

CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	JTS Engineering, 811 'J' Street, Sacramento, CA 95814				
OWNER	The Pinon Group, 10575 Wilton Road, Elk Grove, CA 95624				
PLANS BY	JTS Engineering, 811 'J' Street, Sacramento, CA 95814				
FILING DATE	12-10-82	50 DAY CPC ACTION DATE		REPORT BY	SD:bw
NEGATIVE DEC	1-3-83	EIR		ASSESSOR'S PCL. NO.	031-480-25

- APPLICATION:
1. Environmental Determination
 2. Rezone .25± acres from Single Family (R-1) to Townhouse (R-1A) zone
 3. Special Permit for halfplex development
 4. Tentative Map

LOCATION: Northeast corner of Greenhaven Drive and Smoke River Drive

PROPOSAL: The applicant is requesting the necessary entitlements to construct a halfplex on an existing corner lot.

PROJECT INFORMATION:

1974 General Plan Designation:	Residential
1976 Pocket Community Plan Designation:	Light Density Residential
Existing Zoning of Site:	R-1
Existing Land Use of Site:	Vacant
Proposed Zoning:	R-1A

Surrounding Land Use and Zoning:

North:	Residential; R-1
South:	Residential; R-1
East:	Residential; R-1
West:	Residential; R-1

Parking Required:	2 spaces
Parking Provided:	4 spaces
Parking Ratio:	1:1
Property Dimensions:	93' x 115'
Property Area:	.25± acre
Square Footage of Building:	Unit A - 1,709; Unit B - 1,656
Topography:	Flat
Street Improvements/Utilities:	Provided
Exterior Building Colors:	Earth tones
Exterior Building Materials:	Stucco and wood
Height of Structure:	21 feet

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On December 22, 1983, by a vote of five ayes and four absent, the Subdivision Review Committee voted to recommend approval of the project. The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. File the necessary segregation requests and fees to segregate existing assessments;
2. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map.

APPLC. NO. P82-293

MEETING DATE January 13, 1983

001814 ITEM NO. 21

STAFF EVALUATION: Staff has the following comments with regard to this project:

1. The subject site is located in an area developed with single family units. The proposed halfplex development will not change the density or character of the area since duplexes are allowed on corner lots under the Zoning Ordinance and the Pocket Community Plan. The subject request will allow individual ownership of each unit.
2. Each halfplex will have separate street orientation which is consistent with the Pocket Community Plan design criteria encouraging the appearance of standard single family units in duplex or halfplex structures.
3. The Planning and Community Services Departments have determined that .022 acres of land are required for Parkland Dedication purposes and that fees are to be charged in lieu of the required dedication. The subdivider shall submit to the City an appraisal of the land to be subdivided. The appraisal shall be dated and submitted no more than 90 days prior to filing the final map.
4. The City Sewer and Water Department has requested that each unit be provided separate sewer and water hookups.

RECOMMENDATION: Staff recommends that the Commission take the following actions:

1. Ratify the Negative Declaration;
2. Approve the Rezone from R-1 to R-1A;
3. Approve the Special Permit, based on Findings of Fact to follow;
4. Approve the Tentative Map, subject to conditions to follow.

Conditions - Tentative Map

The applicant must satisfy each of the following conditions prior to filing the final map:

- a. File the necessary segregation requests and fees to segregate existing assessments;
- b. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
- c. Provide separate sewer and water hookups to each unit.

Findings of Fact - Special Permit

- a. The proposed halfplex development is based on sound principles of land use in that:
 - 1) similar housing types are located in the neighborhood;
 - 2) the Zoning Ordinance allows duplexes on Single Family (R-1) lots.

- b. The proposed project will not be detrimental to public health, safety and welfare or result in the creation of a nuisance in that:
 - 1) adequate on-site parking is provided;
 - 2) it will not alter the residential character of the surrounding neighborhood which consists of single family and duplex uses.
- c. The proposed project complies with the General Plan and the Pocket Community Plan which designates the site for residential uses.

001616

AKS
RIVER
FALLWIND CR
DR

JAN. 13, 1983

13

No. 21

001619

SUBJECT
SITE

HERITAGE
PLACE
SPRICE TREE CR
PARK WY
PLACE
ROSE
CEDAR TREE
MIDDLE TREE RD
SOUTH WY
ALDER TREE

VALLEY BROOK WY
LYNETTE WY
RIO
MAYTLE
SHARON WY
PARK
ELOAH WY
VISTA
ALMA
RD

POCKET
PARKWAY
SMOKE RIVER WY
SAND RIVER
OAKS
GRAND RIVER
SLEEPY RIVER WY
DEL RIVER
OAK RIVER
OAKS
RIVER
S. OAK WAY

5
NO.
LOCATION
MAP

TANK 4

P. 82293

JAN. 13, 1983

No. 21

POCKET ROAD

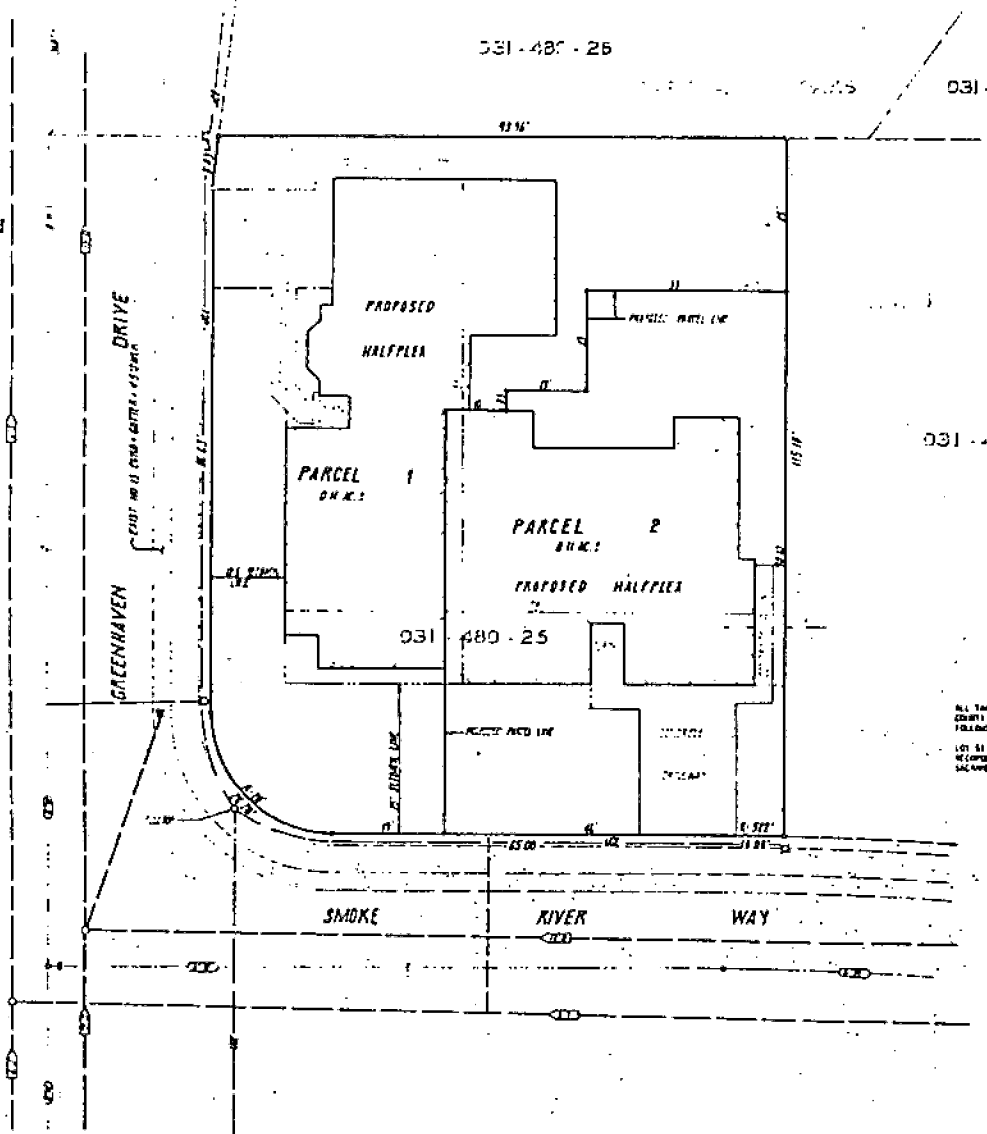


SCALE IN FEET

P 82293

q

001620



031-480-25

031-480-31

031-480-20

031-480-25

LEGAL DESCRIPTION

ALL THE REAL PROPERTY SHOWN IN THE CITY OF SACRAMENTO, COUNTY OF SACRAMENTO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 51 AS SHOWN ON THE MAP ENTITLED "PROPOSED 6423 1/2 W. 17", RECORDED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SACRAMENTO, STATE OF CALIFORNIA, IN BOOK 177 OF MAPS, PAGE 11.

LEGEND

- (S)— EXISTING STORM DRAIN
- (S)— EXISTING SEWER LINE
- (S)— EXISTING WATER MAIN
- (S)— EXISTING UNDERGROUND CABLE
- EXISTING MANHOLE
- EXISTING HOOP TANK
- EXISTING FIRE HYDRANT
- (S)— EXISTING WATER VALVE
- (S)— EXISTING STREET LIGHT



LOCATION MAP
AS SHOWN

DATE:
THIS PARCEL MAP WAS PREPARED BY JTS ENGINEERING CONSULTANTS, INC. ON 12/15/82 FOR THE CITY OF SACRAMENTO.

REVISIONS:
NO. 1 - 12/15/82
NO. 2 - 1/13/83

ENGINEER:
JTS ENGINEERING CONSULTANTS, INC.
411 J STREET
SACRAMENTO, CA 95811

EXISTING UTILITIES:
S - WATER
M - MANHOLE

AREA - SQUARE FEET:
PARCEL 1 - 0.14 ACRES
PARCEL 2 - 0.19 ACRES
TOTAL - 0.33 ACRES

PROPOSED USE:
RESIDENTIAL

APPLICANT:
CITY OF SACRAMENTO

PROJECT NO.:
82-000-25

UTILITY REPRESENTATIVES		
UTILITY	REPRESENTATIVE	PHONE
GAS	PG&E	383-6448
ELECTRICITY	S&M&E	432-3279
TELEPHONE	P&T	442-3298
WATER	CITY OF SACRAMENTO	442-3273
SEWER	CITY OF SACRAMENTO	442-3273
SPRINKLER	CITY OF SACRAMENTO	442-3273
UNDERGROUND FLOOD ALERT	WOODWARD-CLARK	442-3273
FIRE	CITY OF SACRAMENTO	442-3273

DEC 9 1982

SACRAMENTO DISTRICT
NO. 1

JTS ENGINEERING CONSULTANTS, INC.
411 J STREET
SACRAMENTO, CALIFORNIA 95811 (916) 441-8776

DATE: 12/15/82
SCALE: 1"=10'
DRAWN BY: JTS
CHECKED BY: JTS
APPROVED BY: JTS

NO.	DATE	REVISION	COUNTY APPROVAL	BY

TENTATIVE PARCEL MAP
7643 GREENHAVEN DR. & 1179 SMOKE RIVER WY.
APN: 031-480-25
CITY OF SACRAMENTO
LOT 51, PARKWAY BLK 1 UNIT NO. 1

DATE: 12/15/82
PAGE: 1/1

TENTATIVE MAP

SITE PLAN

DATE	1/20/83
BY	W. J. ...
PROJECT	...
SCALE	1" = 20'
PLANNING	...

82147

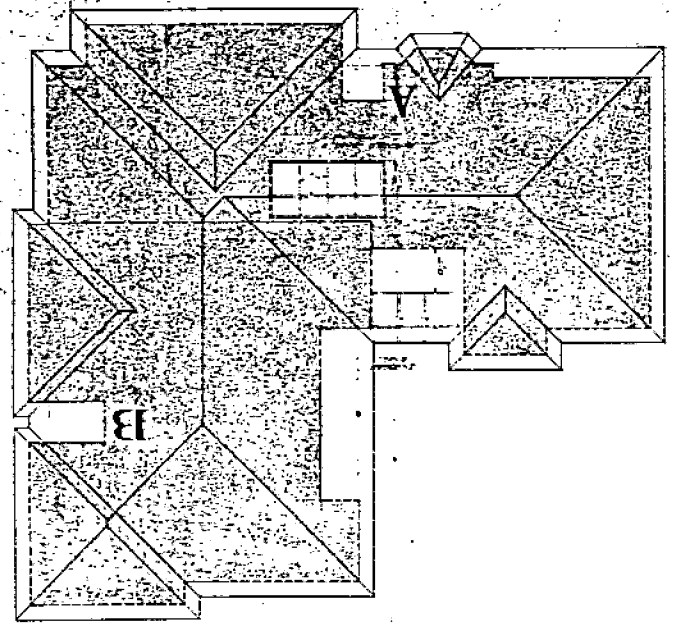
001621

PLOT PLAN
 SCALE 1/8" = 1'-0"
 REVISION DATE 1/13/83

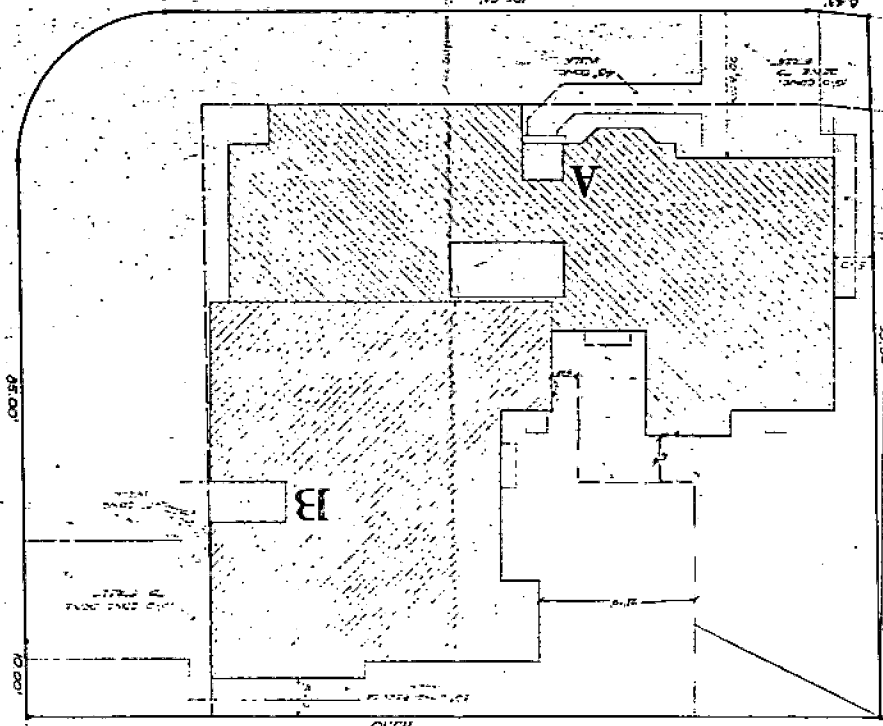
GREENHAVEN DRIVE



BOC PLAN



SMOKE RIVER WAY

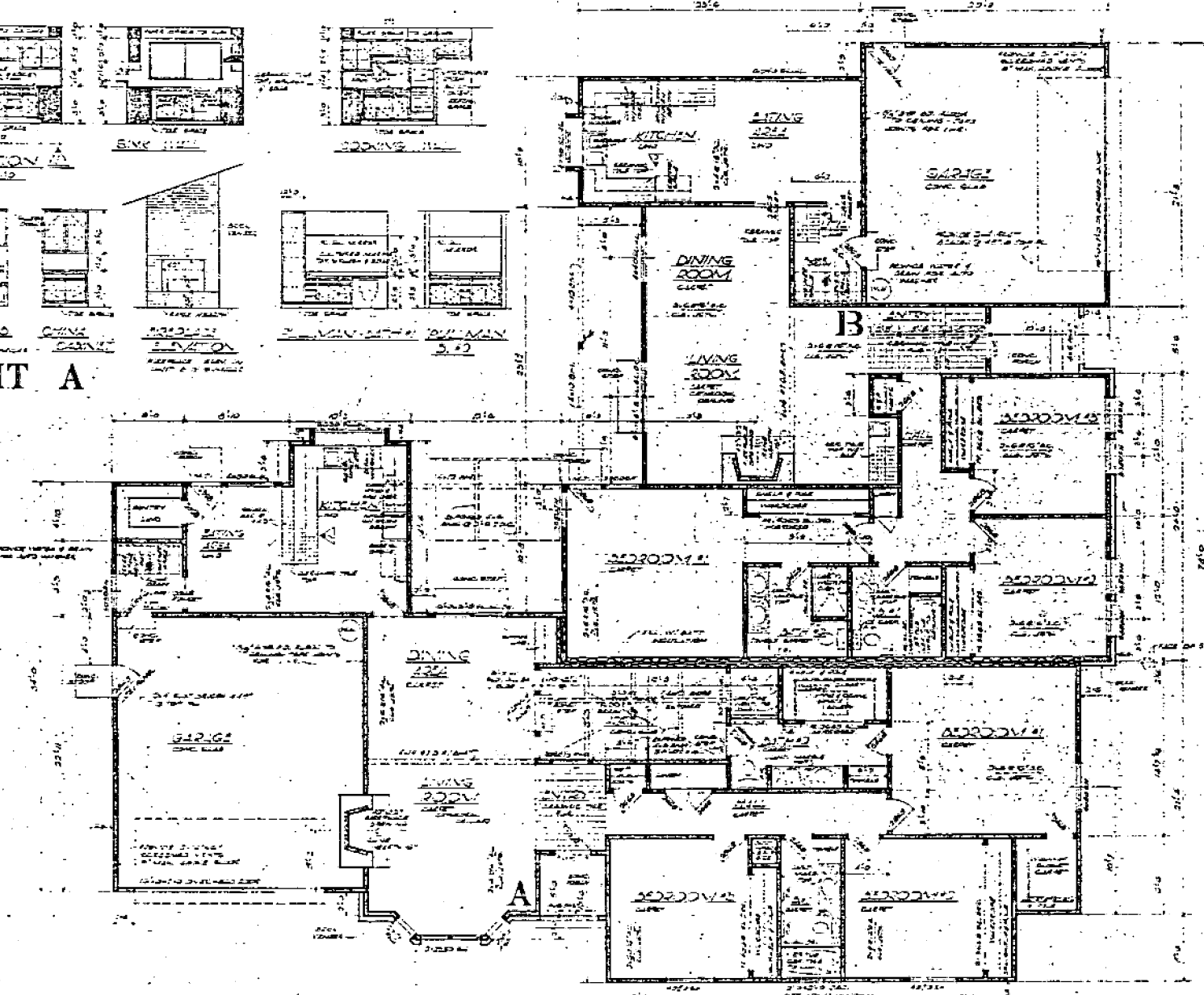
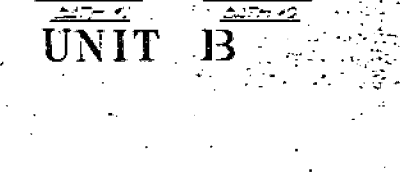
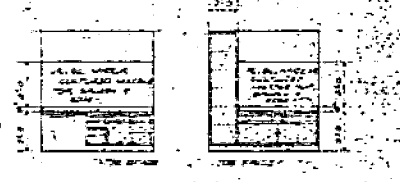
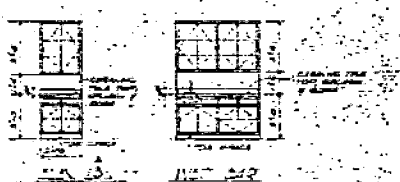
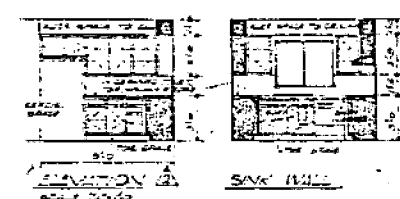
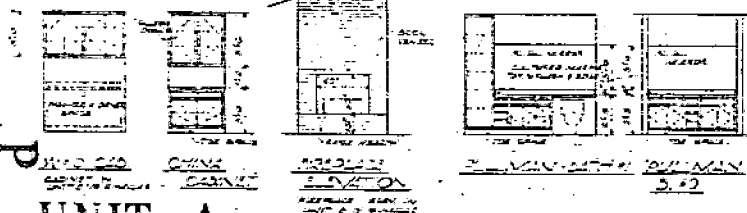
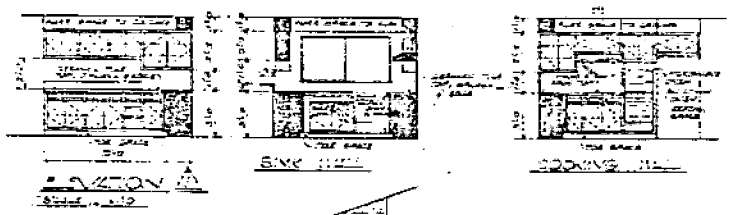


P 82293
 JAN 13, 1983 14

82293 E

P 82293

P 82293 JAN 13, 1983



001622

FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 UNIT A AND B, LEVEL 1, DESIGN CALCULATIONS BY OTHERS

FLOOR PLAN

PLAN 3226	
DATE: 1/13/83	SCALE: 1/8" = 1'-0"
DESIGNER: [Name]	CHECKER: [Name]
DATE: 1/13/83	SCALE: 1/8" = 1'-0"
DESIGNER: [Name]	CHECKER: [Name]
DATE: 1/13/83	SCALE: 1/8" = 1'-0"
DESIGNER: [Name]	CHECKER: [Name]

No. 21

P. 82293

JAN. 13, 1983.

No. 21

POCKET ROAD

031-480-26

PARKWAY OAKS

031-480-31

93.91'

031-480-20

PARCEL 1
0.14 AC. ±

PARCEL 2
0.11 AC. ±

031-480-25

PROPOSED HALF PLEA

LEGAL DESCRIPTION

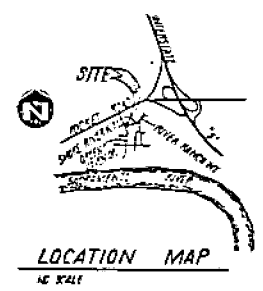
ALL THAT REAL PROPERTY SITUATE IN THE CITY OF SACRAMENTO, COUNTY OF SACRAMENTO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
LOT 31 AS SHOWN ON THE MAP ENTITLED "PARKWAY OAKS UNIT NO. 1", RECORDED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SACRAMENTO, STATE OF CALIFORNIA, IN BOOK 172 OF MAPS, PAGE NO. 12.

LEGEND

- EXISTING STORM DRAIN
- EXISTING SEWER LINE
- EXISTING WATER MAIN
- EXISTING UNDERGROUND ELECTRIC
- EXISTING MANHOLE
- EXISTING DROP INLET
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING STREET LIGHT

UTILITY REPRESENTATIVES		
UTILITY	REPRESENTATIVE	PHONE
GAS	PG&E	383-4147
ELECTRICITY	SMUD	482-3211
TELEPHONE	AT&T	482-3268
WATER	CITY OF SACRAMENTO	449-5273
SEWER	CITY OF SACRAMENTO	449-5273
DRAINAGE	CITY OF SACRAMENTO	449-5288
UNDERGROUND SERVICE ALERT	800-4-A-SHIELD	449-5252
FIRE	CITY OF SACRAMENTO	449-5252

DEC 9 1982



DATE: 12/9/82
 THE OWNER: BOB TELLESON, 294 FLORIN RD., SACRAMENTO, CA 95822
 THE ARCHITECT: JTS ENGINEERING CONSULTANTS, INC., 811 J STREET, SACRAMENTO, CA 95814
 DEVELOPER: BOB TELLESON
 ENGINEER: JTS ENGINEERING CONSULTANTS, INC.
 LEGAL DESCRIPTION: SEE LEGAL DESCRIPTION PAGE 2
 SHEET: 1 OF 1
 SITE: NUMBER OF PARCELS: 2
 PARCEL 1 = 0.14 AC. ±, PARCEL 2 = 0.11 AC. ±, 2 PARCELS
 PRESENT USE: VACANT
 PROPOSED USE: 2 - HALF PLEA LOTS
 STREET IMPROVEMENTS: EXISTING CURB, GUTTER AND SIDEWALK ALONG FRONTAGE
 SCHOOL DISTRICT: CITY OF SACRAMENTO
 ASSessor'S PARCEL NUMBER: 031-480-25



SCALE IN FEET

P 82293

9

BENCHMARK ELEV. _____
 FIELD BOOK NO. _____

JTS ENGINEERING CONSULTANTS, INC.
 811 J STREET
 SACRAMENTO, CALIFORNIA 95814 (916) 443-8708

DESIGNED: JTS
 DRAWN: JTS
 CHECKED: JTS
 SUBMITTED: JAN 7 1983
 SCALE: 1"=10'
 HCE 5274

NO.	DATE	REVISION	COUNTY APPROVAL	BY

TENTATIVE PARCEL MAP
 7643 GREENHAVEN DR. & 1179 SMOKE RIVER WY.
 APN: 031-480-25
 LOT 31, PARKWAY OAKS UNIT NO. 1
 CITY OF SACRAMENTO

DATE: DEC 9 1982
 SHEET: 1/1

JOB NO. 8147

TENTATIVE MAP