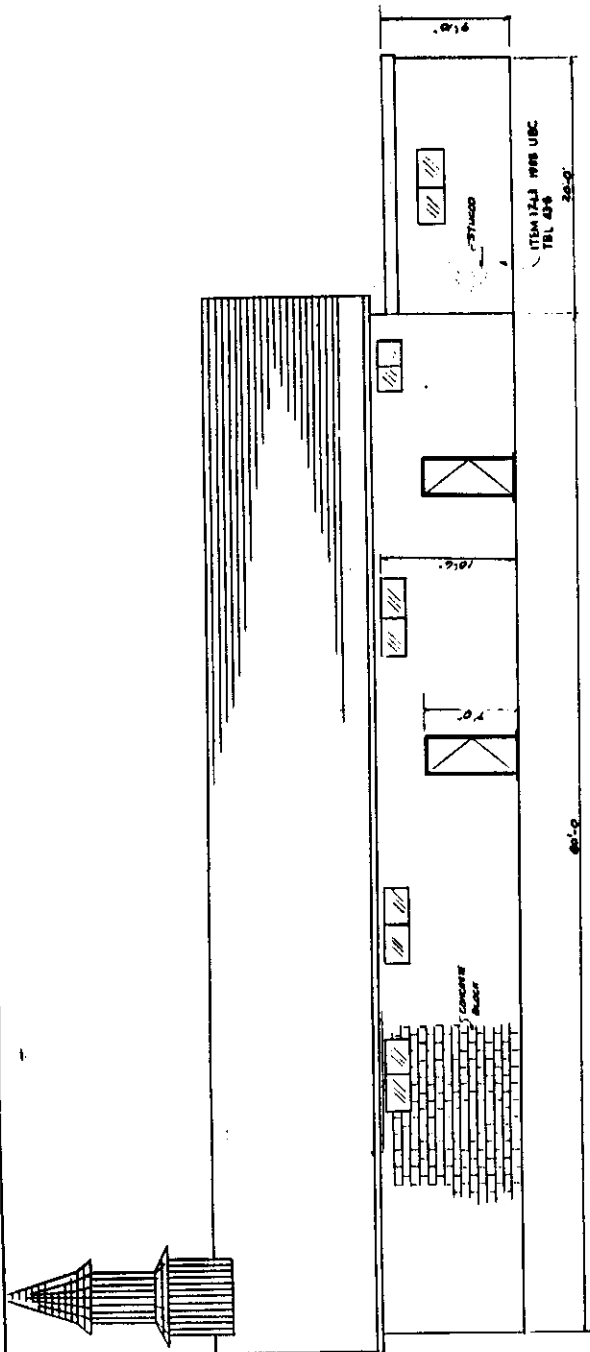
CONTRACTORS ASSISTANCE SERVICE  
 MT PILGRAM BAPTIST CHURCH  
 SIDEWALL ELEVATIONS

ROBERT L. EDDY  
 445 COWELL ROAD  
 CONCORD, CA 94521  
 415-685-0647

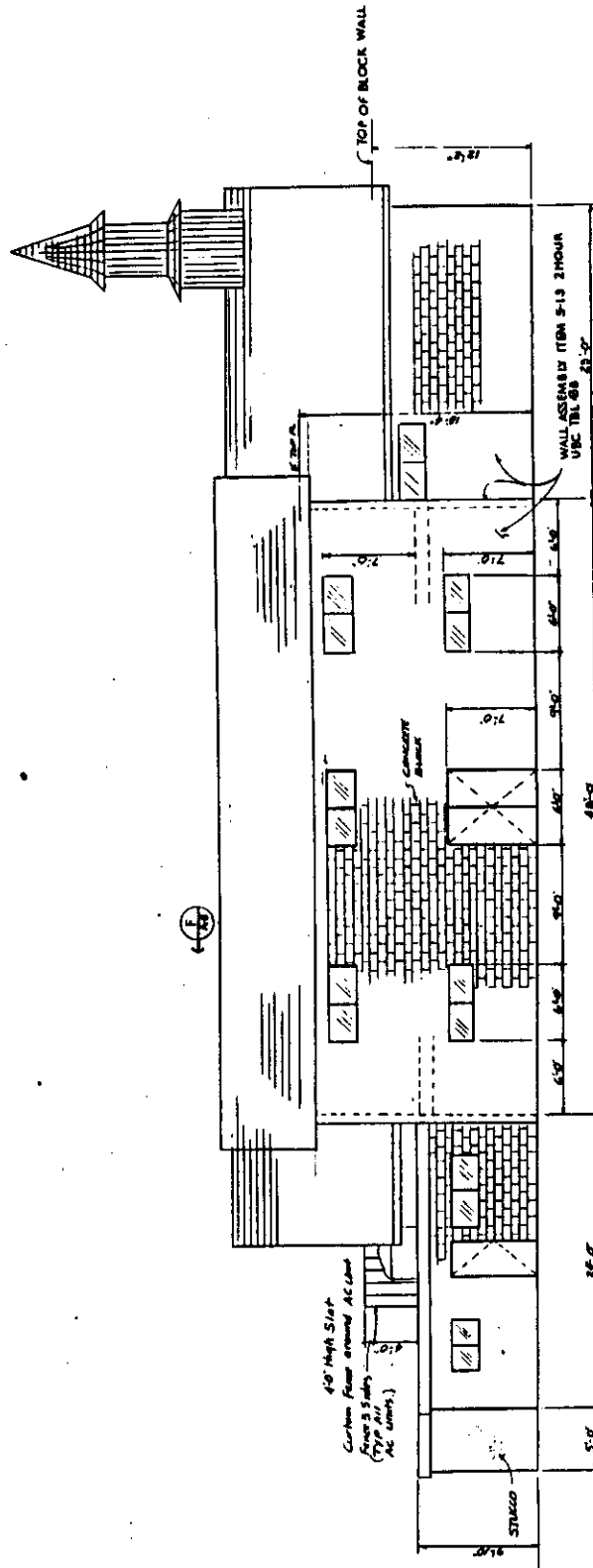
# EXHIBIT B ELEVATIONS



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 P89073



NORTH ELEVATION  
 SCALE 1/8" = 1'-0"



SOUTH ELEVATION  
 SCALE 1/8" = 1'-0"

P89-073

3-9-89

Item # 25



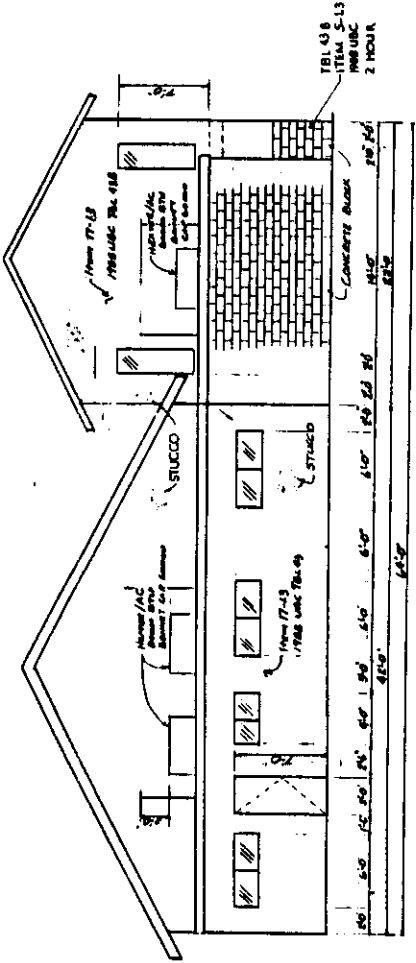
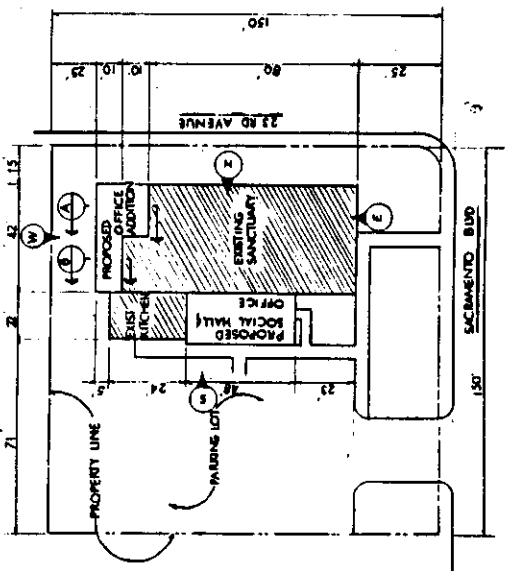
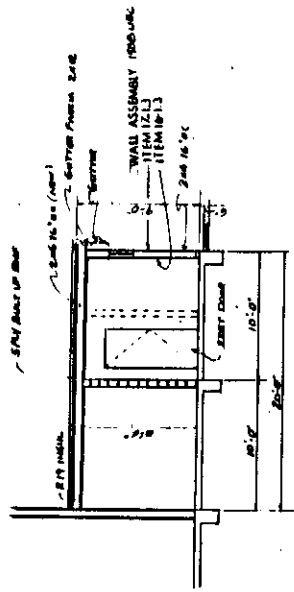
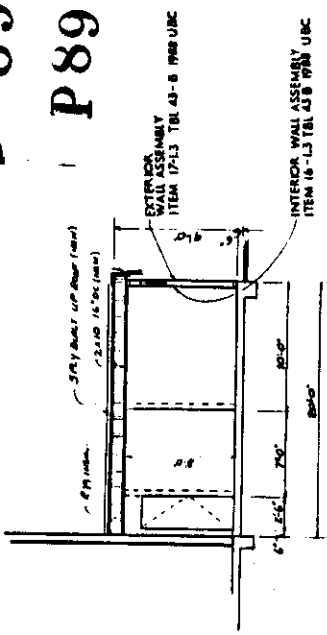
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P89073

CONTRACTORS ASSISANCE SERVICE  
MT PILGRAM BAPTIST CHURCH  
ENDWALL ELEVATIONS & SECTIONS  
ROBERT L BDDY CIVIL ENGINEER  
4415 COWELL ROAD  
CONCORD CA 94521  
10/25/87

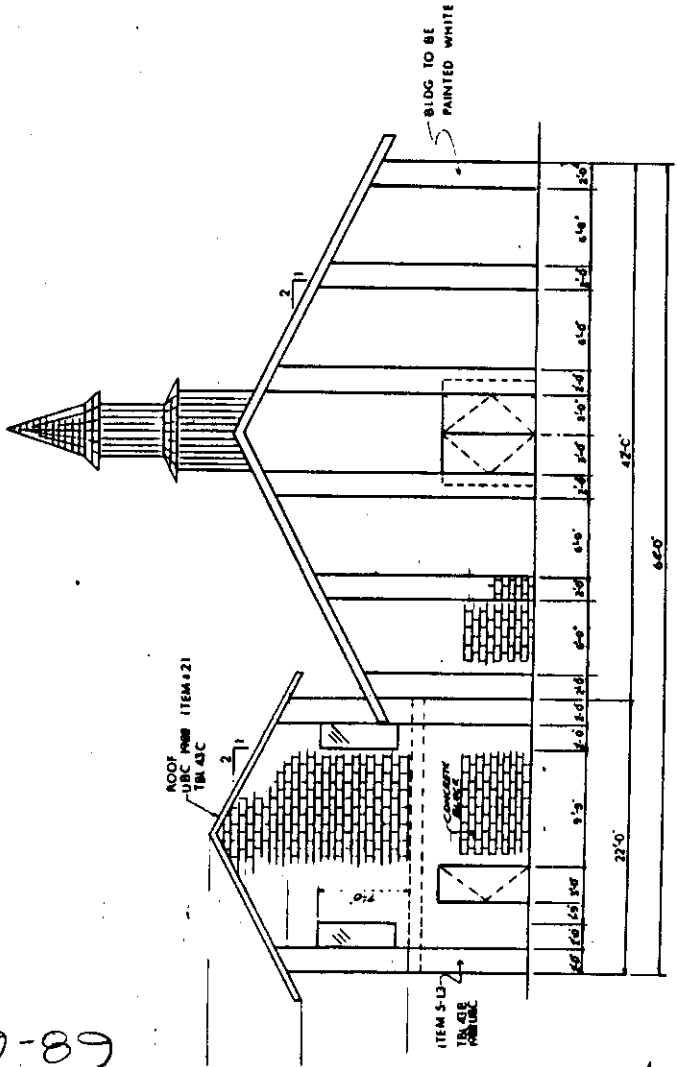
DATE: 10/25/87  
SCALE: 1"=1'-0"  
SHEET: 1 OF 2  
PROJECT: A-4



**EXHIBIT C  
ELEVATIONS**



WEST ELEVATION  
SCALE 1/2" = 1'-0"



EAST ELEVATION  
SCALE 1/2" = 1'-0"

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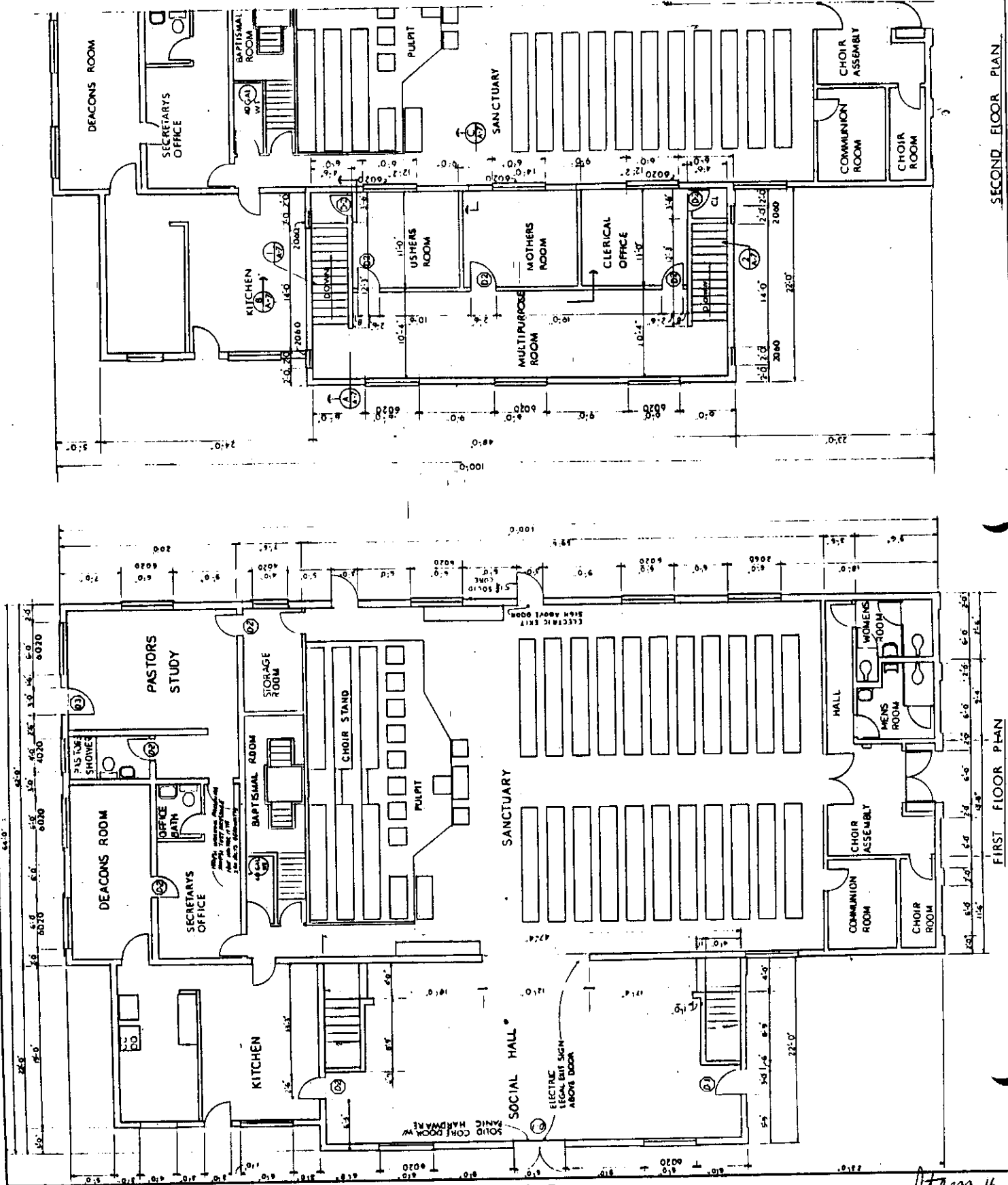
Item #25

89073 P89073

EXHIBIT D

CONTRACTORS ASSOCIATE SERVICE  
 MT PILGRAM BAPTIST CHURCH  
 FLOOR PLANS  
 4115 COWELL ROAD  
 CONCORD CA 94521  
 ROBERT EDDY CIVIL ENGINEER

11-20-89  
 11-21-89  
 11-22-89  
 11-23-89  
 11-24-89  
 11-25-89  
 11-26-89  
 11-27-89  
 11-28-89  
 11-29-89  
 11-30-89  
 A-3



P89-073

3-9-89

Item # 25

SECOND FLOOR PLAN

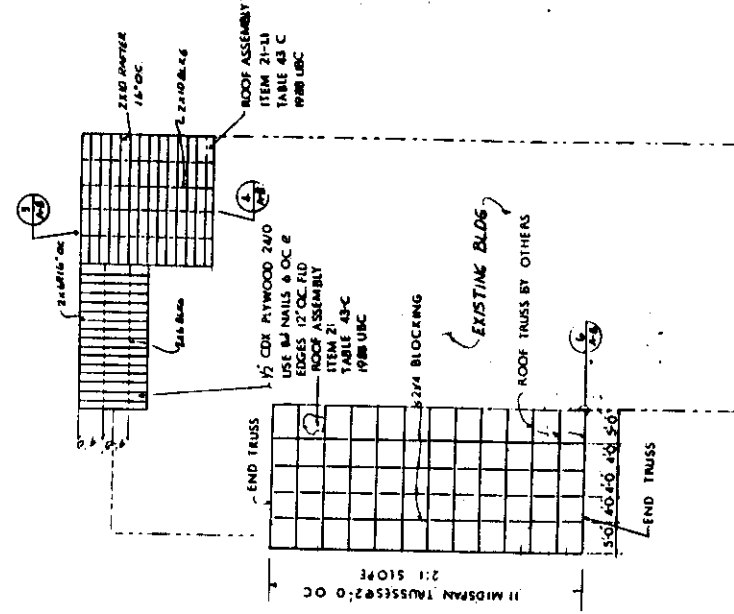
FIRST FLOOR PLAN

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P89073

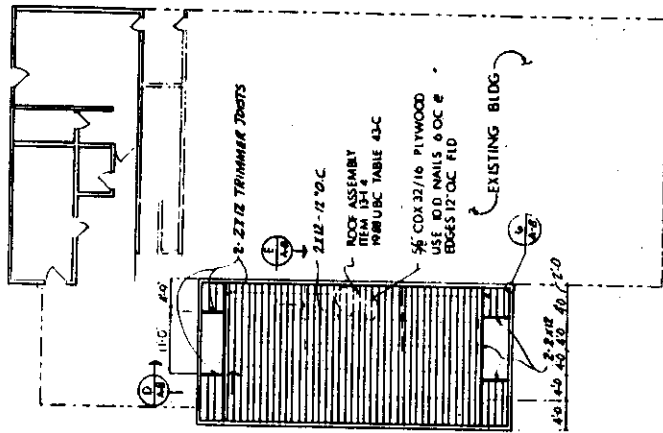
EXHIBIT E

DATE	11/1/89
BY	...
CHECKED	...
SCALE	...
PROJECT	...
NO.	A-6

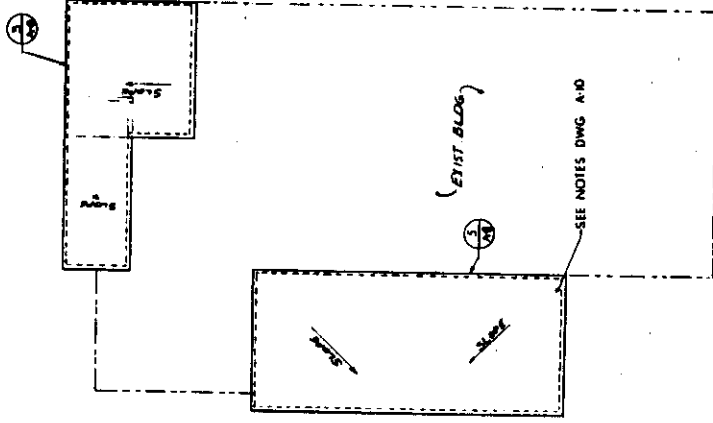
CONTRACTORS ASSISTANCE SERVICE  
MOUNT PILGRIM BAPTIST CHURCH  
FRAMING PLANS



ROOF PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

P89-073

3-9-89

Handwritten signature/initials

EXHIBIT F

CONTRACTORS ASSISTANCE SERVICE  
MOUNT PLEASANT BAPTIST CHURCH  
FRAMING PLANS

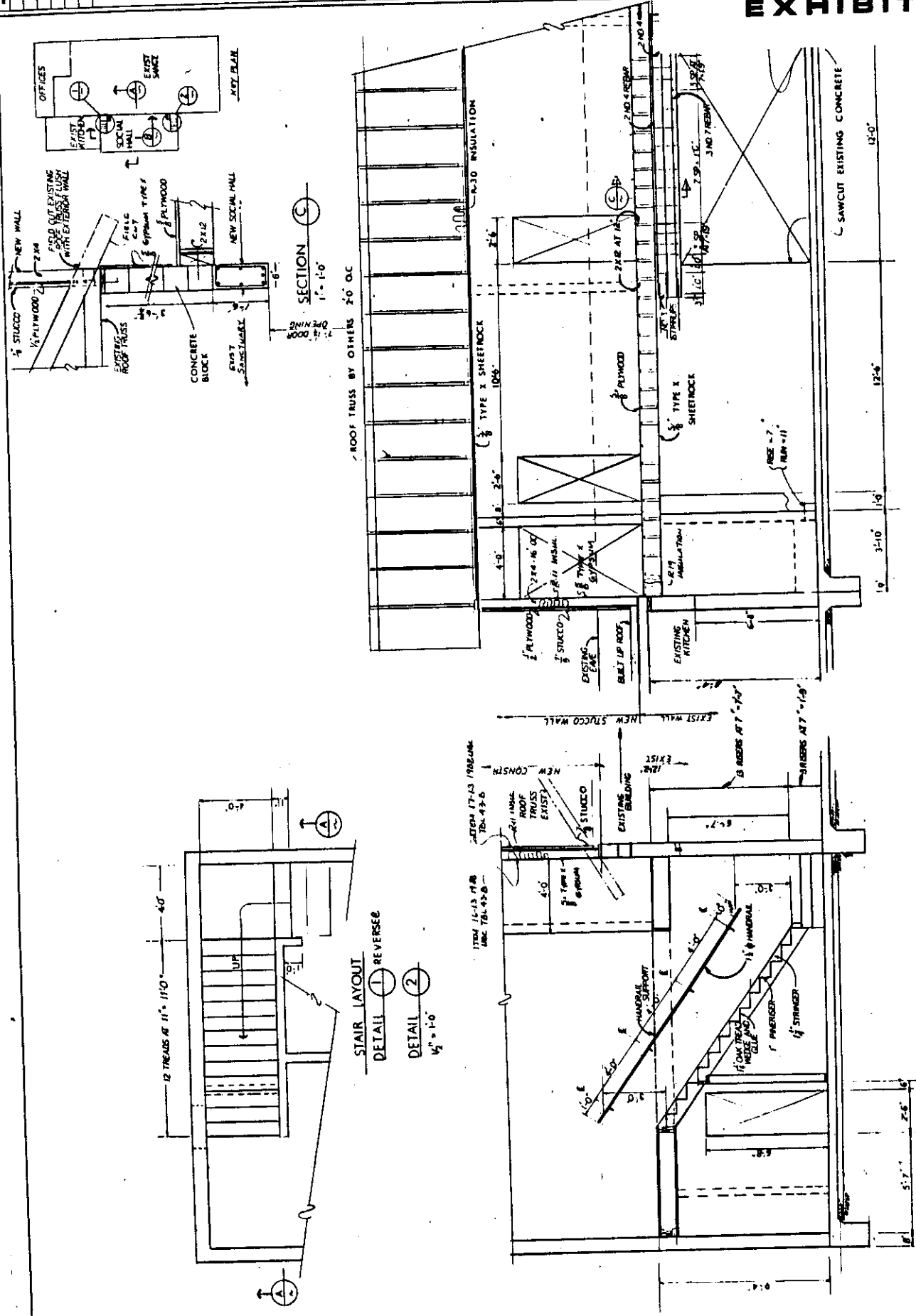


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SECTION B  
1/2" = 1'-0"

SECTION A  
1/2" = 1'-0"



P89-073

3-9-89

Item #25

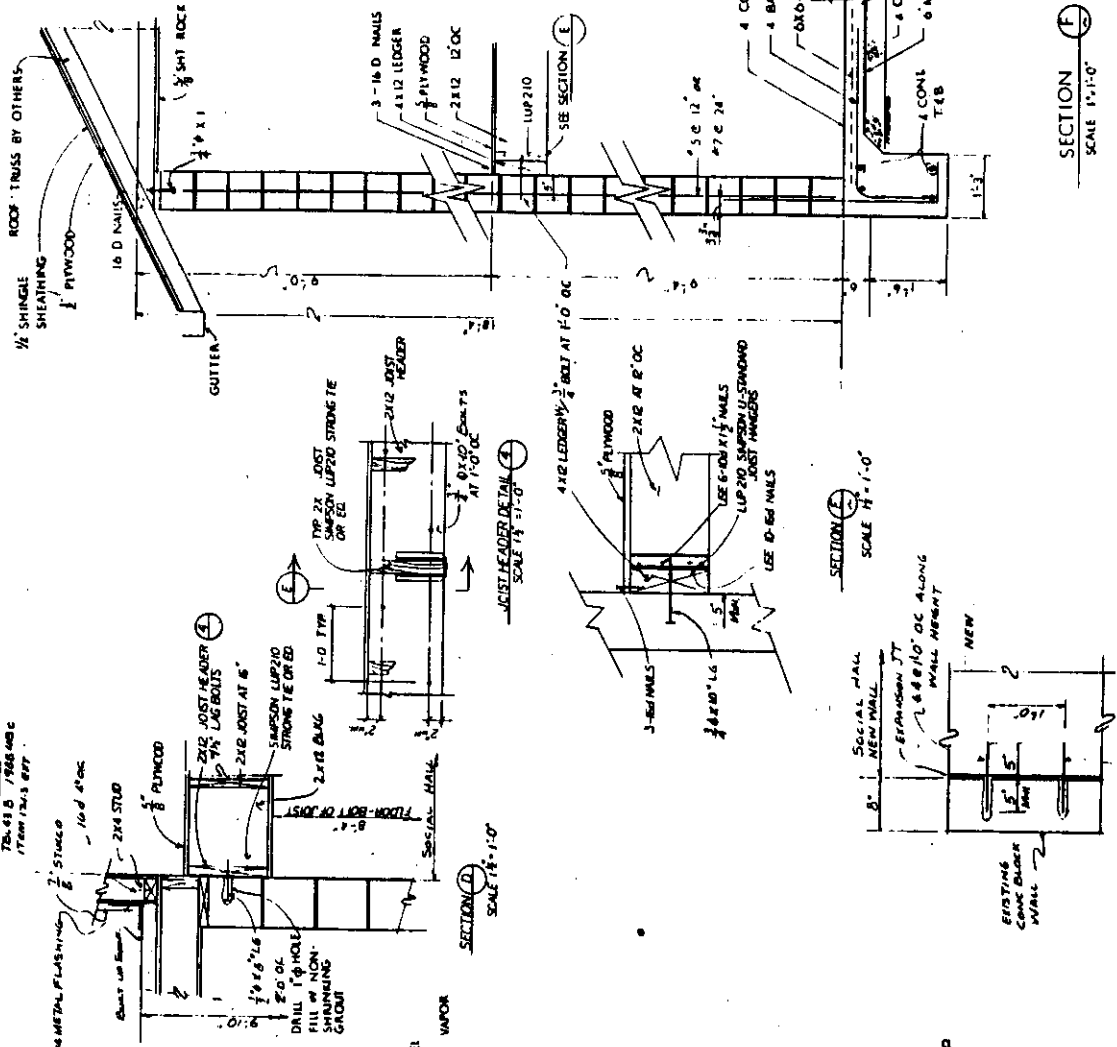
EXHIBIT G

DOOR SCHEDULE		
NO.	TYPE	FINISH
1	SC	PAINTED
2	SC	PAINTED

WINDOW SCHEDULE		
NO.	TYPE	FINISH
1	SC	PAINTED
2	SC	PAINTED

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
RECIPTABLES	
Ⓚ	THREE WAY LIGHT SWITCH
Ⓝ	EXTERIOR MTD MERCURY VAPOR FIXTURE
Ⓛ	CEILING LIGHTING
Ⓢ	SWITCH

NOTE  
O.S. SMALL MAKE A 1" DEAD BOLT LOCK IN  
ADDITION TO A KEY LOCK SET



SECTION 1 SCALE 1 1/2" = 1'-0"

SECTION 2 SCALE 1 1/2" = 1'-0"

SECTION 3 SCALE 1 1/2" = 1'-0"

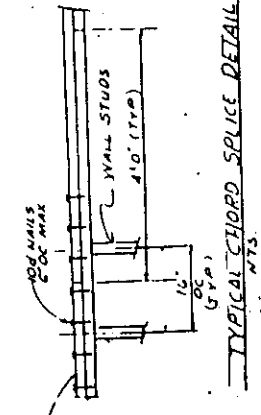
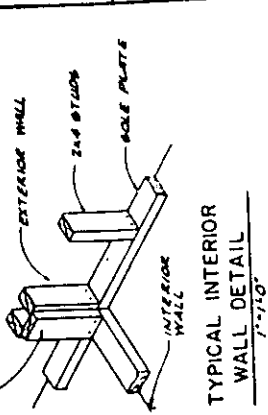
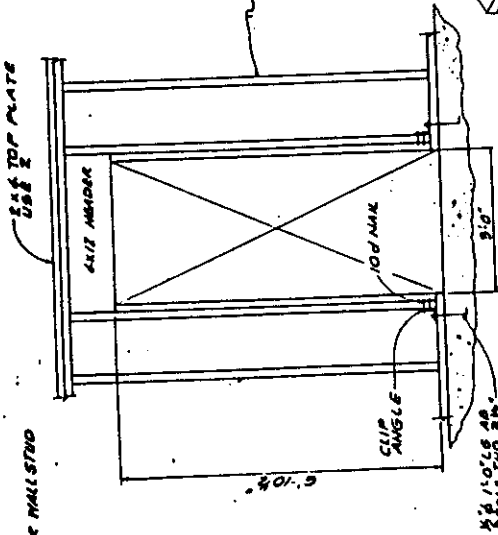
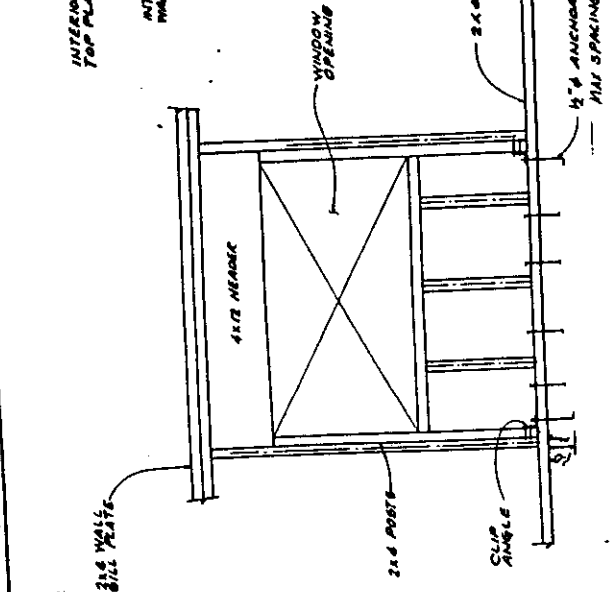
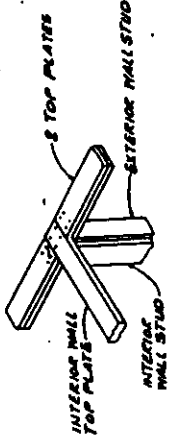
EXISTING DETAIL 1 SCALE 1 1/2" = 1'-0"

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P89073

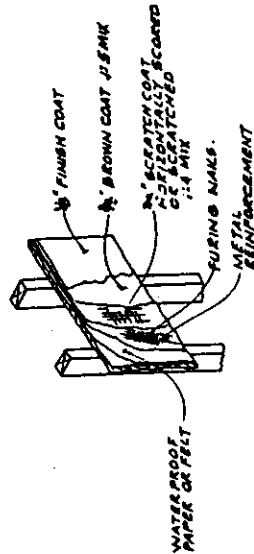
LAST PAGE



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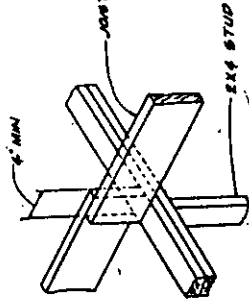


TYPICAL WINDOW FRAMING DETAIL  
11'-0"

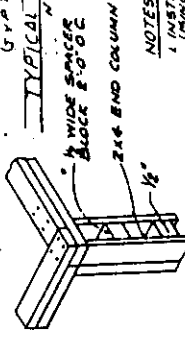


TYPICAL STUCCO TO WALL FRAME  
11'-0"

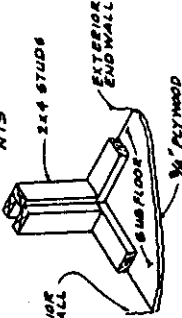
TYPICAL DOOR OPENING DETAIL  
1/2" x 11'-0"



TYPICAL JOIST SUPPORT DETAIL  
11'-0"



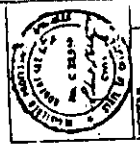
TYP. END CHORD SPLICE DETAIL  
NTS



TYPICAL EXTERIOR CORNER DETAIL  
11'-0"

NOTES  
 1. INSTALL ALL WOODEN MEMBERS IN ALL WALLS, 1/2" MIN. SPACING ON TABLE TOP SURFACE FOR 1989 UBC.  
 2. JOIST END CHORD SPLICES SHALL HAVE THEIR ENDS PROTECTED WITH 1/2" PLYWOOD, 1/2" MIN. THICKNESS AS REQUIRED. SEE PAGE 200 MBS UBC.  
 3. JOISTS SHALL BE LAPPED AT LEAST 4 INCHES.

EXHIBIT I



TYPICAL TRADING DETAIL  
 ROBERT EDDY - CIVIL ENGINEER  
 1340 BENT TREE LANE  
 CONCORD CA 94521

NO.	REVISIONS	DATE			BY	CHECKED	APPROVED
		START	END	TIME			

89073



**SACRAMENTO  
HOUSING AND REDEVELOPMENT  
AGENCY**



RECEIVED

FEB 10 1989

Planning and Development

February 9, 1989

Marty Van Duyn  
Planning Department  
City of Sacramento  
1231 I Street  
Sacramento, CA 95814

SUBJECT: Mt. Pilgrim Baptist Church Special Permit

Dear Marty:

The Sacramento Housing and Redevelopment Agency has reviewed the requested expansion of the Mt. Pilgrim Baptist Church on 23rd Avenue and Martin Luther King Boulevard. Staff finds this use to be consistent with the Oak Park Redevelopment Plan and recommends that a special permit be granted.

Sincerely,

ANNE MOORE  
Program Manager

AM:DR:jr

0709Q

