

DESCRIPTION

All that real property located in the State of California, County of Sacramento, City of Sacramento, as shown on the "Plat of Norwood - Tech - Business Park, in the office of the Official Recorder in said County of Sacramento, more particularly described as follows:

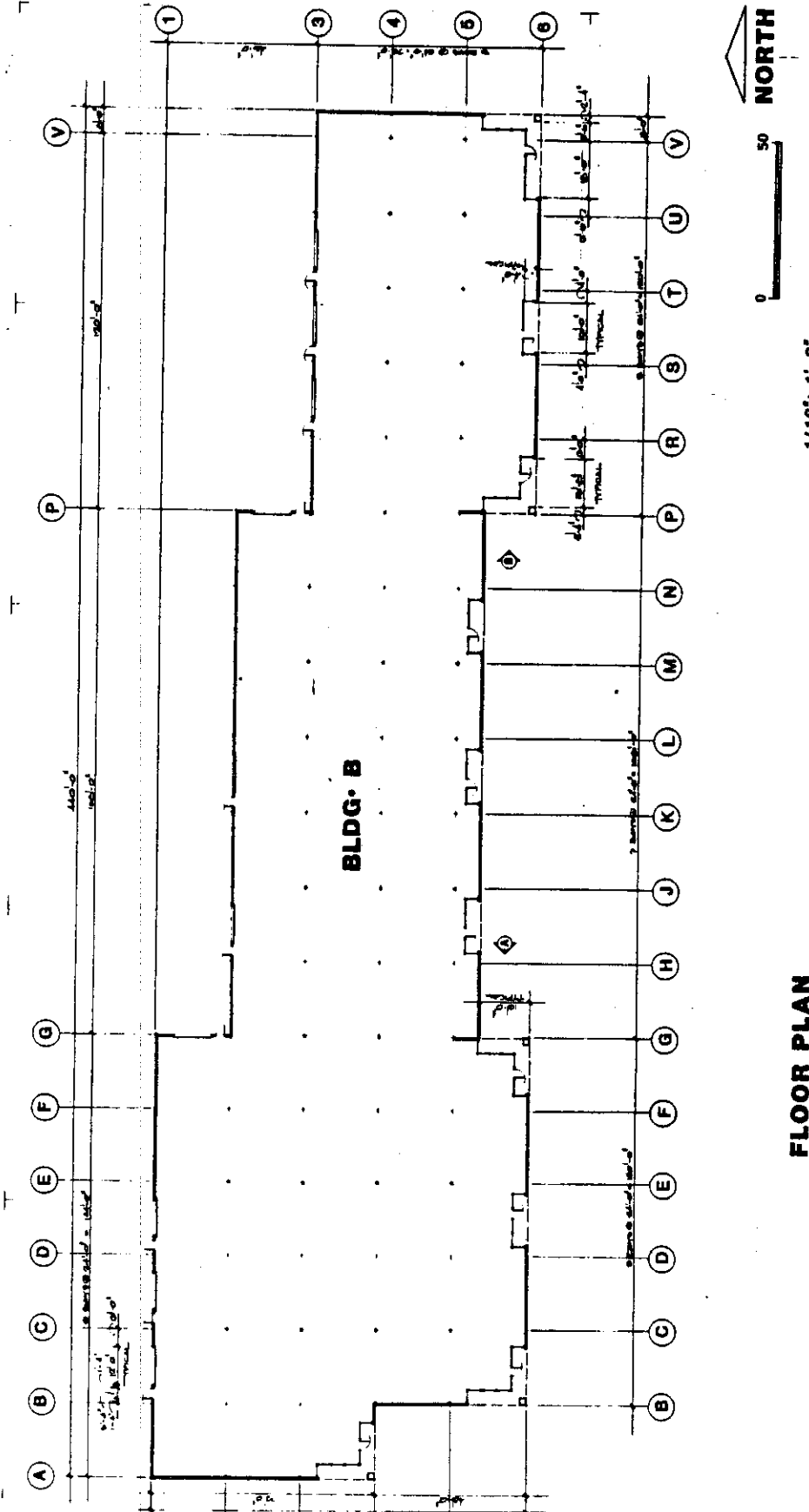
Beginning at the Southwest corner of Lot 8 of said "Plat of Norwood - Tech - Business Park," and bearing North $00^{\circ} 33' 23''$ East, 241.26 feet; thence South $83^{\circ} 01' 13''$ East, 57.13 feet; thence South $80^{\circ} 47' 57''$ East, 340.57 feet; thence South $76^{\circ} 14' 59''$ East, 133.67 feet; thence South $76^{\circ} 20' 53''$ East, 84.70 feet; thence South $45^{\circ} 56' 38''$ West, 203.36 feet; thence West along the arc of a curve concave to the South, having a radius of 70 feet and subtended by a chord bearing North $80^{\circ} 55' 43''$ West, 84.01 feet; thence West along the arc of a curve concave to the North, having a radius of 30 feet and subtended by a chord bearing South $76^{\circ} 22' 39''$ West, 14.70 feet; thence along the Right-of-Way of Opportunity Street on a bearing North $89^{\circ} 26' 37''$ West 364.02 feet to the point of beginning.

END OF DESCRIPTION



NORWOOD TECH. ARCHITECTS • ENGINEERS • PLANNERS
 BUSINESS PARK
 Sacramento, California 95838
 2838 Fulton St. Sacramento, CA 95821
 916-488-0177
 For: Mr. John Banchoff
 Norwood Ave. & Hwy 80
 Sacramento, California 95838

SIGNATURE	
DATE	4/1/84
JOB NO.	B-2884-1
SHEET NO.	A4



P 84184

6-14-84

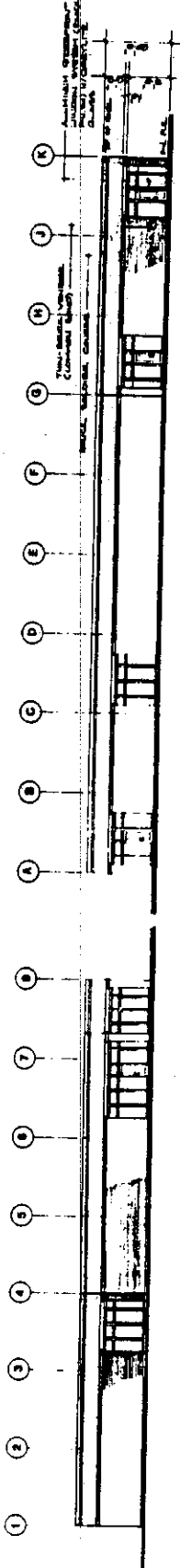
No. 28



architects • engineers • planners
 the frandsen group
 2838 Fulton Avenue, Suite 111
 Sacramento, CA 95821 916-488-0177

NORWOOD TECH.
BUSINESS PARK
 Sacramento, California
 Norwood Ave. & Hwy 80
 Mr. John Banchoff

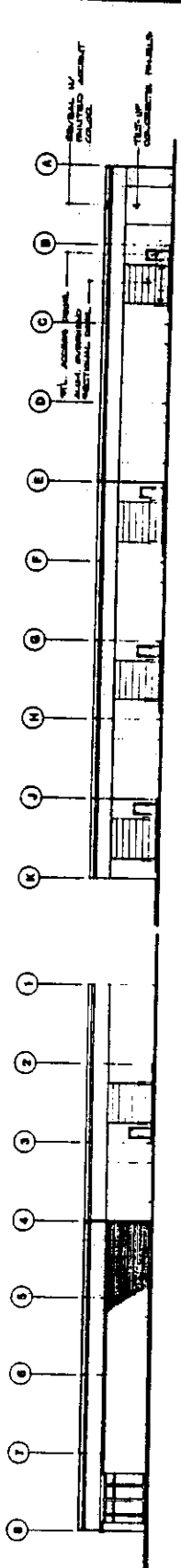
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DATE	4/1/84
DWG. NO.	B-2084-1
SHEET NO.	A3



WEST ELEVATION

SOUTH ELEVATION

1/16" = 1'-0"



EAST ELEVATION

NORTH ELEVATION

1/16" = 1'-0"

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6-14-84

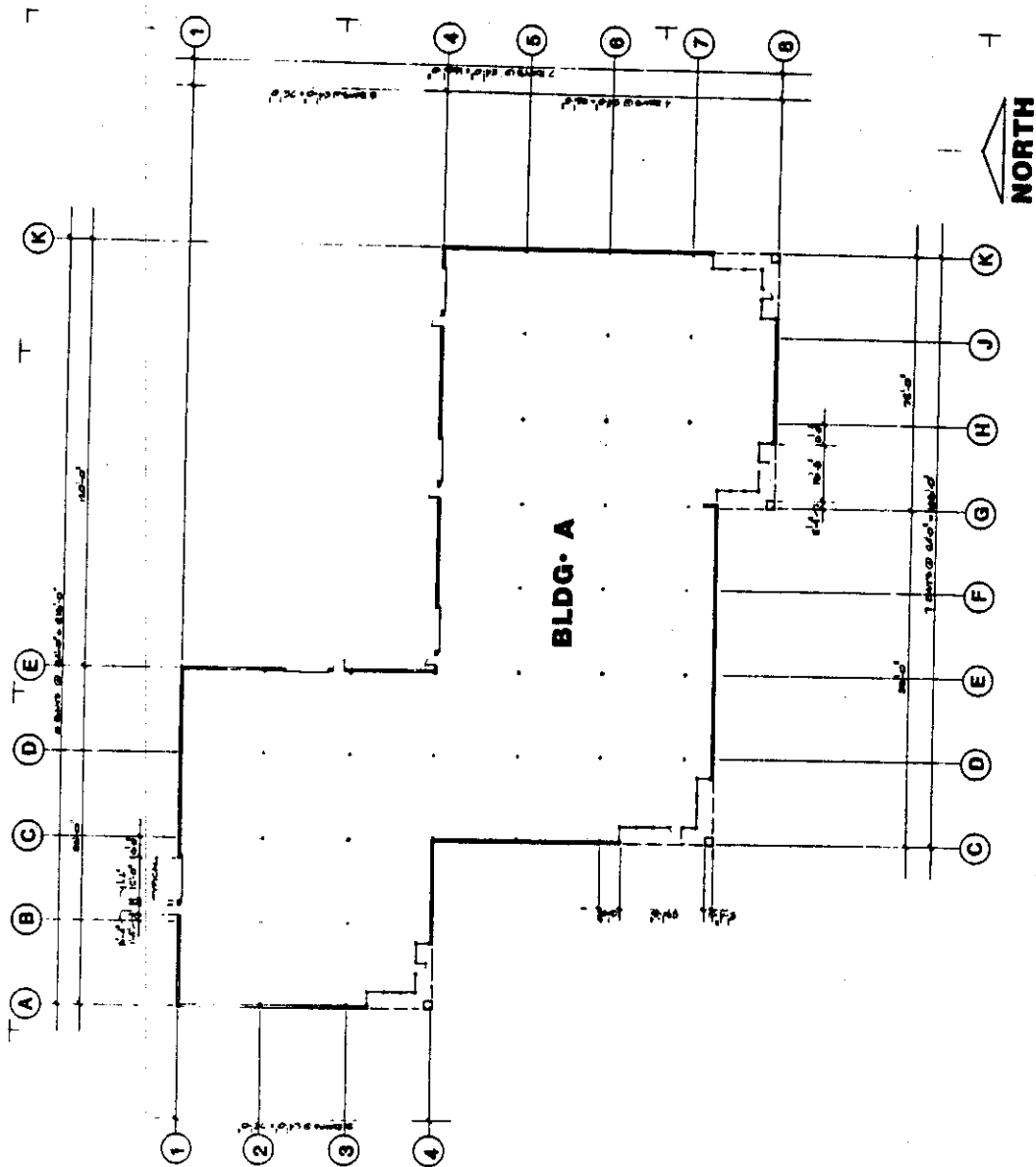
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NORWOOD TECH.
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 Norwood Ave. & Hwy 80
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 2638 Fulton Av.
 Sacramento, CA 95815
 916-488-0177

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the frandson group

SIGNATURE	DATE	JOB NO.	SHEET NO.



FLOOR PLAN 1/16" = 1'-0" 0 50

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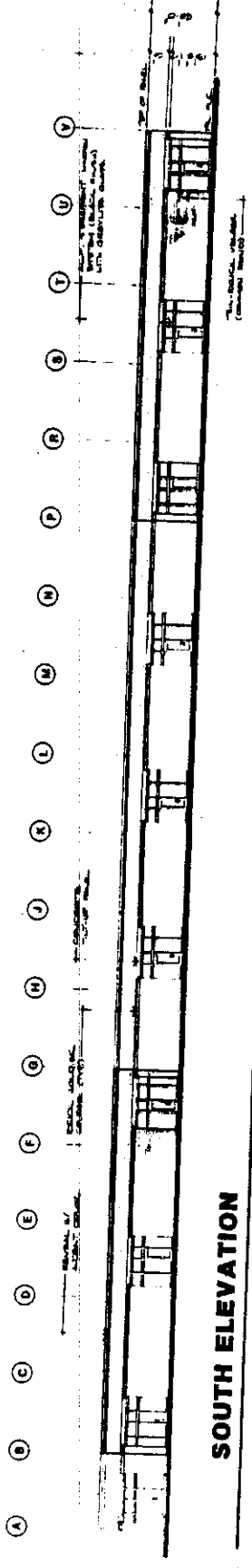
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 2838 Fulton Avenue
 Sacramento, CA 95821
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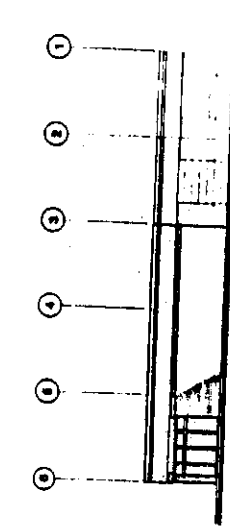
NORWOOD TECH.
BUSINESS PARK
 Sacramento, California
 Norwood Ave. & Hwy 80
 For Mr. John Bancho
 916-488-0177

SIGNATURE	DATE	4/1/84
	JOB NO.	B-2884-1
	SHEET NO.	A5
	REVISIONS	

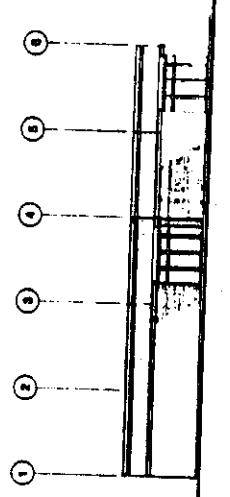


SOUTH ELEVATION

1/16" = 1'-0"

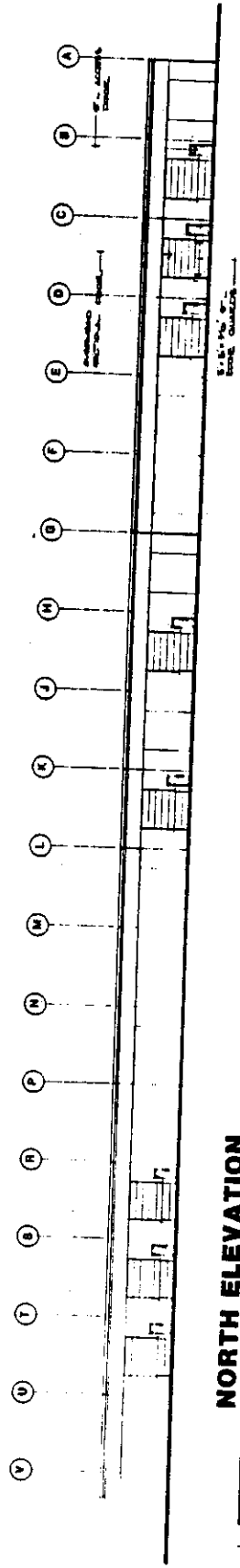


EAST ELEVATION



WEST ELEVATION

ELEV. A ELEV. B



NORTH ELEVATION

1/16" = 1'-0"

IP 84124

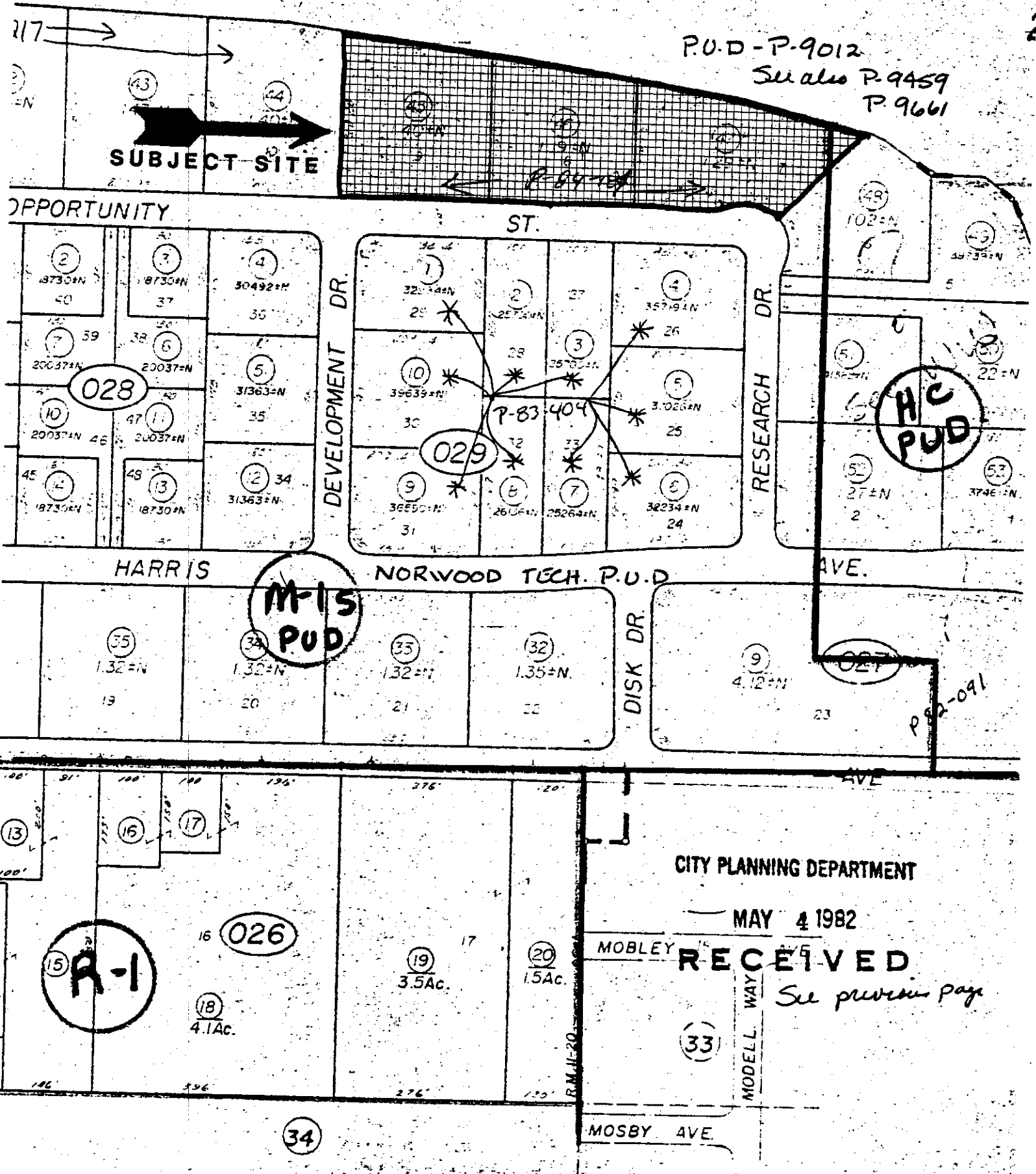
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No. 28

POR. SEC. 3, RANK 10 DEL PASO

P.U.D - P-9012
See also P. 9459
P. 9661

SUBJECT SITE

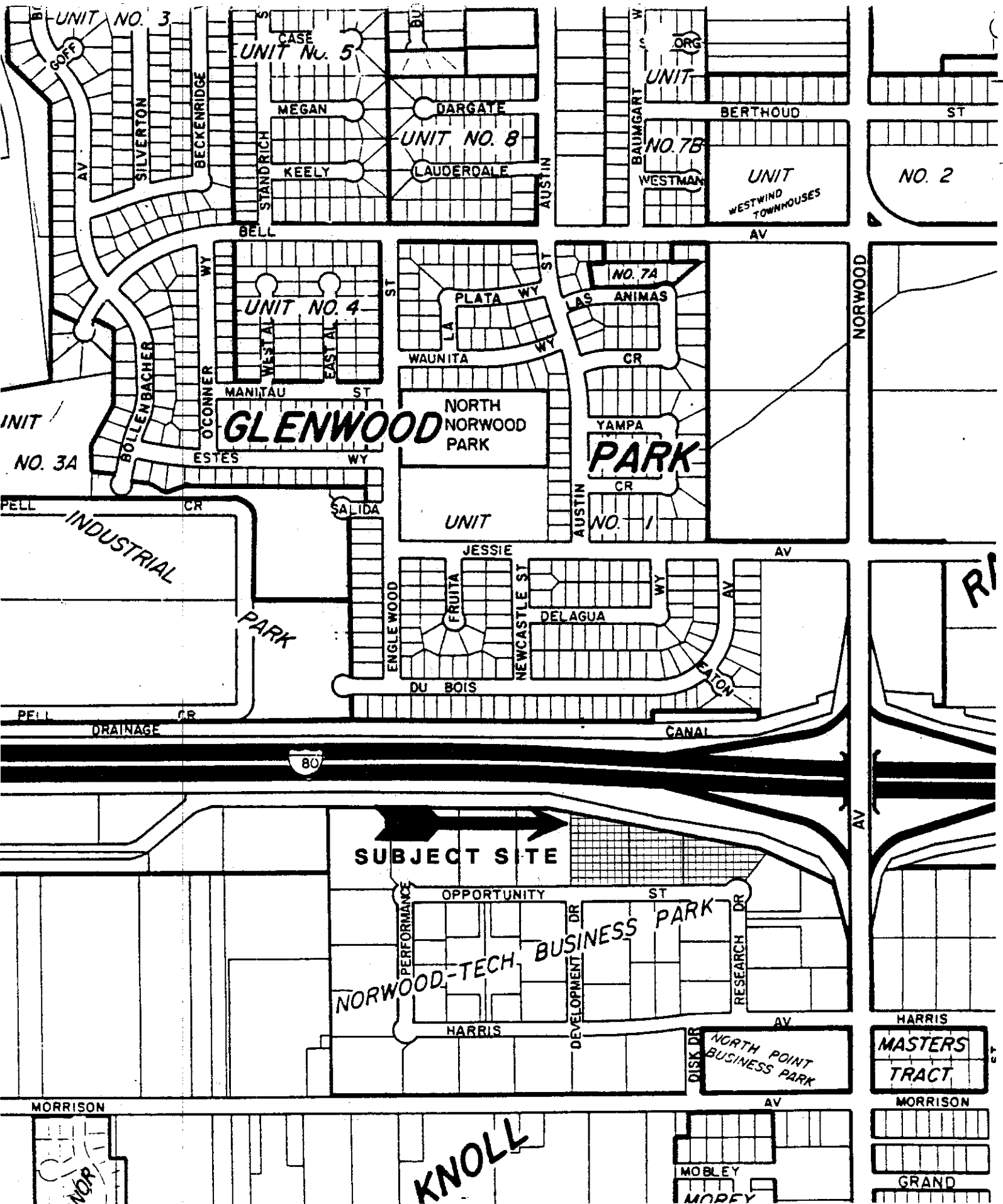


LAND USE/ZONING

CITY PLANNING DEPARTMENT

MAY 4 1982

MOBLEY **RECEIVED**
See previous page



VICINITY MAP

RESOLUTION NO.

Adopted by the Sacramento City Planning Commission
on date of

APPROVING A LOT LINE MERGER FOR
LOTS 7 AND 8, NORWOOD TECH BUSINESS
PARK (P84-184)

WHEREAS, the Planning Director has submitted to the Planning Commission a report and recommendation concerning the lot line merger for property located north side Opportunity Street, between Development and Research Drives; and

WHEREAS, the lot line merger is exempt from environmental review pursuant to State EIR Guidelines (CEQA, Section 15105 (a)); and

WHEREAS, the lot line merger is consistent with the 1974 City General Plan and the 1984 North Sacramento Community Plan;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Sacramento:

that the lot line merger for property located at the north side of Opportunity Street, between Development and Research Drives,

City of Sacramento, be approved as shown and described in Exhibits A and B attached hereto, subject to the following condition:

1. The applicant shall submit closure calculation for the overall boundary of the site. It shall be prepared by a certified licensed land surveyor or civil engineer and reviewed and approved by the City Engineer's Office.
2. The applicant shall pay off the 1911 bonds.

ATTEST:

CHAIR

SECRETARY TO CITY PLANNING COMMISSION

- c. Applicant shall submit a reciprocal parking and access agreement to the Planning Director prior to approval of final inspection of the structures by the Building Division;
- d. The applicant shall submit a signage program for the building for staff review prior to issuance of any sign permits;
- e. The applicant shall submit a detailed landscape, irrigation and shading plan to the Planning Director for review and approval prior to issuance of building permits.

Findings of Fact - Special Permit

- a. The proposed project, as conditioned, is based on sound principles of land use in that, it will conform to the adopted PUD guidelines for the Norwood Tech Business Park that are designed to preserve and enhance the aesthetic values throughout the project;
- b. The project, as conditioned, is not detrimental to the public health, safety or welfare, nor would it result in the creation of a nuisance in that the project will have adequate parking and maneuvering space, driveways will be adequately separated from property lines and other driveways, and the project will be in conformance with an adopted Planned Unit Development schematic plan;
- c. The project, as conditioned, will comply with the 1974 Sacramento City General Plan and the 1984 North Sacramento Community Plan which designate the site for Industrial, and Labor Intensive/Commercial Light Industrial-PUD uses respectively.

8. (cont'd)

The project, as designed, does not meet the objective of the PUD, "to preserve and enhance the aesthetic values throughout the project." Furthermore, the guidelines require that finished building materials shall be applied to all sides of the building which are visible to the general public, and occupants of the same and other buildings. Again, a redesign is necessary to comply with these guidelines.

9. Although trash enclosures are shown on the site plan, no details are provided on the floor plans and elevations. Plans that comply with PUD guidelines shall be provided for review and approval prior to issuance of building permits.
10. A sign program has not been submitted with this application. Any signs for the project shall conform to the PUD guidelines and the City Sign Ordinance, and must be submitted for review and approval prior to issuance of sign permits.

STAFF RECOMMENDATION: Staff recommends the following actions:

1. Ratification of the Negative Declaration;
2. Approval of the Special Permit, subject to conditions and based on Findings of Fact which follow;
3. Approval of the Lot Line Adjustment to merge two lots by adopting the attached resolution.

Conditions - Special Permit

- a. The applicant shall redesign the project with the following and be reviewed and approved by the Planning Director prior to building permit issuance:
 - 1) locate parking spaces for Building A on either one parcel or the other. The required parking for each building shall be provided as nearly as possible entirely on their respective parcels;
 - 2) submit a revised landscape plan that provides continuous on-site landscaping strip at least four feet wide along the north property line adjacent to the freeway and drainage canal; and
 - 3) provides minimum 25-foot landscaped setback along the front property line;
 - 4) the two-foot overhang area of the parking spaces shall be incorporated into the adjacent landscape or walkway improvement;
 - 5) a minimum 50-foot setback shall be provided for both buildings, from the freeway and drainage canal boundary;
 - 6) the buildings shall comply with the adopted PUD guidelines and provide finished building materials applied to all sides of the buildings;
 - 7) location and design of trash enclosure structures;
 - 8) the western edge of the proposed driveway at Development Drive shall be moved easterly so it will not be in conflict with the existing street light.
- b. The project shall comply with all requirements of the Norwood Tech PUD Guidelines.

2. The Norwood Tech Business Park PUD and schematic plan was approved by City Council on July 29, 1980. (P-9012) (See Exhibits C & D.)

The subject site has been redesignated from Light Density and Multi-Family Residential to Labor Intensive/Commercial Light Industrial PUD in the recently adopted North Sacramento Community Plan.

3. The project was reviewed by Traffic, Real Estate, Building, Police, Fire, Electrical, Engineering and Water Division. The following comments were received:

Traffic: Less paving would be required if the auto parking at Building B used separate driveway entrances (540 sq. ft. vs 3,000 sq. ft.) The western-most driveway need be only 25' - 30' wide if it serves only automobiles.

Real Estate: Requires the 1911 bonds to be paid off.

Building: The project must meet Building Code regulations, i.e. firewalls, etc.

Electrical: The western edge of the proposed driveway at Development Drive should be moved easterly by at least five feet so it will not be in conflict with the existing street light.

Engineering: Grading and drain study required - minimum lot pad elevation to be Elev. 21 for Lot 45 and Elev. 22 for Lots 46 and 47.

4. Access to the rear of Building A is via the adjacent parcel. The parking spaces at the east end of Building A straddle the property line. These spaces should be located on either one or the other parcel. The required parking for each building should be provided as nearly as possible entirely on their respective parcels. A reciprocal parking and access agreement should be provided for review and approval prior to issuance of building permits.
5. There is virtually no landscaping at the rear of the buildings. The approved schematic plan indicates a continuous on-site landscaped strip along the freeway. Only about one-third of the freeway footage is now proposed for landscaping. Landscaping in the front setback is inadequate. The PUD Guidelines and schematic plan provide for a minimum landscape setback of 25 feet. Only 15 feet is proposed. Revised plans should be provided for review and approval prior to building permit approval.
6. The two-foot overhang area of the parking spaces should be incorporated into the adjacent landscape, or walkway improvement, in accordance with the PUD Guidelines (except for handicape spaces).
7. A minimum 50-foot setback from the freeway and drainage canal is required for Lots 8 and 9. Both Buildings A and B as shown are 20 feet at their closest point. A redesign of the building is necessary to meet the required setbacks.
8. The freeway side of both buildings has an architectural treatment different from the front elevations. The contrast is most apparent at those corners of the building where the brick ends and the concrete tiltup begins. The loading areas at the rear of the buildings will be typical of other warehouse buildings in non-PUD areas in the City.

CITY PLANNING COMMISSION

927 10TH STREET, SUITE 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	The Frandsen Group (Dave Morgan), 2636 Fulton Ave., 'B', Sacto., CA 95821		
OWNER	Banchero Co., 601 University Ave., #183, Sacramento, CA 95825		
PLANS BY	The Frandsen Group, 2636 Fulton Ave., 'B', Sacto., CA 95821		
FILING DATE	5-11-84	50 DAY CPC ACTION DATE	REPORT BY: PB:bw
NEGATIVE DEC	6-4-84	EIR	ASSESSOR'S PCL. NO. 250-025-45,46,47

- APPLICATION:
1. Negative Declaration
 2. Special Permit to develop two office/warehouse structures on 4± vacant acres in M-1(S)(PUD) and (HC-PUD) in Norwood Tech Business Park
 3. Lot Line Adjustment to create 4± acre parcel to allow two office/warehouse structures totaling approx. 60,000 square feet

LOCATION: North side Opportunity Street, bet. Development and Research Drives

PROPOSAL: The applicant is requesting the necessary entitlements to allow development of two office/warehouse structures.

PROJECT INFORMATION:

1974 General Plan Designation: Industrial
1984 North Sacramento Community
Plan Designation: Labor Intensive/Commercial Light Industrial-PUD
Existing Zoning: M-1(S)(PUD); HC-PUD
Existing Land Use: Vacant

Surrounding Land Use and Zoning:

North: Vacant, Highway 80
South: Office/warehouse; M-1(S)(PUD); HC(PUD)
East: Vacant; M-1(S)(PUD); HC(PUD)
West: Vacant; M-1(S)(PUD)

Parking Required: Office: 75 spaces; warehouse: 35 spaces
Parking Provided: Office: 75 spaces; warehouse: 35 spaces
Ratio Required: Office: 1:225; warehouse: 1:1000
Ratio Provided: Office: 1:225; warehouse: 1:1000
Property Dimensions: Irregular
Property Area: 4± acres
Square Footage of Buildings: A: 21,504; B: 38,784
Height of Structures: 20 feet
Topography: Flat
Street Improvements/Utilities: Existing
Exterior Building Colors: Not available
Exterior Building Materials: Concrete

STAFF EVALUATION: Staff has the following comments regarding this proposal:

1. The subject site consists of three parcels totaling 4.1 acres in the M-1(S)(PUD) and HC(PUD) zones. The applicant is requesting: a) the merger of two of the three lots, and b) a special permit to develop two office/warehouse structures in the Norwood Tech Business Park. These would be (A) 21,504 square feet and (B) 38,784 square feet respectively, totaling 60,288 square feet, which is 8,232 square feet less than originally approved for the three sites.