

P95-067 - NIELSEN WAY DUPLEX

REQUEST: A. "R" Plan Review for new construction of a 1,956 sq.ft. duplex with attached garages of 499 sq.ft.

LOCATION: Nielsen Way
021-0163-020
South Sacramento
Sacramento Unified School District
Council District 6

APPLICANT: Joe J. Perez
9932 Valley Pines Drive
Folsom, CA 95630
(916) 988-8260

OWNER: Same as above

PLANS BY: Abdi Taheri
West Homes Construction
901 Sunrise Ave. Suite A13
Roseville, CA. 95661
(916) 791-6305

APPLIC. FILED: 7-14-95 (Assigned 8-14-95)

STAFF CONTACT: Don Lockhart, 264-7584

SUMMARY/RECOMMENDATION: The applicant proposes to build a 1,956 sq.ft. duplex, with attached garages. **Staff recommends approval of the project.** This recommendation is based upon principles of sound land use planning and upon conditions of approval which have been placed upon the project.

PROJECT INFORMATION:

General Plan Designation: Low Density Residential (4-15 DU/NET ACRE)
Community Plan Designation: East Broadway Community Plan Area (N/A)
Existing Land Use of Site: Vacant
Existing Zoning of Site: R2-R, (Two Family Zone - Review)



Surrounding Land Use and Zoning:

North: Duplex; Two Family Zone - Review (R2-R)
 South: Duplex; Two Family Zone - Review (R2-R)
 East: Single Family Dwelling; Standard Single Family Zone (R1)
 West: 65th Street Expressway

Setbacks:	Required:	Provided:
Front:	25'	25'
Sides:	05'	05'
Rear :	15'	25'

Property Dimensions:	105' X 66'
Property Area:	6930 sq.ft.
Density of Development:	12 DU/Net Acre
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Height of Building:	20 feet, 1 story
Exterior Building Materials:	Wood Cottage Lap Siding (front) Wood Cottage Lap Siding rear & sides (staff proposed) T-1-11 rear and sides (applicant proposed)
Roof Material:	Composition Shingle
Automobile Parking Required:	2 off-street spaces (1/DU required)
Automobile Parking Provided:	4 spaces - 2 garage/2 driveway

OTHER APPROVALS REQUIRED: In addition to the entitlements requested, the applicant will also need to obtain the following permits or approvals, including, but not limited to:

<u>Permit</u>	<u>Agency</u>
Building Permit	City Building Department

BACKGROUND INFORMATION: The applicant is requesting the necessary approvals to build a 1,956 sq.ft. duplex. Each unit will be 978.33 sq.ft., with three bedrooms, one bathroom, kitchen/dinette area and living room combination. Each unit will have an attached garage of 249.67 sq.ft. The duplex will be used an investment property by the applicant, and will provide rental housing opportunity for the area.

STAFF EVALUATION: Staff has the following comments:

A. Policy Considerations

The residential development on this site is consistent with the land use designations of the General Plan.



The City General Plan establishes policies which deal with Quality of Life, (Policy 1, Sec. 1-30). It is the policy of the City to enhance and maintain the quality of life of it's citizens by adhering to high standards for project and plan evaluation as they interact with the overall urban landscape. The proposal is consistent with the General Plan in that the proposed design of the building has been reviewed by the City Design Review and Preservation Board staff. A condition of project approval is proposed to ensure that the duplex incorporates elements of quality design.

It is the policy of the City to provide affordable housing opportunities for all income household categories throughout the City, (Goal B, Sec. 2-12). The project is consistent with the General Plan in that it may provide for rental housing opportunities in the area.

It is the policy of the City to promote infill development as a means to meet future housing needs, (Policy 4, Sec. 2-19). One way to ensure that needed housing opportunities are provided within highly urbanized and developing areas is to encourage the use of varied residential densities. In addition to increasing housing opportunities the encouragement of infill development will help in the City's efforts to meet regional housing needs for future growth.

B. Site Plan Design/Zoning Requirements

The "R" Review process addresses considerations relating to site layout, the orientation and location of buildings, other structures, open spaces, landscaping and other development features in relation to the physical characteristics, zoning, and land use of the site and surrounding properties.

1. Setbacks and Parking

The parcel fronts on Nielsen Way, which is separated from the 65th Street Expressway by a planting strip and a 6' high chain link fence. All street improvements are installed on Nielsen Way, including curb, gutter, sidewalk and streetlights. Sewer and water service are available in Nielsen Way.

The subject parcel is abutted on the north, east and south sides by developed residential land uses with residential zoning. This is the only remaining undeveloped parcel on Nielsen Way. The proposed site to be developed is 105' X 66' (6,930 sq.ft.). All setback requirements will be met and the off-street parking requirements will be satisfied.

All units on Nielsen Way have front yard landscaping. For streetscape compatibility the project should include sprinklered, front yard landscaping with a minimum of one tree per unit.

2. Building Design

The applicant proposes to use composition roof shingles and cottage lap siding on the front only, with T-1-11 siding proposed for the side and rear elevations. A 6' high wooden fence is proposed to be installed along the side and rear yard.

The design of the building has been reviewed by Design Review Board staff. The overall building design is similar to the existing duplex units on Nielsen Way. Design Review staff has commented that the exterior building materials should be modified to be compatible with the design of the existing duplexes on Nielsen Way. The design should extend the overhang of the main roof over the windows and front of the house; or provide a protected walkway from/along the garage to the front entry.

The horizontal hardboard exterior siding should have a smooth finish. Instead of metal end joints, the hardboard siding should be nailed and caulked per the manufacturers specifications. The number of joints should also be minimized. Single lengths of siding should be used to avoid unnecessary end joints where the distance between window and door openings and other natural break points along the exterior wall are less than the 16 foot standard length of the horizontal hardboard siding. Alternatively, the sides and rear exterior may utilize a stucco treatment, similar to that used on several other of the duplexes on the street. A minimum of two exterior colors should be utilized.

The roofing material should be of a minimum 25 year rating, and should use earthtone colors to complement the duplex exterior. No heating or air conditioning equipment should be installed on the roof tops.

PROJECT REVIEW PROCESS:

A. Environmental Determination

The proposed project is exempt from environmental review pursuant to the California Environmental Quality Act, Categorical Exemption Section 15311(b)

B. Summary of Agency Comments

The project has been reviewed by Engineering Development Services, Traffic Engineering, the Utilities Department, Building Inspections, and the Fire and Police Departments. No issues or concerns were identified in the comments received.

The Design Review staff comments received have been included as conditions of approval for this project.

PROJECT APPROVAL PROCESS: The Planning Commission has the authority to approve or deny each of the entitlements requested. The Planning Commission action may be appealed to the City Council. The appeal must occur within 10 days of the Planning Commission action.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Adopt the attached Resolution (Attachment C) approving the Plan Review for new construction of a 1,956 sq.ft. duplex with attached garages of 499 sq.ft.

Report Prepared By,

Report Reviewed By,



Don Lockhart, Associate Planner



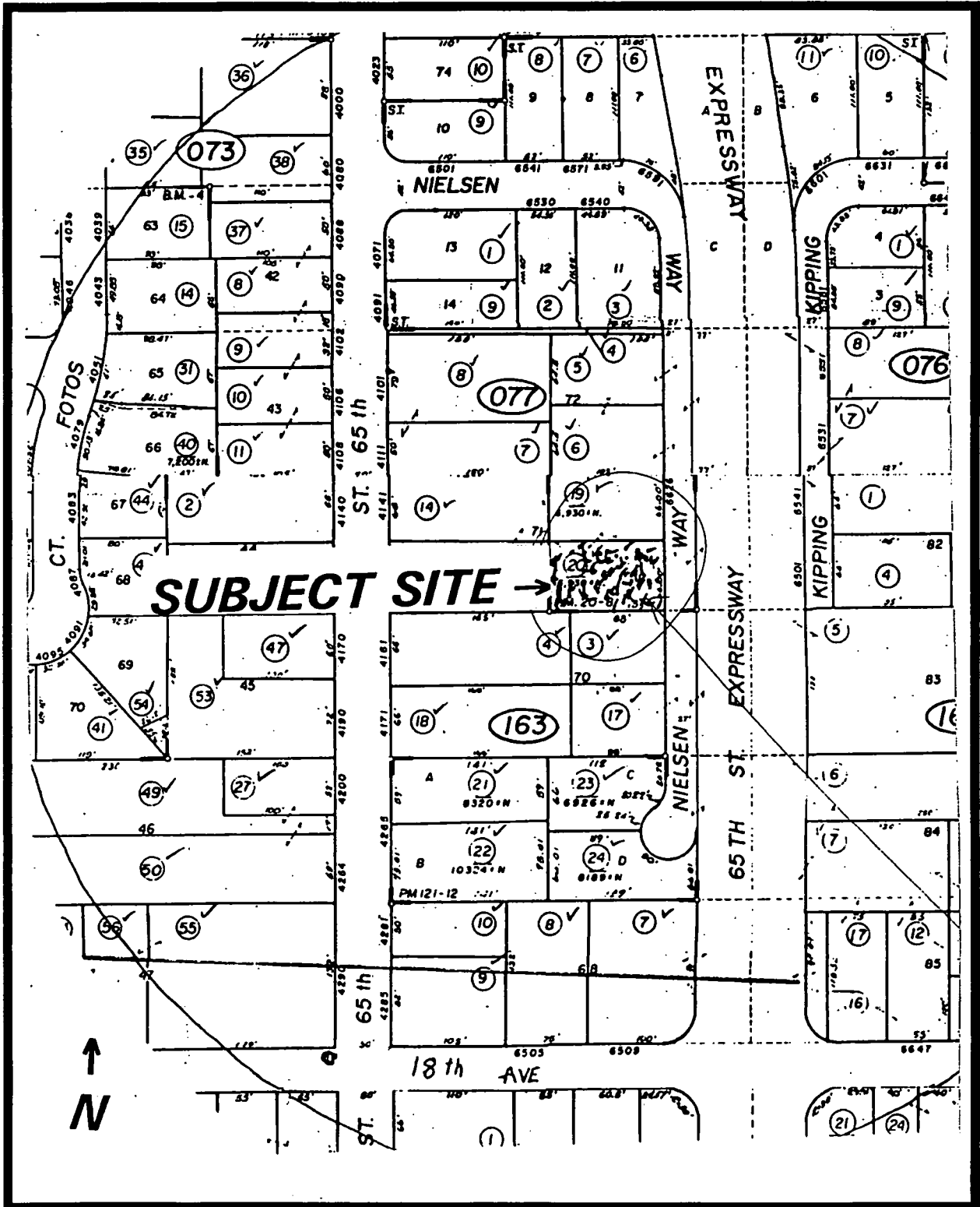
Barbara L. Wendt, Senior Planner

Attachments

Attachment A
Attachment B
Attachment C
Exhibit C-1

Vicinity Map
Land Use and Zoning Map
Resolution Approving the Plan Review
Site Plan & Elevations

ATTACHMENT A



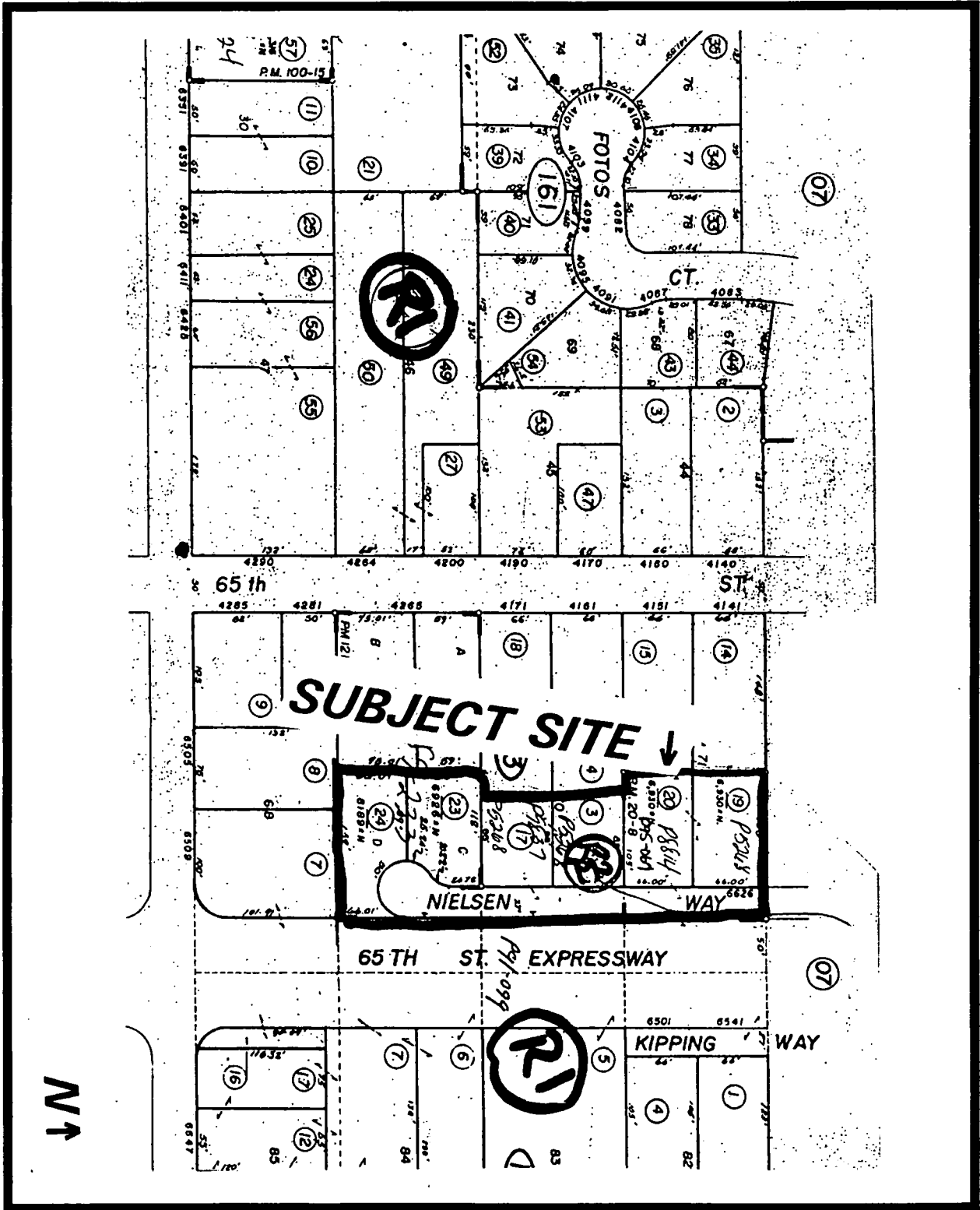
VICINITY MAP

ATTACHMENT B

P95-067

SEPTEMBER 28, 1995

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PAGE 7



LAND USE AND ZONING MAP

ATTACHMENT C

RESOLUTION NO. 1837

ADOPTED BY THE SACRAMENTO PLANNING COMMISSION

ON DATE OF SEPTEMBER 28, 1995

A RESOLUTION ADOPTING FINDINGS OF FACT AND
APPROVING A PLAN REVIEW FOR PROPERTY LOCATED ON
NIELSEN WAY

(P95-067) (APN: 021-0163-020)

WHEREAS, the City Planning Commission on September 28, 1995 held a public hearing on the request for approval of a plan review to allow for the new construction of a 1,956 sq.ft. duplex with attached garages of 499 sq.ft.

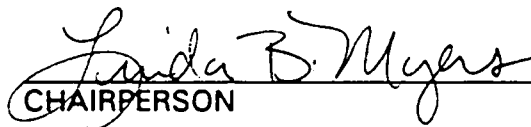
WHEREAS, the proposed project is exempt from environmental review pursuant to State EIR Guidelines (CEQA Section 15311(b));

WHEREAS, the Planning staff has submitted to the City Planning Commission its report and recommendations on the proposed development;

NOW, THEREFORE, BE IT RESOLVED BY THE COMMISSION OF THE CITY OF SACRAMENTO THAT:

1. The Plan Review is hereby approved based upon the following findings of fact:
 - A. The project, as conditioned, is based upon sound principles of land use in that:
 - 1) the development of the site with a duplex is consistent with the R2-R zoning of the site and;
 - 2) the development of the site will meet all City standards for parking residential development requirements.
 - B. The project, as conditioned, will not be detrimental to the public welfare nor result in the creation of a public nuisance in that the residential use is compatible with the residential land use of the area.
 - C. The project is consistent with the General Plan which designate the site for Low Density residential uses.

2. The Plan Review for the proposed 1,956 sq.ft. duplex with attached garages of 499 sq.ft. (Exhibit C-1) is hereby approved subject to the following conditions:
- A. Front yard areas shall be landscaped and irrigated with a minimum of one tree per unit.
 - B. All rear and side yard areas shall be fenced with 6' high solid wood board fence.
 - C. The structure design shall extend the overhang of the main roof over the front and windows; or provide a protected walkway from/along the garage to the front entry.
 - D. The exterior horizontal hardboard siding shall have a smooth finish. Instead of metal end joints, the hardboard siding should be nailed and caulked per the manufacturers specifications. The number of joints should also be minimized. Single lengths of siding should be used to avoid unnecessary end joints where the distance between window and door openings and other natural break points along the exterior wall are less than the 16 foot standard length of the horizontal hardboard siding. Alternatively, the sides and rear exterior may utilize a stucco treatment, with a one bay return to the front, similar to that used on several of the other duplexes on the street.
 - E. The roofing material shall be of a minimum 25 year rating, and shall use earthtone colors to complement the duplex exterior colors.
 - F. A minimum of two exterior colors shall be utilized.
 - G. No heating or air conditioning shall be installed on the roof tops. Heating and air conditioning equipment shall be ground mounted and screened.



CHAIRPERSON

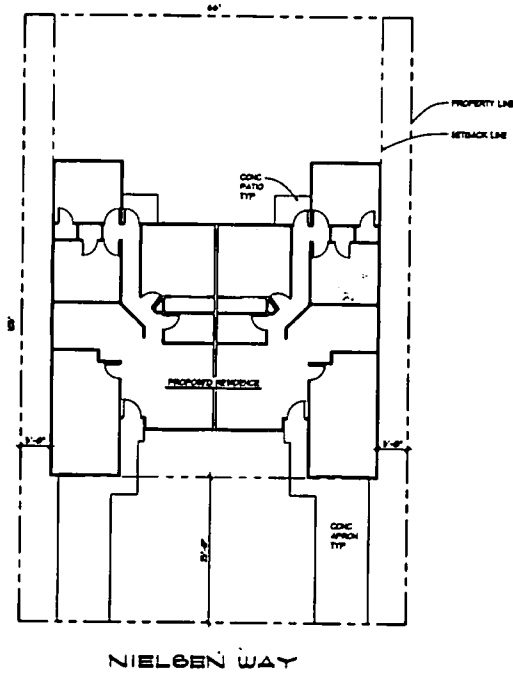
ATTEST:



SECRETARY TO PLANNING COMMISSION

P95-006

EXHIBIT C-1
SITE PLAN



LOT 30
NIELSEN WAY
SACRAMENTO, CA.

S I T E P L A N
SCALE: 1/4"=1'-0"



SHEET INDEX

1. SITE PLAN
2. FOUNDATION PLAN / DETAILS
3. FLOOR PLAN / ELECTRICAL PLAN
4. EXTERIOR ELEVATIONS
5. ROOF FRAMING PLAN / BUILDING SECTION

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE TO ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. SUCH REGULATIONS SHALL BE CONSIDERED A PART OF THESE PLANS AND TAKE PRECEDENCE OVER ANY INFORMATION SHOWN OR IMPLIED BY THESE DRAWINGS.
2. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE PLANS.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CALL TO THE ATTENTION OF THE DESIGNER ANY DISCREPANCIES OR OMISSIONS ON THESE PLANS BEFORE BEGINNING WORK.
4. ANY DEVIATION FROM THESE PLANS IN METHOD OR SPECIFIED MATERIALS SHALL BE APPROVED BY THE DESIGNER PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND SERVICES TO COMPLETE CONSTRUCTION LEAVING THE BUILDING AND SITE IN A FINISHED AND OPERATING CONDITION CLEAN AND FREE OF DEBRIS UNLESS ESTABLISHED OTHERWISE BY CONTRACT BETWEEN OWNER AND CONTRACTOR.
6. ALL CONTRACTORS SUBMITTING PROPOSALS FOR THIS WORK SHALL EXAMINE THE SITE AND THE CONDITIONS THEREON. PROPOSALS SHALL TAKE INTO CONSIDERATION ALL CONDITIONS THAT MAY AFFECT CONSTRUCTION.
7. DIMENSIONS TAKE PRECEDENCE OVER SCALE.

REVISIONS

WEST HOMES CONSTRUCTION

CPLD 1995
S.E. 11-1-95

SITE PLAN

DRAWN BY: D. HANBLER

0-10-95

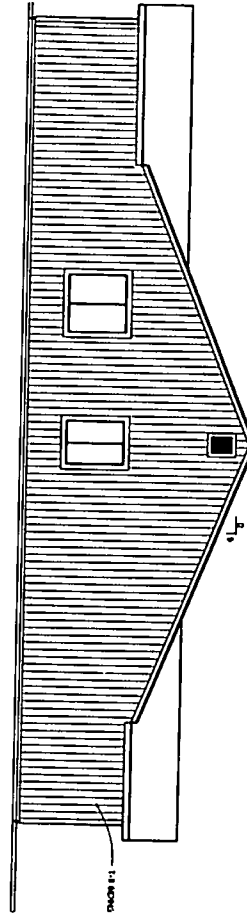
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148-ADDY

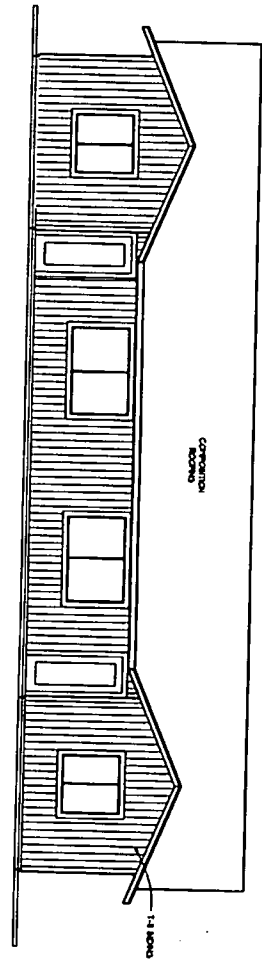


EXHIBIT C-2 ELEVATIONS

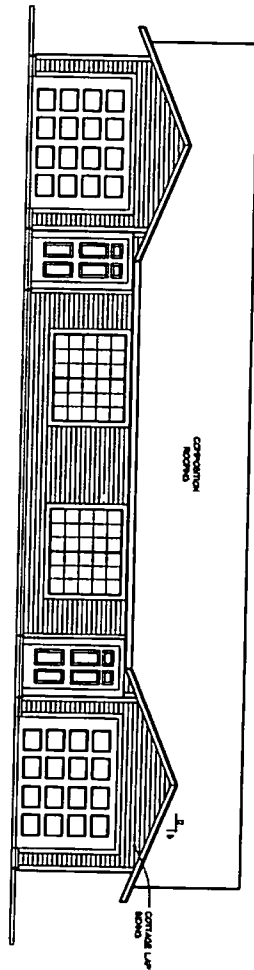
LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



WEST HOMES CONSTRUCTION

DATE: 1/28/95
 DRAWING NO.: 10-100
 SHEET NO.: 1
 PROJECT NO.: 10-100

ELEVATIONS
 DRAWN BY: D. HALLMAN
 CHECKED BY:

DATE: 1-18-95
 SCALE: 1/4" = 1'-0"
 PROJ. NO.: 10-100

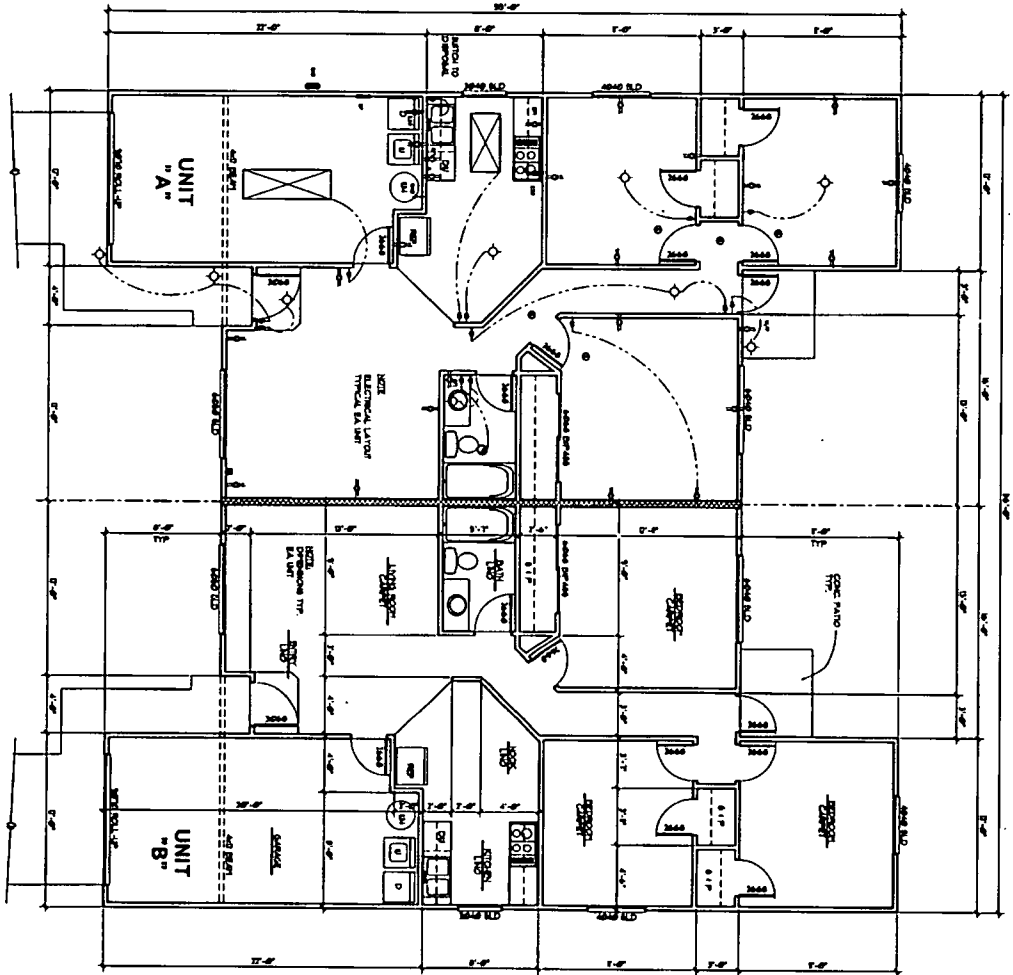
REVISIONS

EXHIBIT C-3 FLOOR PLAN

ELECTRICAL NOTES:

1. PROVIDE JOB AND SERVICE PANEL, MIN.
2. VENDOR, APPROVAL AND LOCATION REQUIRED SHOWN ON
3. ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH THE
4. NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE
5. LOCAL CODES AND ALL APPLICABLE
6. ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH THE
7. NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE
8. LOCAL CODES AND ALL APPLICABLE

- SYMBOLS:**
- 1 UNIT SWITCH
 - 4 UNIT SWITCH
 - 30 V DUPLEX OUTLET
 - 110 V OUTLET
 - GROUP HALL INTERCOMMER
 - TELEPHONE
 - SERVICE PANEL
 - EXHAUST FAN
 - RECESSED LIGHTING FIXTURE
 - TRACK LIGHTING FIXTURE
 - SPOT LIGHTING
 - BROADCAST TELEVISION
 - FLUORESCENT LIGHTING FIXTURE



FLOOR PLAN

UNIT "A" LIVING AREA: 13'-0" x 12'-0"
 UNIT "A" KITCHEN: 8'-0" x 10'-0"
 UNIT "A" BATHROOM: 5'-0" x 7'-0"
 UNIT "A" BEDROOM: 11'-0" x 11'-0"
 UNIT "A" BEDROOM: 11'-0" x 11'-0"
 TOTAL COVERED: 31'-0" x 42'-0"

DATE	10/10/95
BY	D. WALKER
DESIGNED BY	D. WALKER
SCALE	1/4" = 1'-0"
DATE	10/10/95
BY	D. WALKER
DESIGNED BY	D. WALKER
SCALE	1/4" = 1'-0"
DATE	10/10/95
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WEST HOMES CONSTRUCTION

REVISIONS