

CITY PLANNING COMMISSION

915 "I" STREET - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Morton & Pitalo, Inc 1767 "J" Tribute Rd., Sacramento, Ca. 95815				
OWNER	Johan Lindstrom, 80 Lynwood Place, Moraga, Ca. 94556				
PLANS BY	Morton & Pitalo, Inc.				
FILING DATE	7-22-83	50 DAY CPC ACTION DATE		REPORT BY:	TM:mm
NEGATIVE DEC	8-5-83	EIR		ASSESSOR'S PCL NO.	117-012-18

- APPLICATION:
1. Negative Declaration
 2. General Plan Amendment from Commercial /Office to Residential
 3. Community Plan Amendment from Shopping/Commercial to Medium Density Residential
 4. Rezone from C-2 (PUD) to R-3 (PUD)
 5. Amendment of Valley Hi Centrum PUD Schematic Plan
 6. Special Permit for 211 condominium units
 7. Subdivision Modification to waive sewer and water service connections.
 8. Tentative Map (P83-244)

LOCATION: Northwest corner of Bamford Drive and Valley Hi Drive

PROPOSAL: The applicant is requesting the necessary land use entitlements to develop 211 airspace condominium units

PROJECT INFORMATION:

1974 General Plan Designation:	Commercial/Office
1968 Valley Hi Community Plan Designation:	Shopping/Commercial
Existing Zoning of Site:	C-2 (PUD)
Existing Land Use of Site:	Vacant
Surrounding Land Use and Zoning:	
North:	Shopping Center; and C-2
South:	Single Family; and R-1
East:	Shopping Center; and C-2
West:	Townhouses; and R-1A-R
Parking Required:	211
Parking Provided:	318
Ratio Required:	1 space per dwelling unit
Ratio Provided:	1.51 spaces per dwelling unit
Property Dimensions:	Irregular
Property Area:	8.3 acres residential and .9± acres commercial
Density of Development:	25 units per net acre
Square footage of units:	466, 750, 862, 870, 920, and 948
Height of structure(s)	40 maximum; 35 feet to plate line
Topography:	Flat
Street Improvements:	Existing
Utilities:	Available to site
Exterior building colors:	Earthtones
Exterior building materials:	Wood and stucco

003485

- 4) The private drive servicing the residential portion of the site should be increased to a minimum width of 36 feet;
- 5) Approximately seven on-site fire hydrants will be required.

The City Engineer requested waiver of sewer and water service connections to the proposed commercial sites (Lots B & C). These services are to be required when building permits for these lots are requested.

The Subdivision Review Committee also endorsed a recommendation by the Police Department that a masonry wall be installed along the property line abutting the commercial development to the north. The Police Department representative indicated that this wall is necessary for security purposes.

STAFF EVALUATION: Staff has the following comments relative to this application:

1. The General Plan and the 1968 Valley Hi Community Plan designate the subject site for commercial uses. The applicant's proposal necessitates that these plans be amended to residential use. Staff supports these plan amendments as well as the rezoning request because of the abundance of vacant commercially zoned properties within the South Sacramento Community Plan Area. Furthermore, staff notes that the preliminary South Sacramento Plan recommends this site for multiple family use as well.
2. The Valley Hi Centrum Schematic Plan designates 8.3 acres of the site for 97,000± s.f. of medical and dental offices and approximately .9± acres for 12,000± s.f. of commercial use.

The proposed Schematic Plan amendment would eliminate the designated offices but would retain the commercial uses along Valley Hi Drive.

The proposed mixture of commercial and residential uses within the PUD requires special consideration to insure compatibility. Exhibit "F" presents staff's recommended PUD Guideline changes which are designed to achieve this goal.

3. The subject site is located within the Elk Grove School District which is an impacted district. The school district anticipates that the project will generate 124 new students. Currently, the district is preparing a new fee schedule which may result in additional fees beyond the current impaction fee.
4. The Tentative Map creates 3 parcels. One of these parcels is proposed for 211 condominium units and the remaining two parcels are to be developed per the existing schematic plan. This plan designates the northern parcel as a 4,800 s.f. restaurant site and the southern parcel as a 8,000 s.f. bank site. The schematic plan is designed so that reciprocal access and parking is utilized across all three parcels.

The Subdivision Review Committee, based upon the City Traffic Engineer's input, recommends that the proposed access onto Valley Hi Drive be relocated to the north so as to align with an existing median break. Staff notes that this realignment will necessitate minor revisions to the schematic plan.

- a. Prepare a sewer and drainage study for the review and approval of the City Engineer (provide drainage and sewer easements where required).
- b. Place the following note on the final map: Water and sewer service connections do not exist between the main lines and lots B and C. These services must be paid for and installed at the time of obtaining building permits;
- c. File the necessary segregation requests and fees to segregate existing assessments;
- d. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
- e. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U. S. Postal Service;
- f. Provide private access easements between the proposed parcels as required by the City Traffic Engineer;
- g. Relocate the proposed access onto Valley Hi Drive to align with the driveway on the east side of the street.

Informational Items:

- 1) The applicant shall check with the County Sanitation District and meet all requirements;
- 2) The Elk Grove School District has indicated that additional school impaction requirements will be required beyond current impaction fees;
- 3) The Subdivision Review Committee recommends that a masonry wall be installed along the northernmost property line for security purposes;
- 4) The private drive servicing the residential portion of the site should be increased to a minimum width of 36 feet;
- 5) Approximately seven on-site fire hydrants will be required.

Conditions-Special Permit

1. Landscape and irrigation plans shall be submitted for staff review and approval prior to the issuance of building permits. These plans shall include those design elements listed in attached Exhibit F.
2. A six-foot tall masonry wall shall be installed along the northern and southern property lines adjacent to the residential and commercial uses prior to issuance of occupancy permits. The design and materials of the wall shall be reviewed and approved by the Planning Director and shown on the building plans.

P83-244

August 25, 1983

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Item No. 15

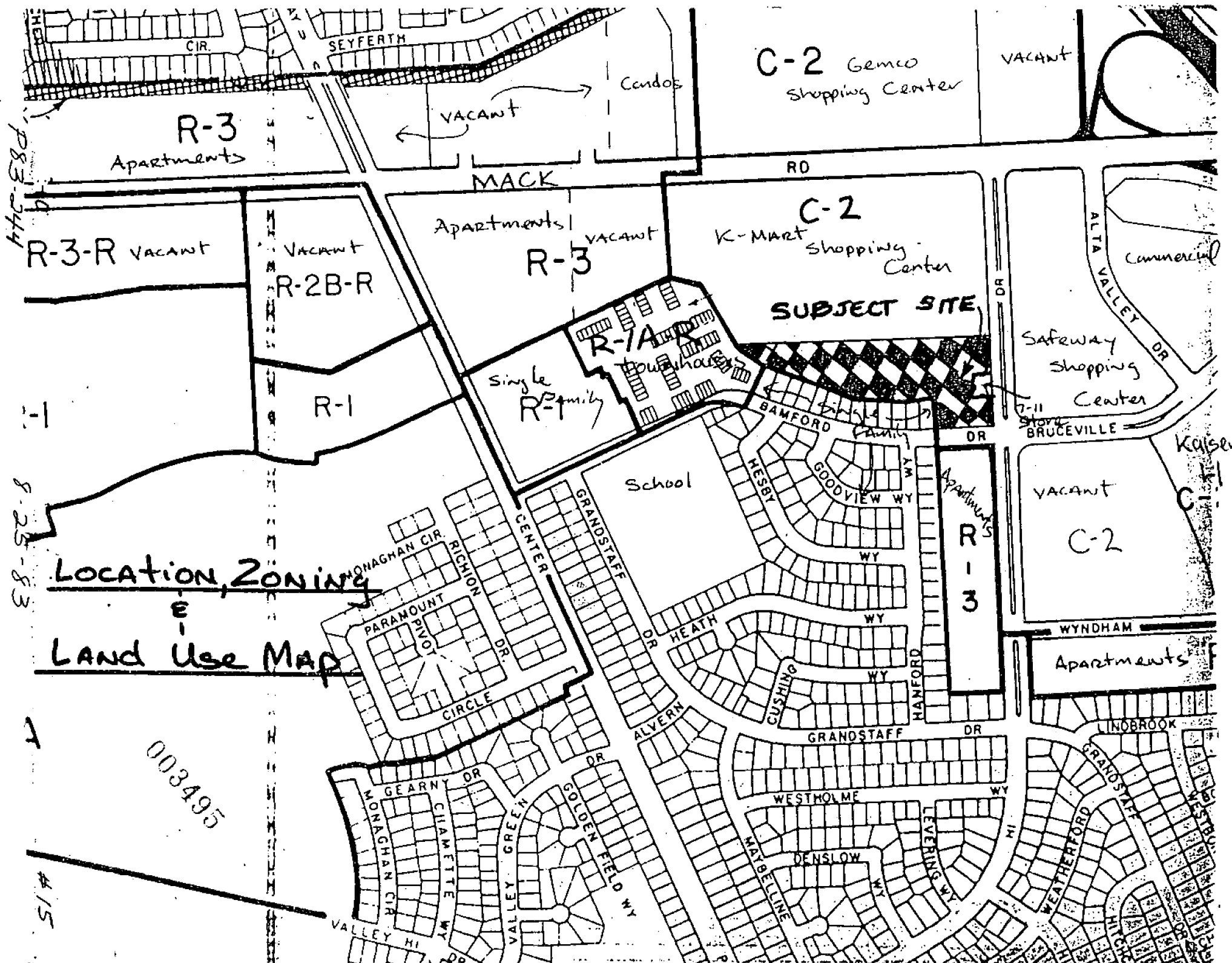
Children's Co Co (City Engineer) Co
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** see page 6*

LANDSCAPING AND OPEN SPACE

1. Landscape materials selected shall be:
 - a. Compatible with one another and with existing material on the site;
 - b. Complementary to building design and architectural theme;
 - c. Varied in size (one and five-gallon shrubs, five and 15 gallon, and 24-inch box trees).
2. Landscape treatment shall include:
 - a. Lawn areas shall be established by sodding or hydromulching when conditions such as excessive gradient, anticipated seasonal rain, etc., may result in erosion or other problems;
 - b. Larger specimens of evergreen shrubs and trees along the site periphery;
 - c. Greater intensity of landscaping at the end of buildings when those elevations lack window and door openings or other details that provide adequate visual interest. This is especially significant at the street frontage and interior side and rear property lines and for two-story structures;
 - d. Consistency with energy conservation efforts;
 - e. Trees located so as to screen parking areas and private first floor areas and windows from second-story units;
 - f. Undulating landscaped berms located along street frontages and achieving a minimum height of four feet measured off of the street sidewalk or the adjacent building pad or parking lot, whichever is higher;
 - g. Sufficient tree plantings in conjunction with the carports to comply with the 50-percent shading requirement of surfaced areas.
 - h. The utilization of deciduous trees along the southern exposures to provide for summer shading of the building.

TRASH ENCLOSURES

1. Sturdy enclosure walls shall be constructed to reduce maintenance.
2. Design and materials shall match or complement the residential structures.
3. Metal plate doors, if used, shall have wood veneer and/or wood battens.
4. Walls shall be a minimum six feet in height; more if necessary for adequate screening.
5. The enclosures shall be screened with landscaping.
6. The enclosures shall be adequate in capacity, number and distribution.



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8-25-83

LOCATION, ZONING

LAND USE MAP

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4/5

R-3
Apartments

R-3-R VACANT

VACANT
R-2B-R

R-1

Apartment
R-3
VACANT

R-1A
Townhouse
Single
R-family

School

C-2 Gemco
Shopping Center

VACANT

C-2
K-MART
Shopping Center

SUBJECT SITE

Safeway
Shopping
Center

VACANT
C-2

Apartment

SEYFERTH
CIR.

MACK
RD

ALTA
VALLEY
DR

BRUCEVILLE

WYNDHAM

LINDBROOK

PARAMOUNT
CIRCLE
RICHMOND
DR

GEARNY DR
NONAGHAN CIR
CIAMETTE WY

VALLEY GREEN
DR
GOLDEN FIELD WY

GRANDSTAFF
DR
ALVERN
DR

HEATH
WY
CUSHING
WY
GRANDSTAFF
DR

WESTHOLME
WY
DENSLAW
WY
MAYBELLINE
WY
LEVERING
WY

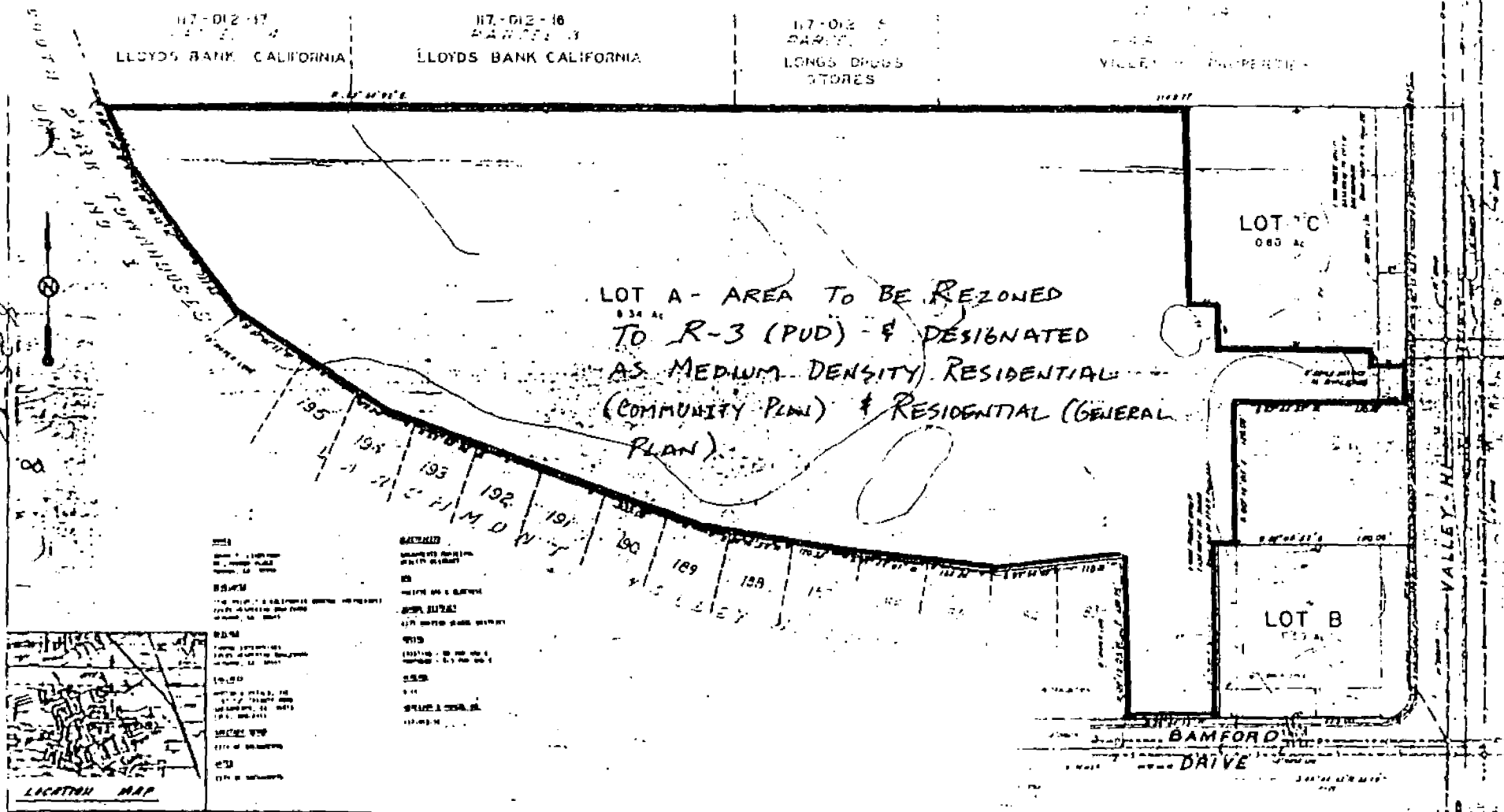
HANFORD
DR
R-3
Apartment

WEATHERFORD
DR
GRANDSTAFF
DR
HIT
CR

Kaiser
C-1

P83-244

P83-25



LOT A - AREA TO BE REZONED
 9.34 AC
 TO R-3 (PUD) - & DESIGNATED
 AS MEDIUM-DENSITY RESIDENTIAL
 (COMMUNITY PLAN) & RESIDENTIAL (GENERAL
 PLAN)

LOT C
 0.60 AC

LOT B
 7.53 AC

117-012-17
 LLOYDS BANK CALIFORNIA

117-012-16
 LLOYDS BANK CALIFORNIA

117-012-5
 LONGS DRUGS STORES

VILLYN

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- 117-012-16
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LOCATION MAP

PROJECT NO.	117-012-17	DATE	11/15/83	SCALE	AS SHOWN	DESIGNED BY	MORTON B. PITALO, INC.	ENGINEERING	DATE	11/15/83	TENTATIVE MAP FOR
REVISIONS		REASON					MORTON B. PITALO, INC.	PLANNING			"THE POINT"
											SITE OF DEVELOPMENT, CALIFORNIA

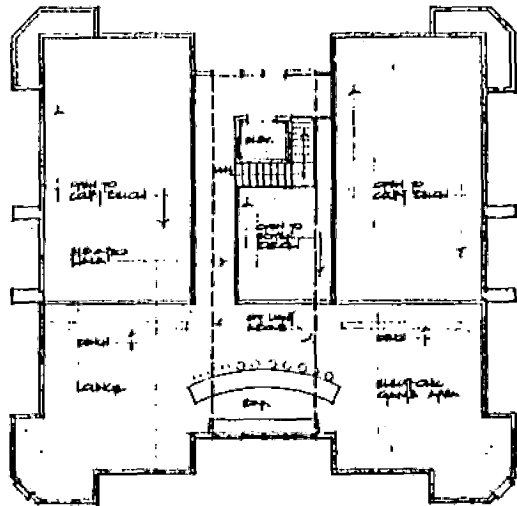
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EXHIBIT "A-1"

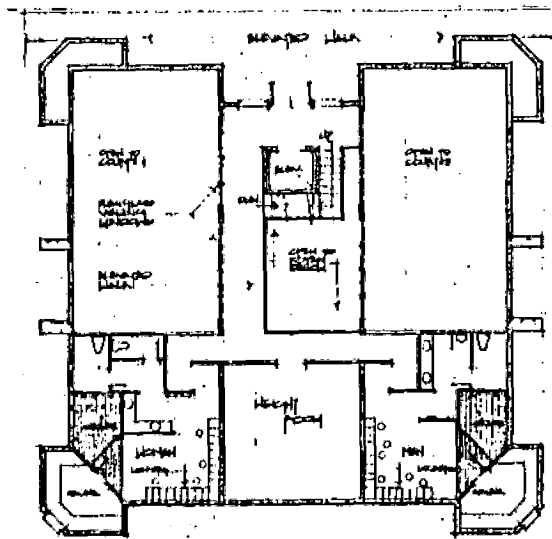
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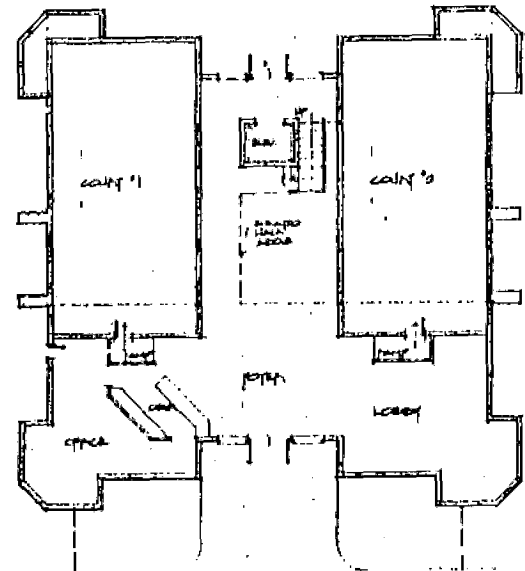
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LEVEL 3



LEVEL 2



LEVEL 1

REC. ROOM

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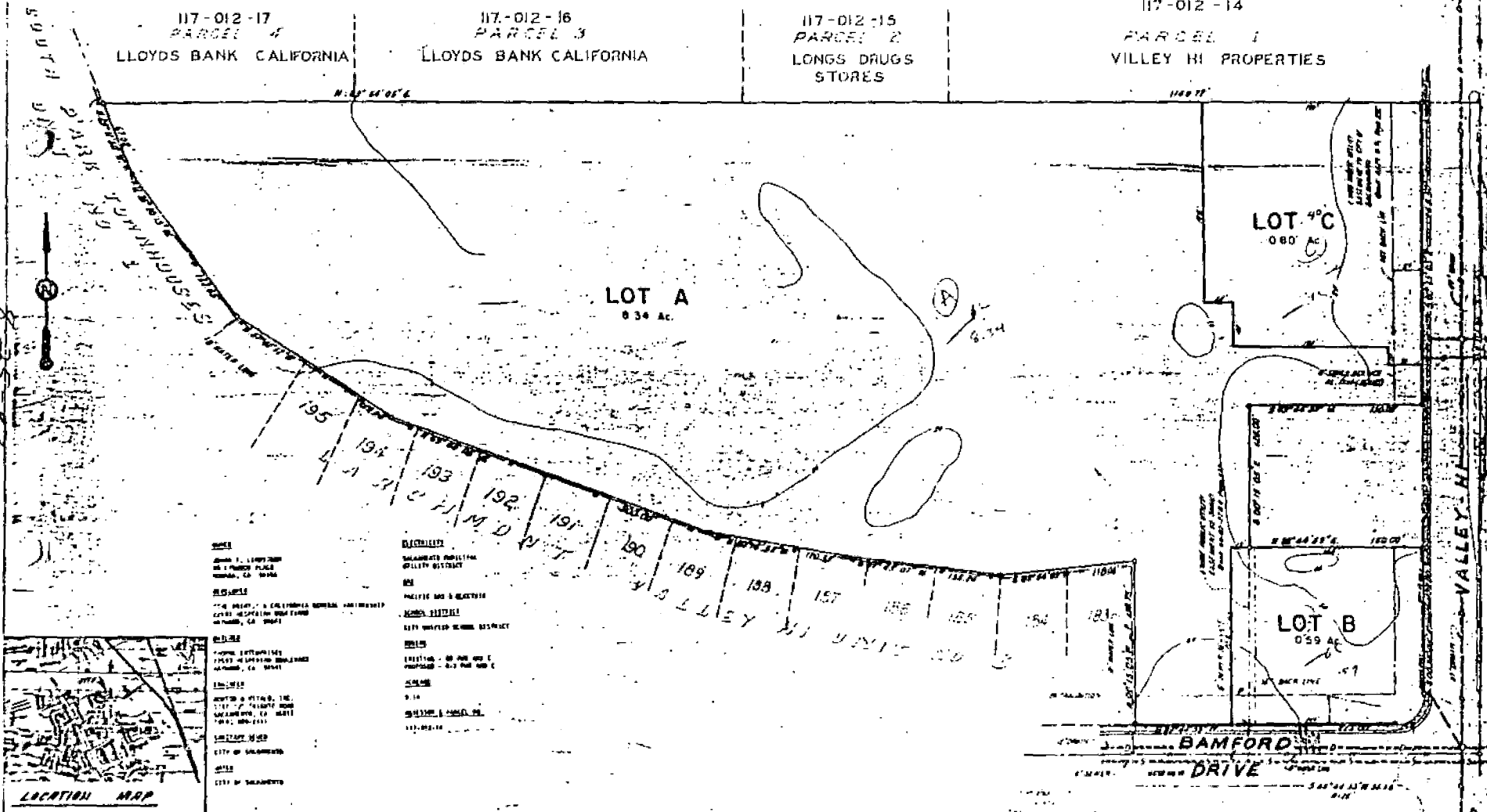
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117-012-17 PARCEL 4 LLOYDS BANK CALIFORNIA
 117-012-16 PARCEL 3 LLOYDS BANK CALIFORNIA
 117-012-15 PARCEL 2 LONGS DRUGS STORES
 117-012-14 PARCEL 1 VALLEY HI PROPERTIES



DATE
JUNE 1, 1987

PROJECT
THE POINT, A COMMERCIAL DEVELOPMENT
CITY OF SACRAMENTO, CALIFORNIA

CLIENT
MORTON & PITALO, INC.
1111 "THE POINT" ROAD
SACRAMENTO, CA 95811
TEL: 924-1111

ENGINEER
MORTON & PITALO, INC.
1111 "THE POINT" ROAD
SACRAMENTO, CA 95811
TEL: 924-1111

SCALE
AS SHOWN

FIELD NO.
117-012-14

DATE
JUNE 1, 1987

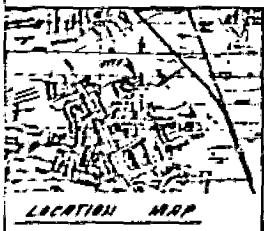
PROJECT
THE POINT, A COMMERCIAL DEVELOPMENT
CITY OF SACRAMENTO, CALIFORNIA

CLIENT
MORTON & PITALO, INC.
1111 "THE POINT" ROAD
SACRAMENTO, CA 95811
TEL: 924-1111

ENGINEER
MORTON & PITALO, INC.
1111 "THE POINT" ROAD
SACRAMENTO, CA 95811
TEL: 924-1111

SCALE
AS SHOWN

FIELD NO.
117-012-14



DESCRIPTION	DATE	SCALE	FIELD NO.	PROJECT	CLIENT	ENGINEER	DATE	PROJECT	SCALE

MORTON & PITALO, INC.
 CIVIL ENGINEERING
 PLANNING SURVEYING

TENTATIVE MAP FOR
 "THE POINT"
 CITY OF SACRAMENTO, CALIFORNIA

#15

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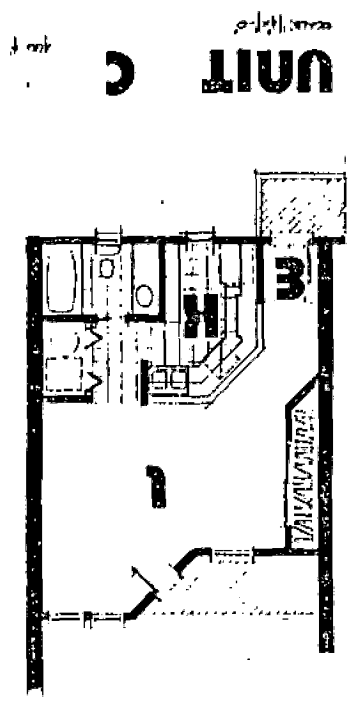
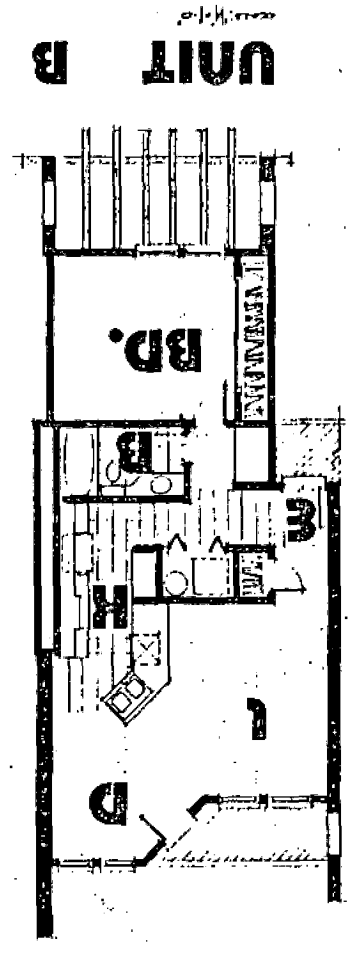
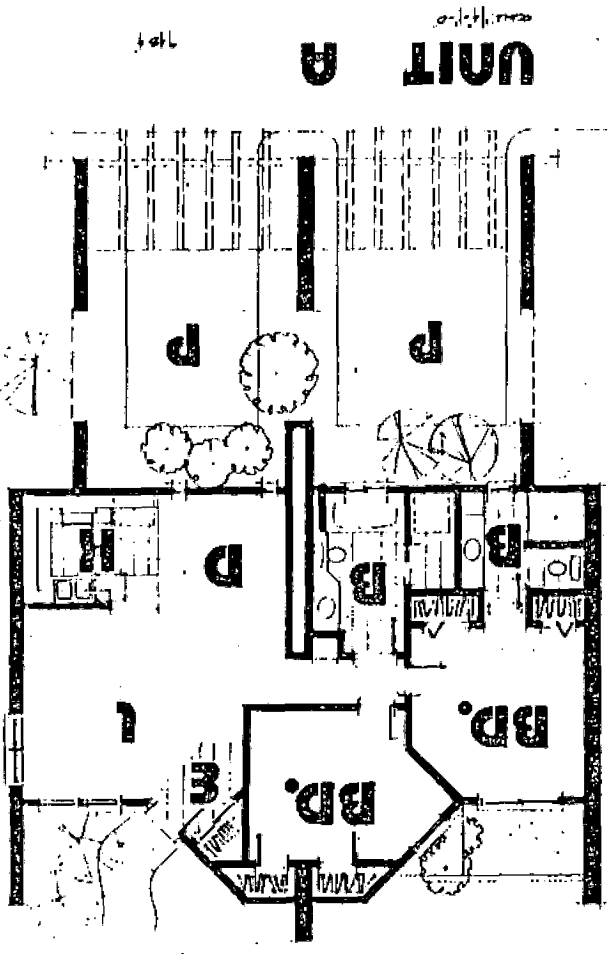


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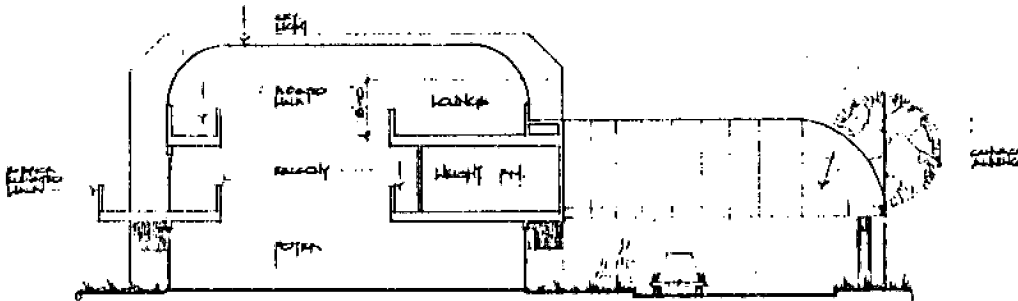
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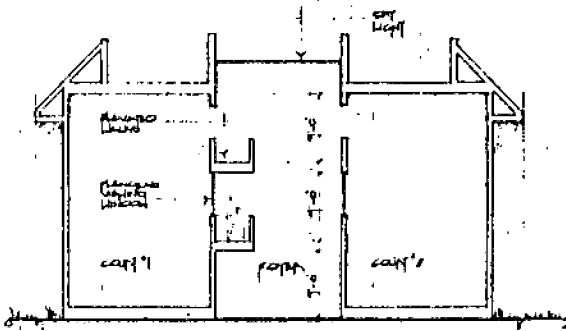
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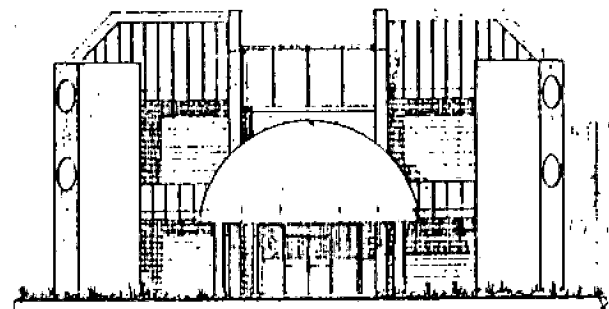
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SECTION

not to scale

003502



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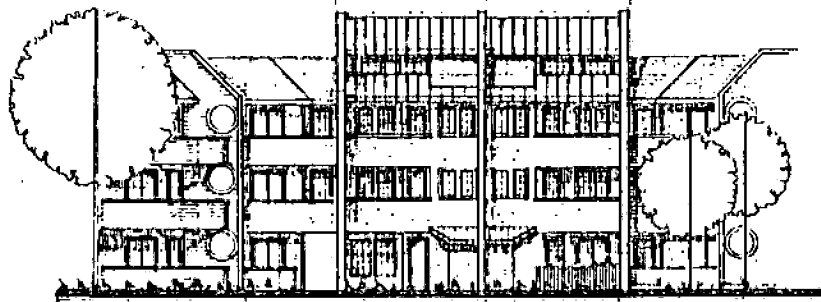
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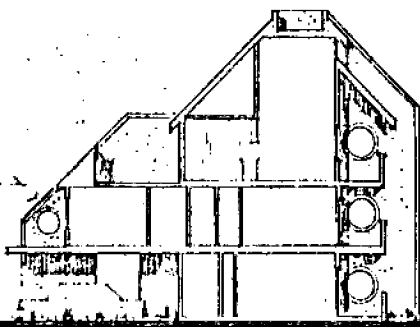
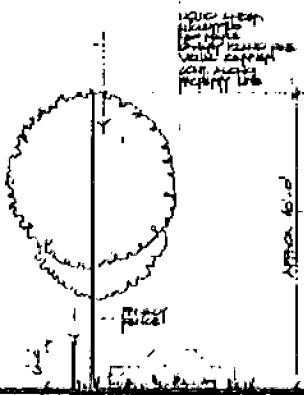
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FRONT

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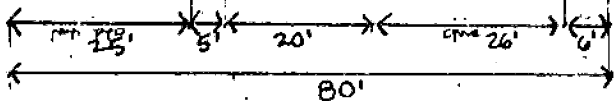


REAR

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Existing Residence

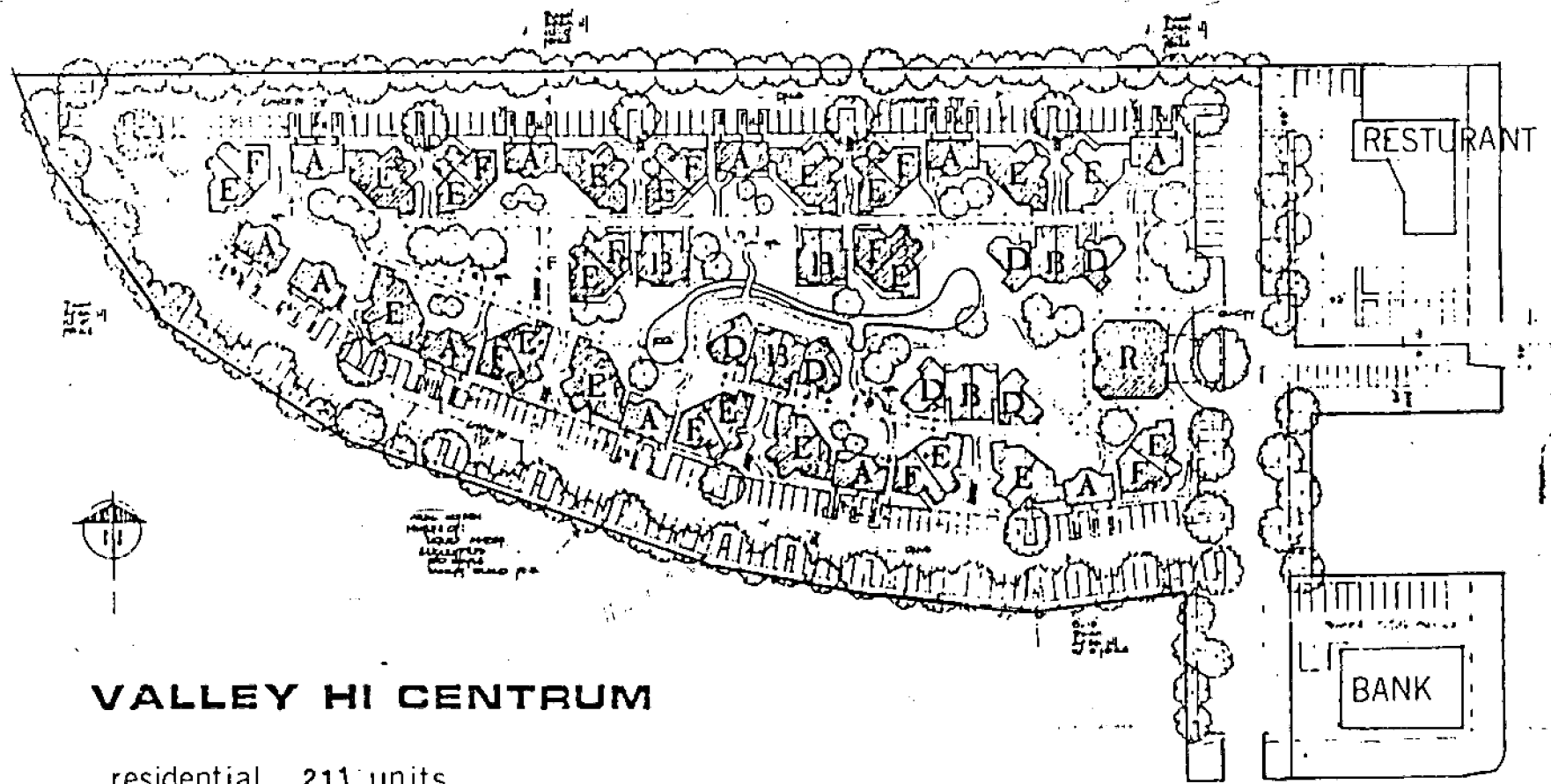
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Exhibit "A" Schematic PLAN

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VALLEY HI CENTRUM

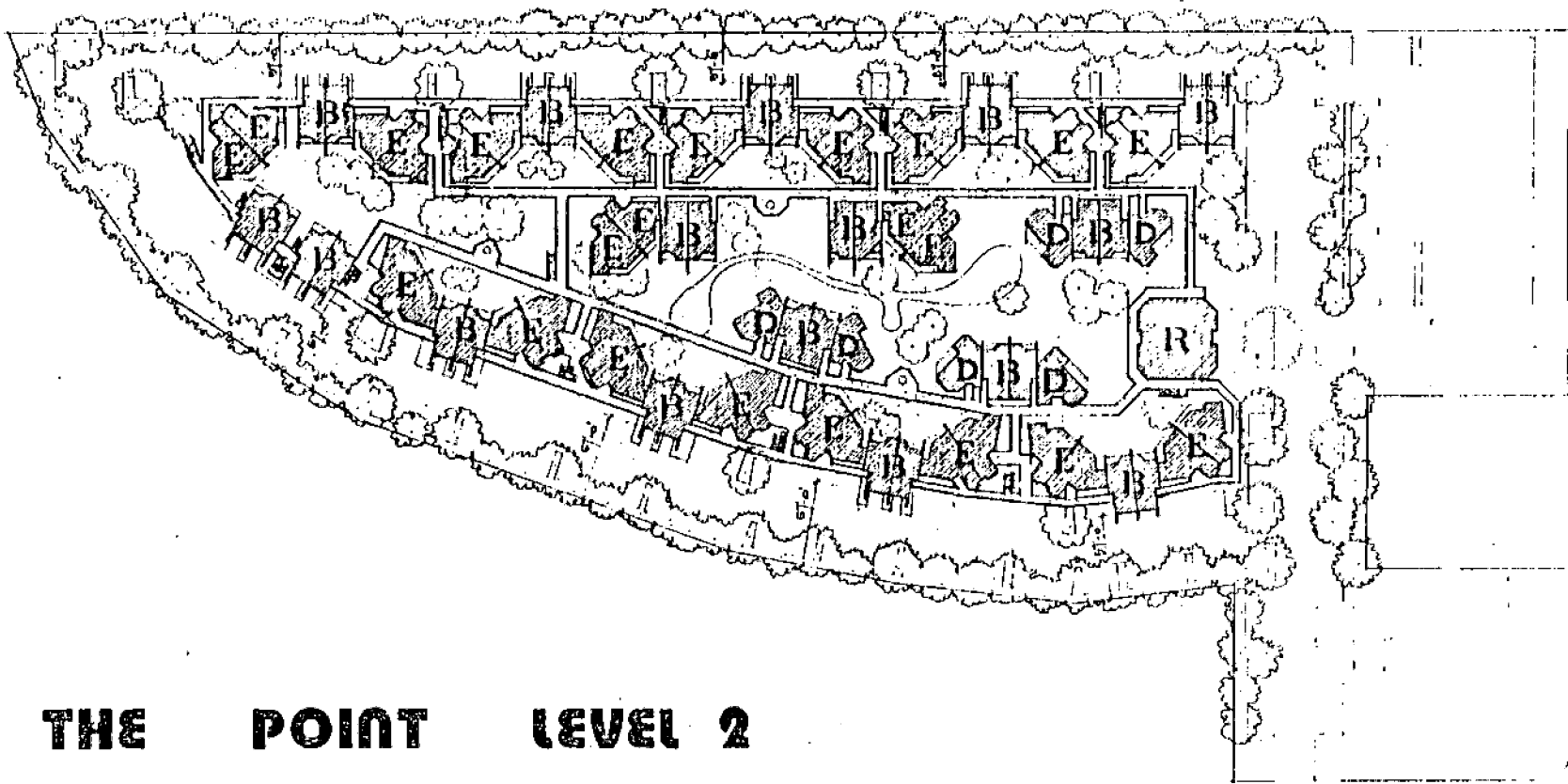
003504 residential 211 units
 bank 8000 sq.ft.
 restaurant 4800 sq.ft.

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Exhibit B-2

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THE POINT LEVEL 2

unclassified

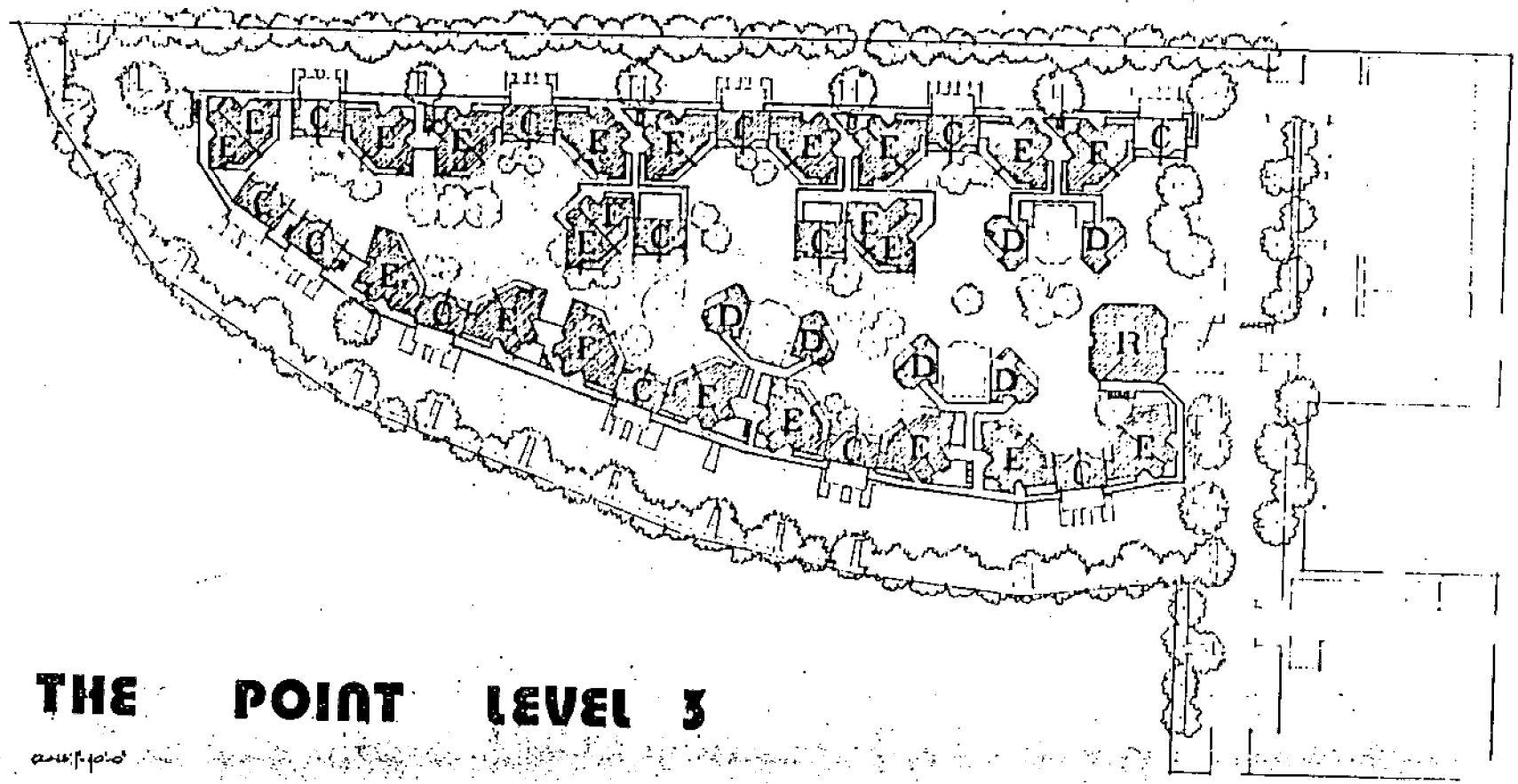
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Exhibit B-3

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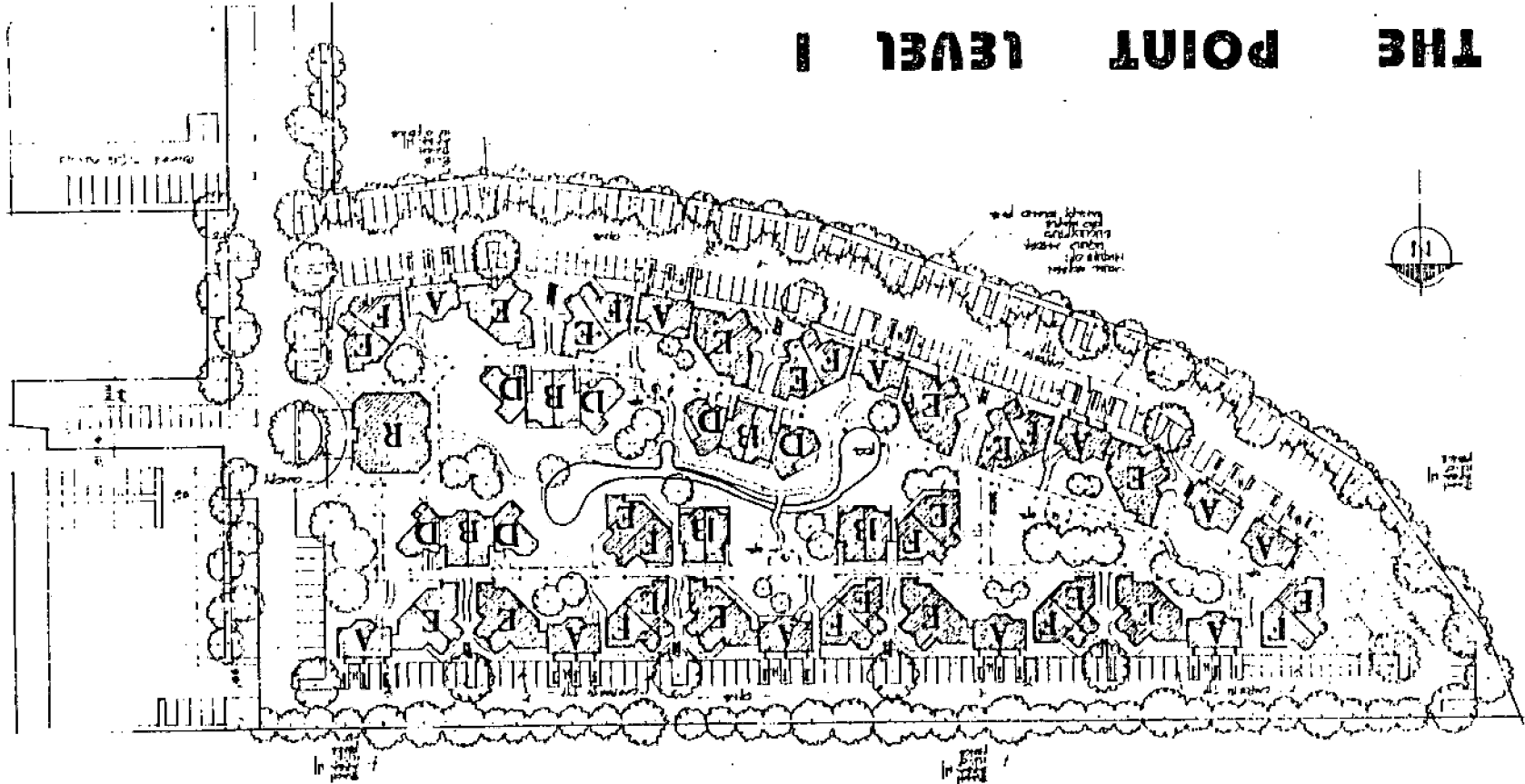
THE POINT LEVEL 3

arch. plan

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THE POINT LEVEL I



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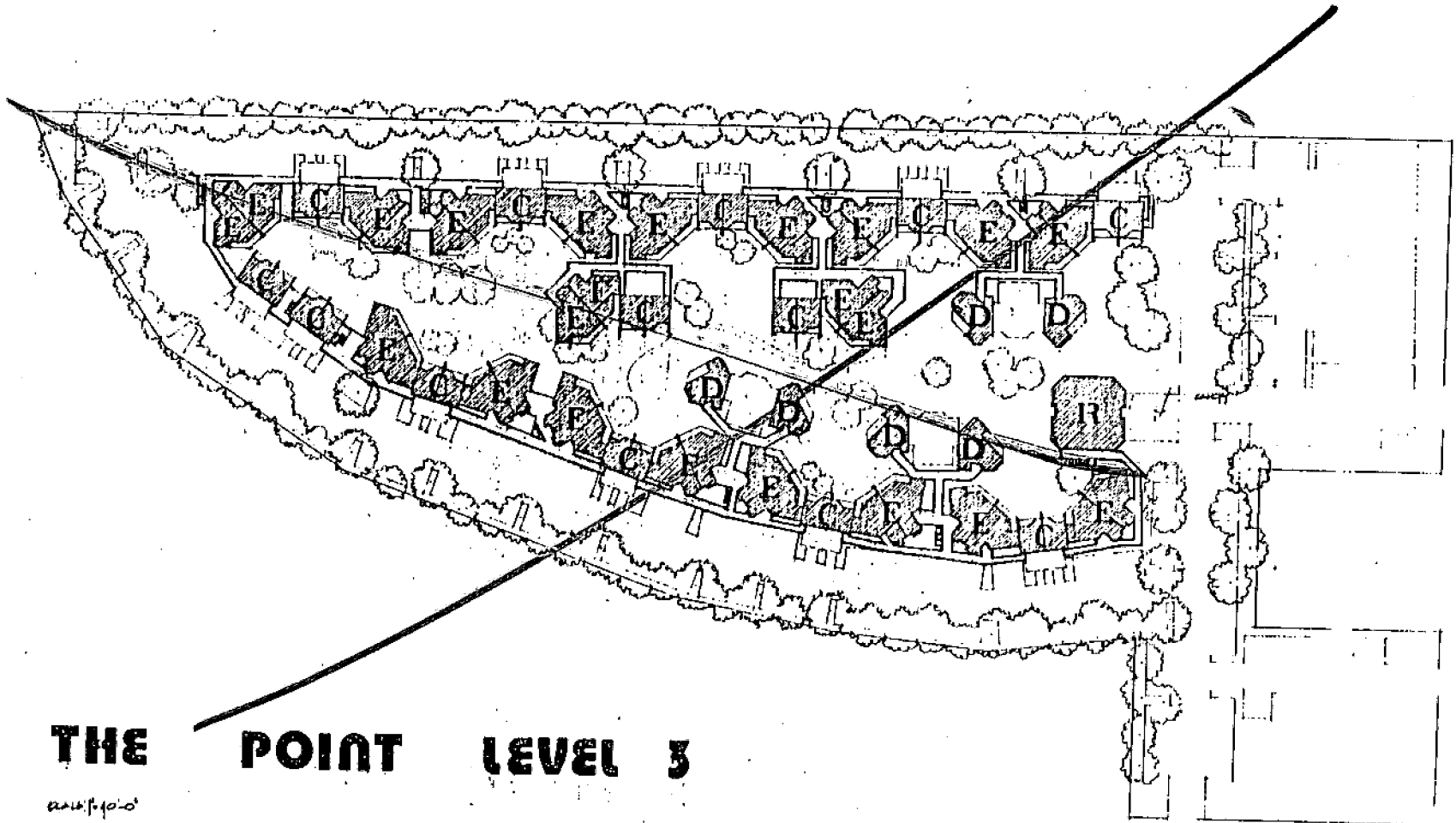
Exhibit B-1

Exhibit B-3

783-244

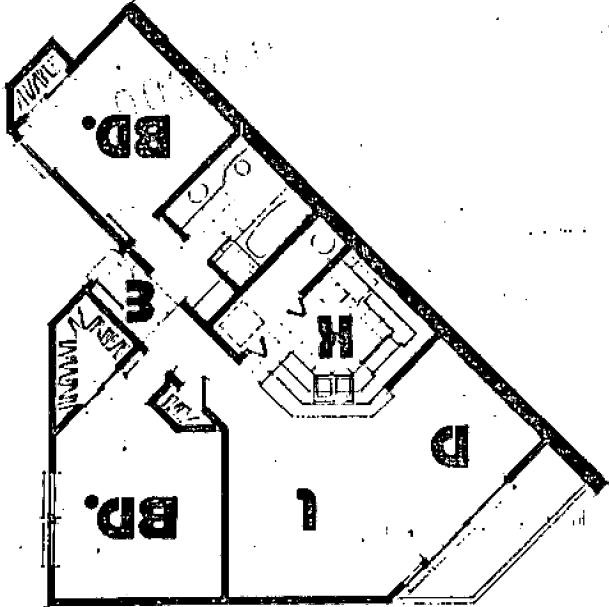
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THE POINT LEVEL 3

2000/10/0



UNIT F

1000

003501

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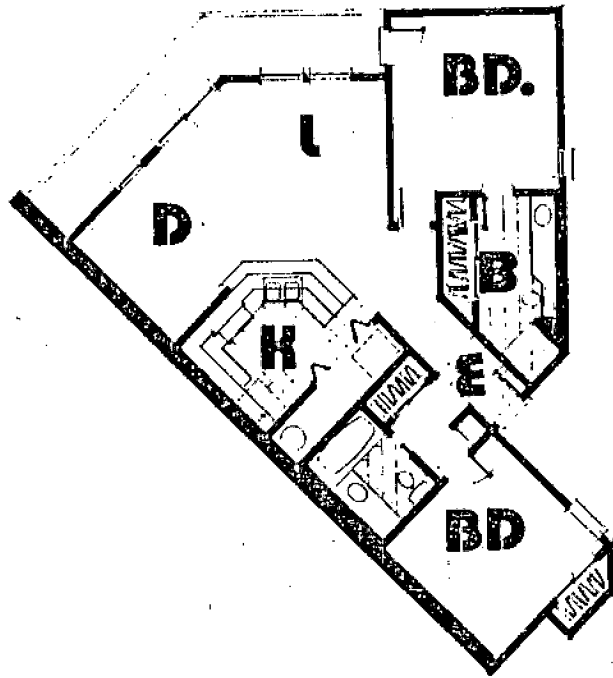
P83-244

Exhibit "D-3"

Exhibit "D-2"

PS3-244

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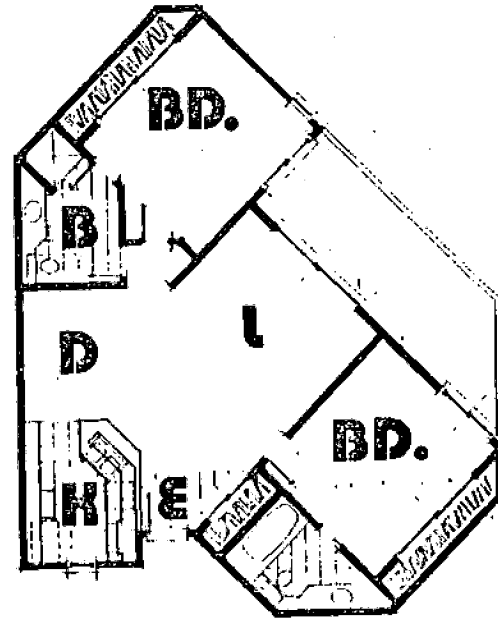


UNIT E

scale 1/4" = 1'-0"

pot

003500



UNIT D

scale 1/4" = 1'-0"

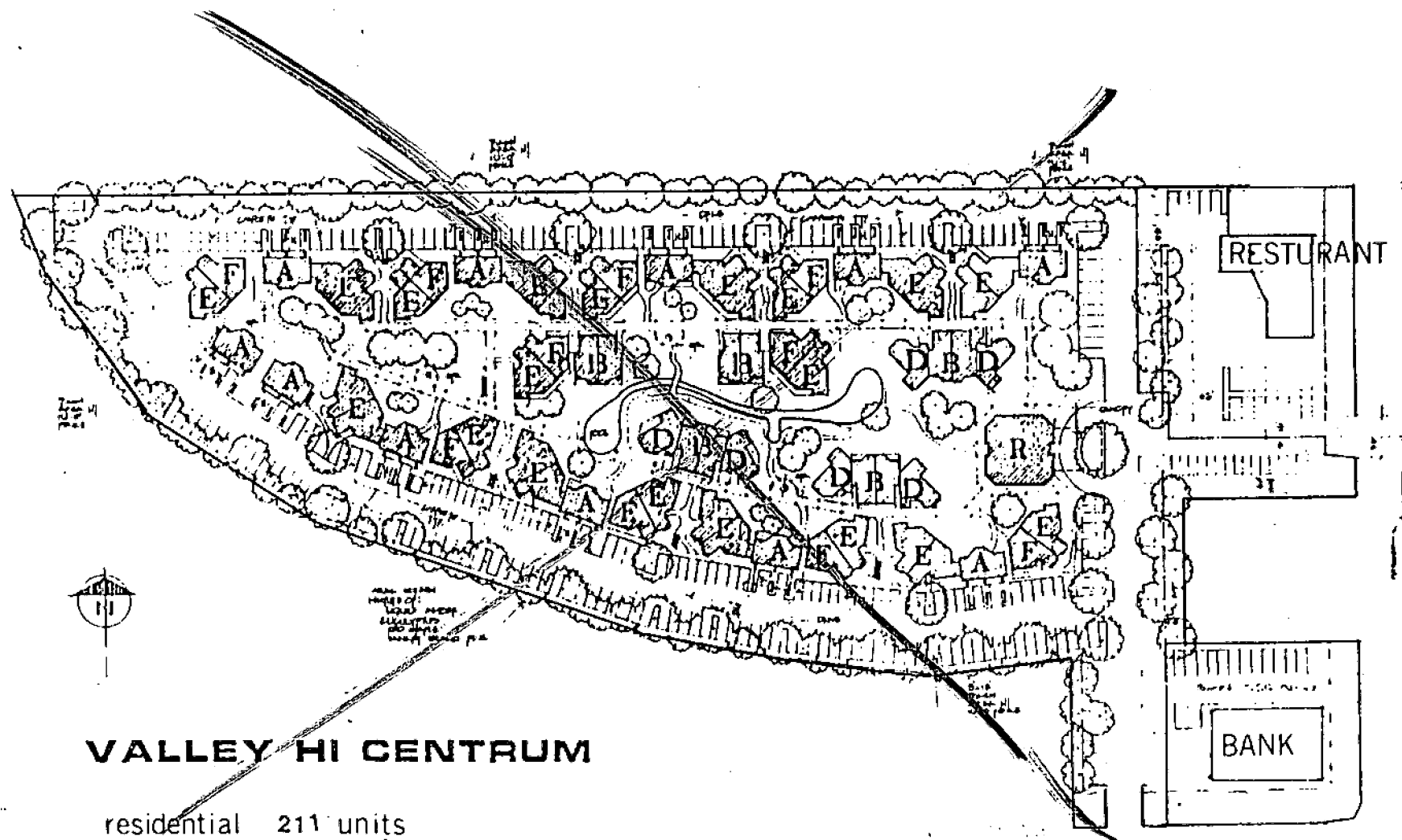
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Exhibit "A" - Schematic PLAN

P83-244

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VALLEY HI CENTRUM

residential 211 units
bank 8000 sq.ft.
restaurant 4800 sq.ft.

#15