

PLANNING DIRECTOR'S VARIANCE

927-10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Gary Lewis, 521 Pico Way, Sacramento, CA 95819		
OWNER	Gary Lewis, 521 Pico Way, Sacramento, CA 95819		
PLANS BY	Mark J. Hansen		
FILING DATE	8/9/83	50 DAY CPC ACTION DATE	REPORT BY: SD:bw
NEGATIVE DEC.	N/A	EIR	ASSESSOR'S PCL. NO. 004-261-18

APPLICATION: Planning Director's Variance to reduce the required side yard setback to three feet, four inches to allow the expansion of an existing residence (Sec. 3-B-1) (P83-263)

LOCATION: 521 Pico Way

PROJECT INFORMATION:

1974 General Plan Designation: Residential
 1963 East Sacramento Community
 Plan Designation: Light Density Residential
 Existing Zoning of Site: R-1
 Existing Land Use of Site: Single Family Residence

Surrounding Land Use and Zoning:

North: Residential; R-1
 South: Residential; R-1
 East: Residential; R-1
 West: Residential; R-1

Parking Required: 1 space
 Parking Provided: 1 space
 Parking Ratio: 1 space per dwelling
 Property Dimensions: 136' x 47'
 Property Area: .15± acre
 Square Footage of Building: 1,398 existing; 132 proposed
 Topography: Flat
 Street Improvements/Utilities: Existing
 Exterior Building Colors: Beige/white
 Exterior Building Materials: Stucco

STAFF EVALUATION: The subject site is 47' x 136', 6,392 square feet in size. It is developed with a one-story, single family residence approximately 1,400 square feet in size. The applicant proposes to expand his home by adding a bathroom and closet to the existing structure. The applicant is requesting a Planning Director's Variance to reduce the required five-foot side yard setback to three feet, four inches in order to continue the addition along the same wall line as the existing structure.

In order to recommend for approval of a variance request, staff must find there is a hardship involved which prevents the applicant from complying with the Zoning Ordinance. Staff believes that there are grounds to support the variance because the subject site is substandard in width. In addition, the existing structure is situated three feet, four inches from the property line.

Plans for the project were routed to Fire Prevention who had no objection to the request. Staff, therefore, has no objection to the request.

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STAFF RECOMMENDATION: Staff recommends approval of the request based upon the following Findings of Fact:

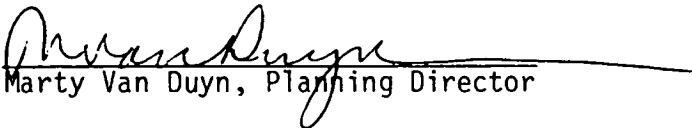
Findings of Fact

1. The variance does not constitute a special privilege in that the lot is less than standard width;
2. The request does not constitute a use variance in that residential uses are allowed in the R-1 zone;
3. Granting the variance will not be injurious to surrounding property in that fire regulations are met;
4. The request is in conformance with the 1963 East Sacramento Community Plan and the 1974 General Plan which designate the site for residential uses.

REPORT PREPARED BY:


Susan Desmarais, Assistant Planner

RECOMMENDATION APPROVED:


Marty Van Duyn, Planning Director

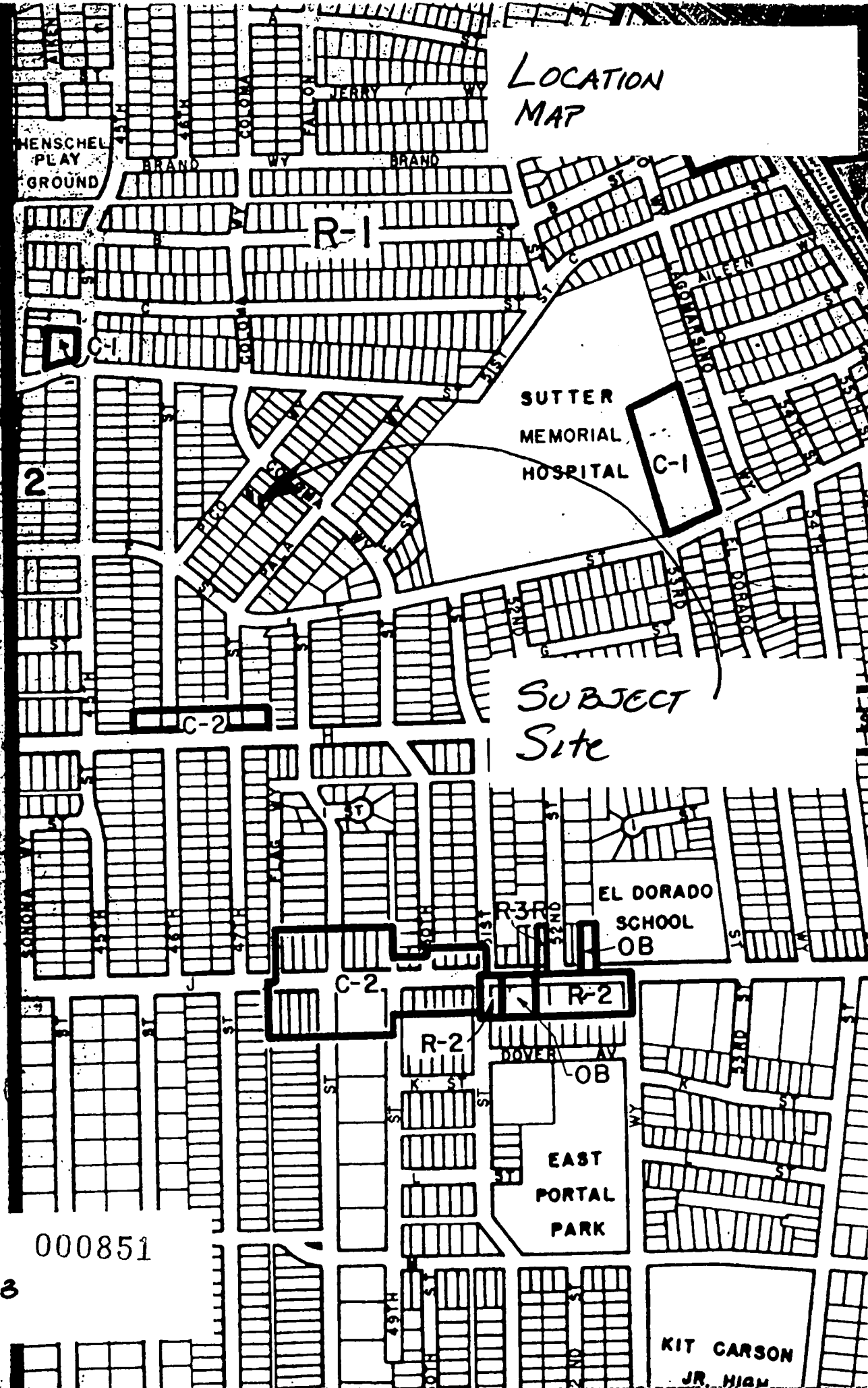
SD:bw

Attachments

P83-263

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LOCATION
MAP



MENSCHEL
PLAY
GROUND

R-1

SUTTER
MEMORIAL
HOSPITAL

C-1

SUBJECT
Site

EL DORADO
SCHOOL
OB

C-2

R-2

EAST
PORTAL
PARK

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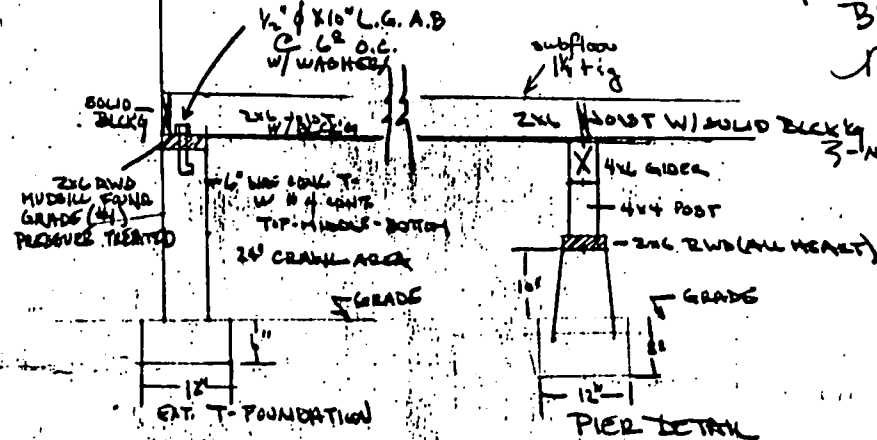
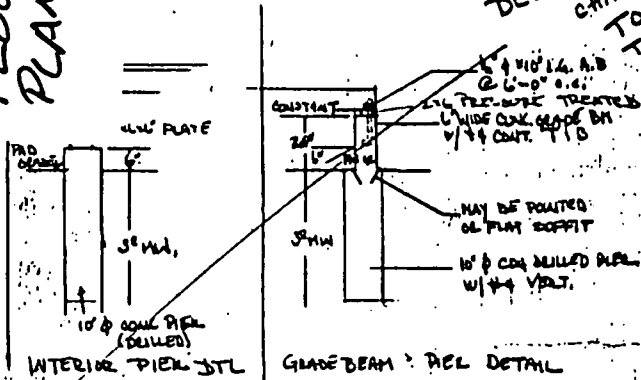
KIT CARSON
JR. HIGH

FLOOR PLAN

115
 1 PICO WAY
 FUNDAMENTALS

DRAWINGS BY:
 MARK J. HANSEN
 B-1 579000
 M.J. Hansen
 6/18/83

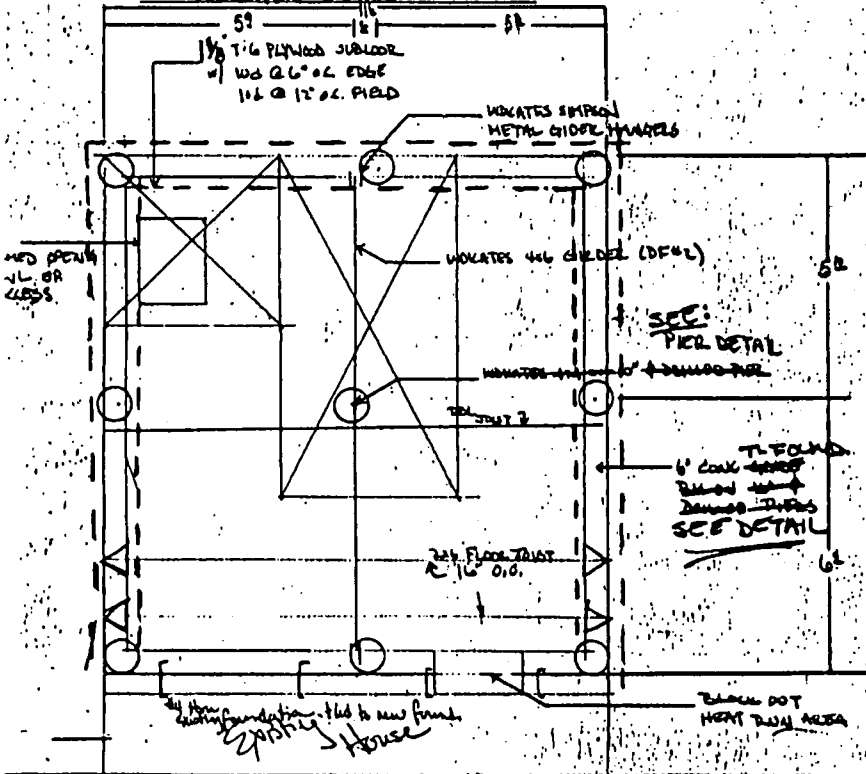
DELETE CHANGED TO T-FOUNDATION



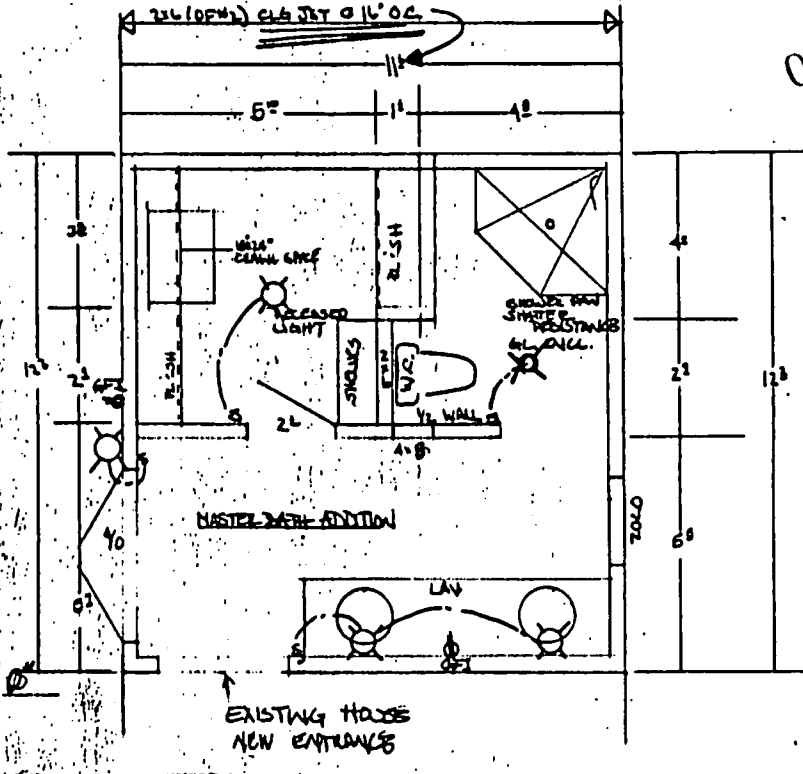
CORRECTED SET

FOUNDATION DETAIL 1/2" = 1'-0"

FLOOR PLAN - MASTER BATH



Scale
 1/2" = 1'-0"

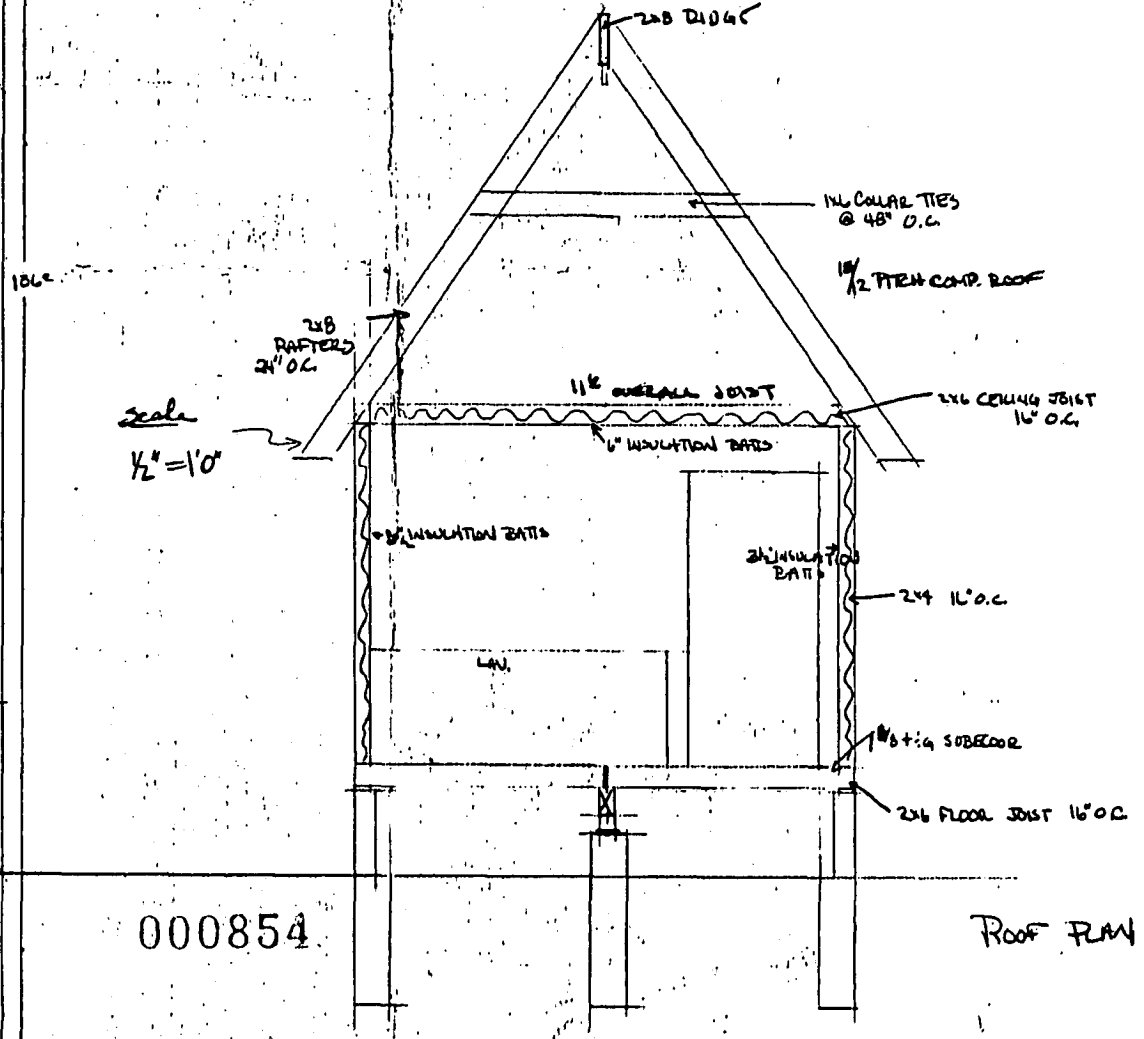
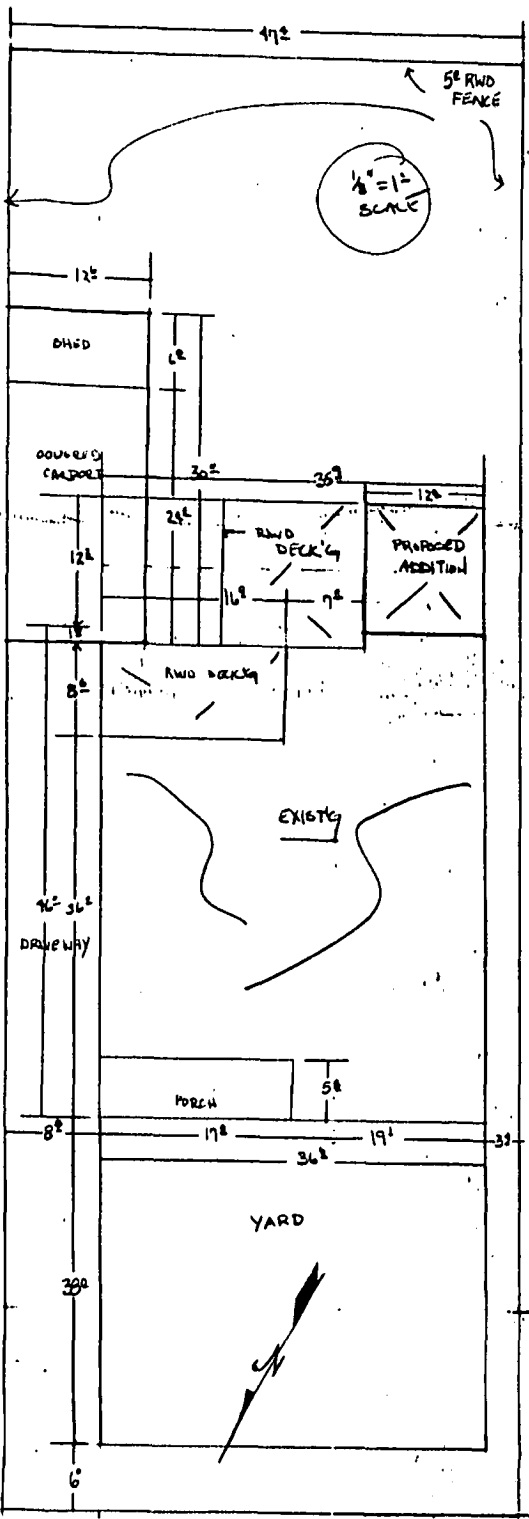


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- NOTES:
1. PROVIDE U.P. GYP 2DR SHOWER ENCL.
 2. 2x4 FRAME W/O.C.
 3. ELECT
 - A. 5-NEW LIGHTS
 - B. 1-GFI OUTLET
 - C. SERVICE ENSTG-2AO

EXISTING HOUSE
 NEW ENTRANCES

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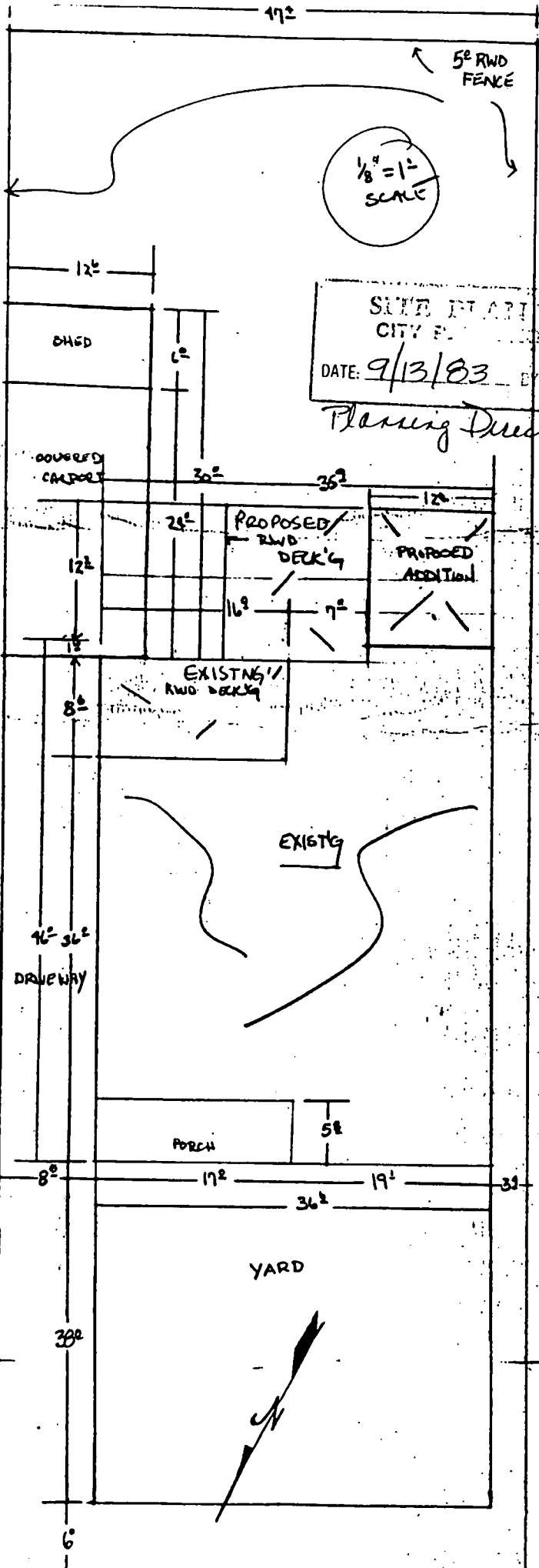


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ROOF PLAN

FACE UP CURB

P83263



SITE PLAN

SITE PLAN APPROVED
 CITY OF ...
 DATE: 9/13/83
 PLANNING DIRECTOR

Planning Director's Variance

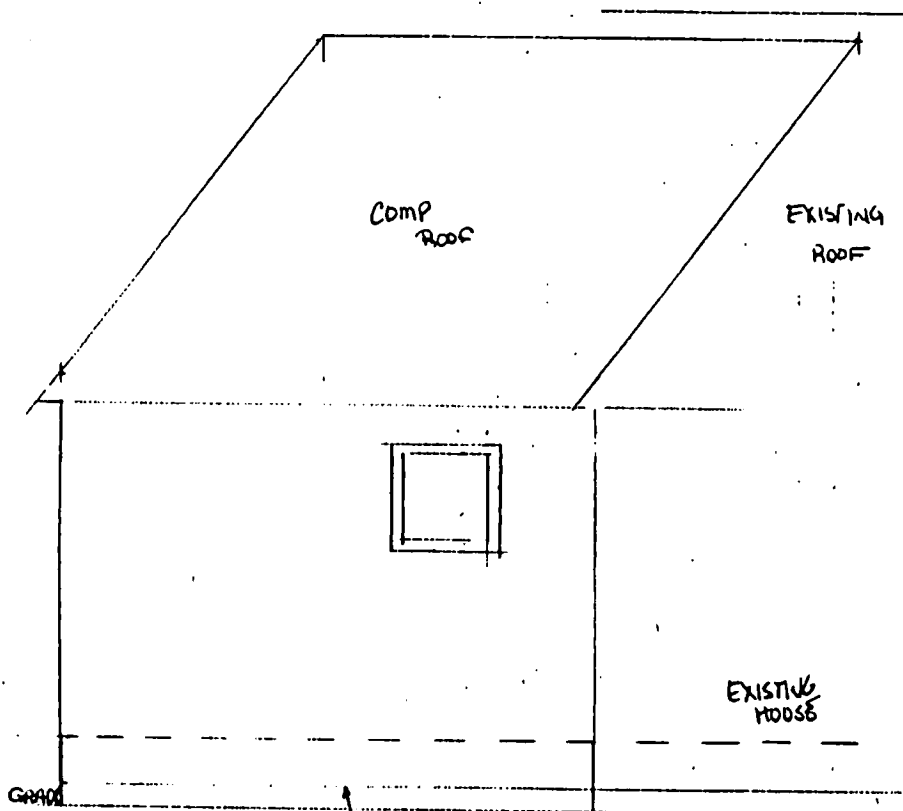
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Subcontract approval

Scale
1/2" = 1'0"

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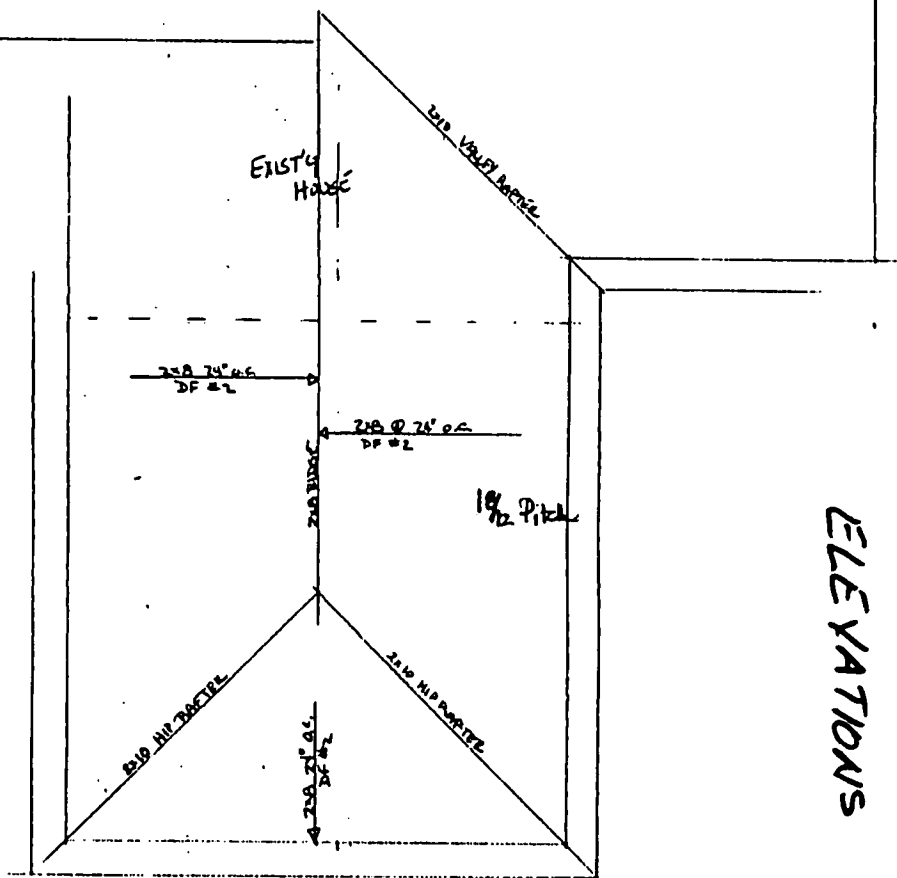
LINE OF CURB



SIDE

1/2" = 1'0"

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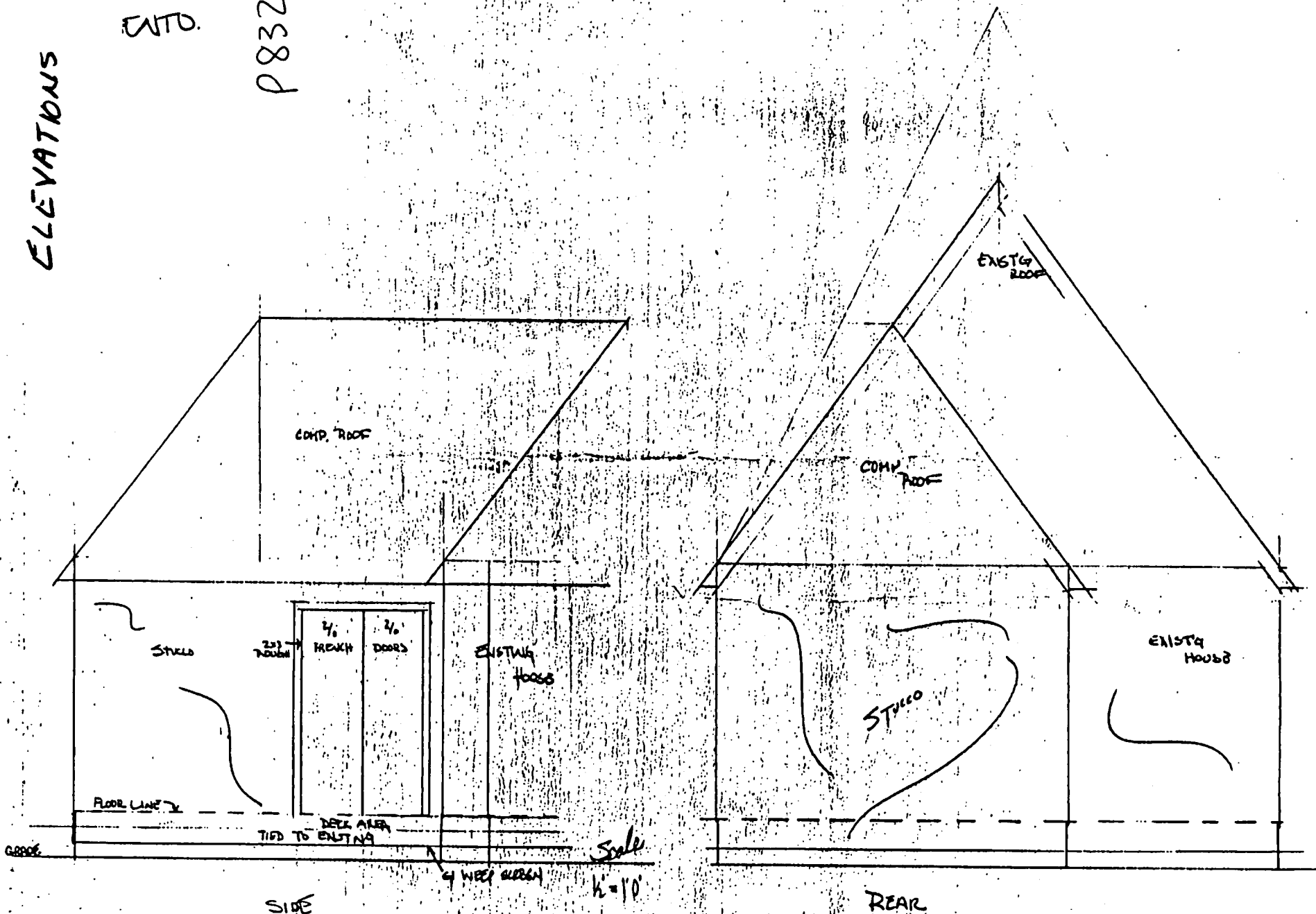
ROOF DETAIL

ELEVATIONS

ELEVATIONS

NO WAY INTO.

P83263



SIDE

REAR

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