

CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT Frank Sturch, 300 Douglas Boulevard, Roseville, CA
OWNER Paul Munson, 6600 Freeport Boulevard, Sacramento, CA 95822
PLANS BY Frank Sturch, 300 Douglas Boulevard, Roseville, CA
FILING DATE 5/23/86 **ENVIR. DET.** 5/29/86 **REPORT BY** FG:bw
ASSESSOR'S-PCL. NO. 035-091-12

APPLICATION: A. Negative Declaration

B. Plan Review for a 53,000+ square foot mini-storage complex in the M-1-R zone.

LOCATION: 1414 Blair Avenue

PROPOSAL: The applicant is requesting the necessary entitlement to construct a mini-storage complex.

PROJECT INFORMATION:

1974 General Plan Designation: Industrial
1984 Airport/Meadowview Community Plan Designation: Industrial
Existing Zoning of Site: M-1-R (EA-4)
Existing Land Use of Site: Vacant

Surrounding Land use and Zoning:	Setbacks:	Required	Provided
North: Light Industrial; M-1-R	Front:	10'	14.5'
South: Vacant; M-1-R	Side(Int):	0	3'
East: Mini-Storage; M-1-R	Side(St):	0	3'
West: Vacant; M-1-R	Rear:	0	12.5'

Parking Required: 6 spaces
Parking Provided: 6 spaces
Property Dimensions: 253' x 425'
Property Area: 2.2+ acres
Square Footage of Building: 53,000+
Height of Building: 13+ feet
Topography: Flat
Street Improvements: Existing
Utilities: To be provided
Exterior Building Materials: Stucco and wood
Roof Material: Metal

PROJECT EVALUATION: Staff has the following comments:

- A. The subject site is a 2.2+ acre lot which is zoned Light Industrial-Review (M-1-R). The site is designated for industrial uses on both the General Plan and the 1984 Airport/Meadowview Community Plan. Surrounding uses are exclusively commercial and industrial in nature.
- B. The applicant is proposing to construct a mini-storage complex containing 486 storage units and a manager's office. There will be no on-site manager's living quarters. The site will be developed with 13 individual storage buildings. The buildings will be single-story (13+ feet) with stucco/wood exteriors and metal roofs.

APPLC. NO. P86-216 **MEETING DATE** June 26, 1986 **ITEM NO.** 27

Staff has reviewed the proposed development plan and offers the following observations:

1. A portion of the parking lot is located in the required 10-foot setback area. The spaces must be relocated and indicated on a revised site plan.
 2. No trash enclosures have been indicated on the site plan. Two enclosures are required by ordinance.
 3. The development plans do not indicate the location, size or number of on-site signs. A signage program must be submitted to staff for review and approval.
 4. A complete irrigation and landscape plan was not submitted. A complete plan must be provided for staff review and approval.
 5. Staff is concerned with the long walls which face the public right-of-way. These walls are featureless and would be constructed with a relatively smooth stucco finish. The applicant has indicated to staff that they would prefer to soften the exterior walls by using climbing vines and other vegetation. Staff feels that the elevations are rather bleak and that the north and south walls should be constructed with a textured finish with some vertical feature or column to break up the wall. The parapet wall should also extend along the full length of the north and south wall.
- C. The project has been reviewed by the Fire, Traffic Engineering, Engineering and Community Services Divisions. The following comments were received:

Community Services:

No irrigation, landscaping or grade change to be allowed under the oak tree.

Public Works - Engineering

Buildings L and K are over existing water main. No building permit for these buildings shall be allowed until existing main is abandoned (it is anticipated that the water line will be abandoned within the next 30 days or sooner).

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has reviewed the proposed project and has filed a Negative Declaration, based on compliance with mitigation measures which follow. These conditions on development were originally identified in a previous environmental assessment of this property (P86-216) completed in 1985 in response to a request to subdivide. At that time, the submitting applicant agreed to preserve and protect four specific on-site oaks identified by the City Arborist as significant. In a recent site visit; however, staff observed that with the exception of the one large oak (52-inch diameter), all other vegetation had been cleared and the entire site graded. A subsequent call to the present acting City Arborist revealed that the applicant had requested and received permission from that office to remove the three smaller oaks provided additional landscaping was provided. Therefore, in order to avoid any potentially significant adverse impacts from this project, the applicant shall implement the following mitigation measures:

1. The applicant shall ensure that watering is employed to reduce fugitive dust during all phases of development.
2. The applicant shall preserve and protect the remaining 52-inch diameter oak tree to the satisfaction of the Director of Parks and Community Services, including the following measures:
 - a. A temporary six-foot high chainlink fence shall be placed around the dripline of the Oak tree to prevent soil compaction resulting from stacked construction materials, parked equipment and vehicles. This fence shall remain in place until landscaping commences;
 - b. Grading, trenching, cutting and/or filling within the dripline of the oak tree designated for preservation shall not occur;
 - c. Roadways and building foundations shall not extend into the dripline of the oak tree;
 - d. Irrigation systems within the dripline of the oak tree shall be prohibited;
 - e. Pruning or cutting of the oak tree, except for cleaning of dead wood, shall be prohibited;
 - f. The applicant shall provide additional landscaping to the satisfaction of the Director of Parks and Community Services, or;
 - g. Contribute an amount to be determined by the Planning Director and the Director of Public Works to be used for capitol improvements at nearby Argonaut Park on Dickson Street.

RECOMMENDATION: Staff recommends the following:

- A. Ratify the Negative Declaration;
- B. Approve the Plan Review, subject to conditions and based upon findings of fact which follow:

Conditions

1. All gates and fences shall be constructed of open wrought iron. No chainlink fence shall be permitted.
2. Two trash enclosures shall be located on site. A revised site plan shall be submitted indicating the enclosure locations for staff review and approval prior to the issuance of building permits.

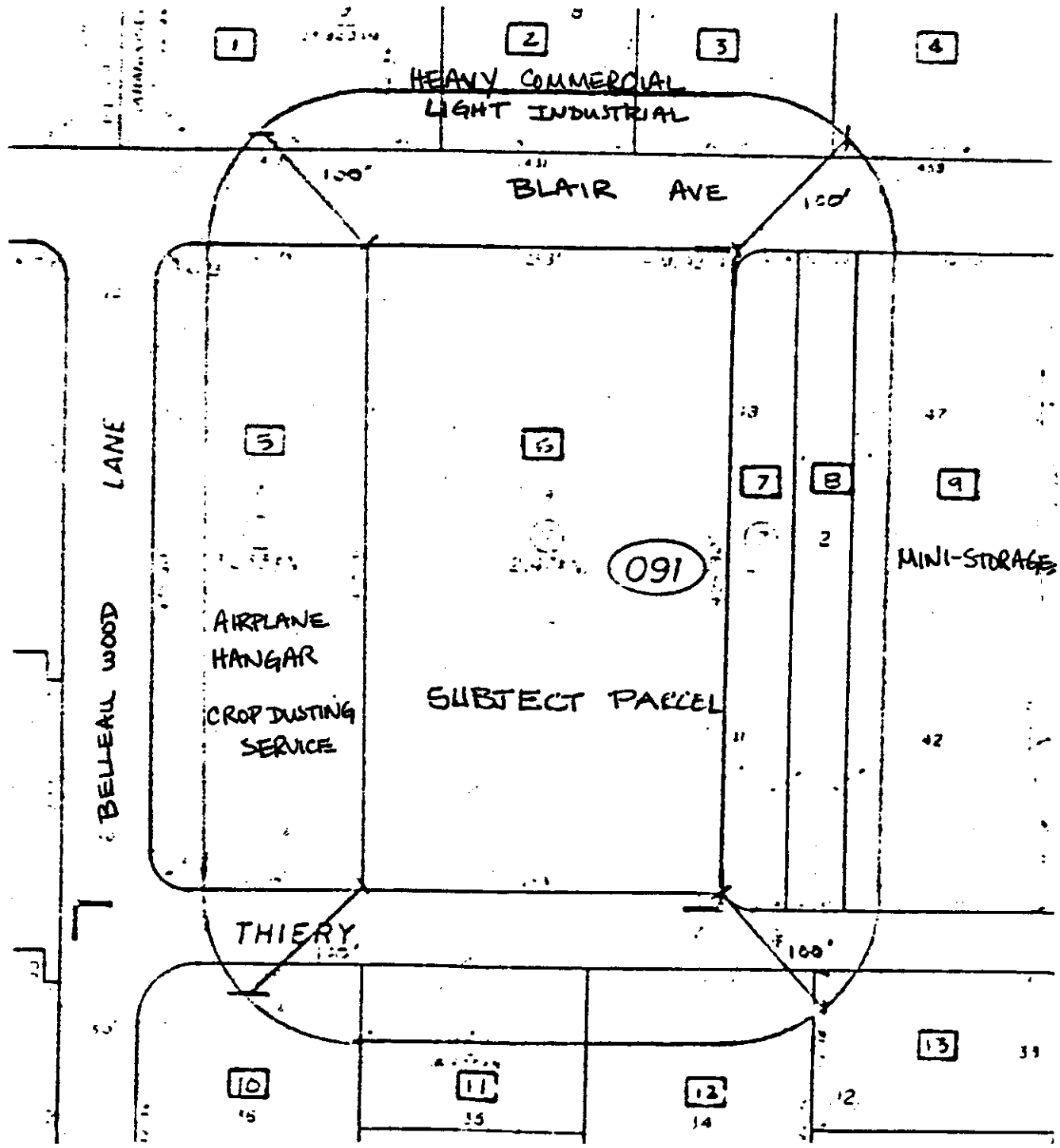
3. That portion of the parking lot, which is located in the 10-foot setback area along Blair Avenue, shall be relocated behind the setback line. A revised site plan shall indicate this change and shall be submitted to staff for review and approval prior to the issuance of building permits.
4. There shall be a minimum 14-1/2 foot landscaped setback along the Blair Avenue frontage except that a 10-foot landscaped setback is allowed adjacent to the parking lot.
5. There shall be a minimum 12-1/2 foot landscaped setback along the Thiery Road frontage.
6. The applicant shall submit a complete irrigation and landscape plan for review and approval by staff prior to the issuance of building permits.
7. The applicant shall submit a sign program for review and approval by staff prior to building occupancy.
8. The landscape strips along Thiery Road and Blair Avenue shall be planted with evergreen ground cover, shrubs and 15-gallon trees. Climbing vines shall be planted at the base of the exterior wall of the mini-storage.
9. The applicant shall abandon the existing on-site water main to the satisfaction of the Public Works Department.
10. The applicant shall comply with the mitigation measures as outlined in the Environmental Determination section of this report.
11. The north and south walls of the building shall be constructed with a textured finish and include vertical features or volumns. The parapet wall shall also be extended along the entire length of the north and south wall. Staff shall review and approve the wall texture and finish prior to the issuance of building permits.

Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use, in that:

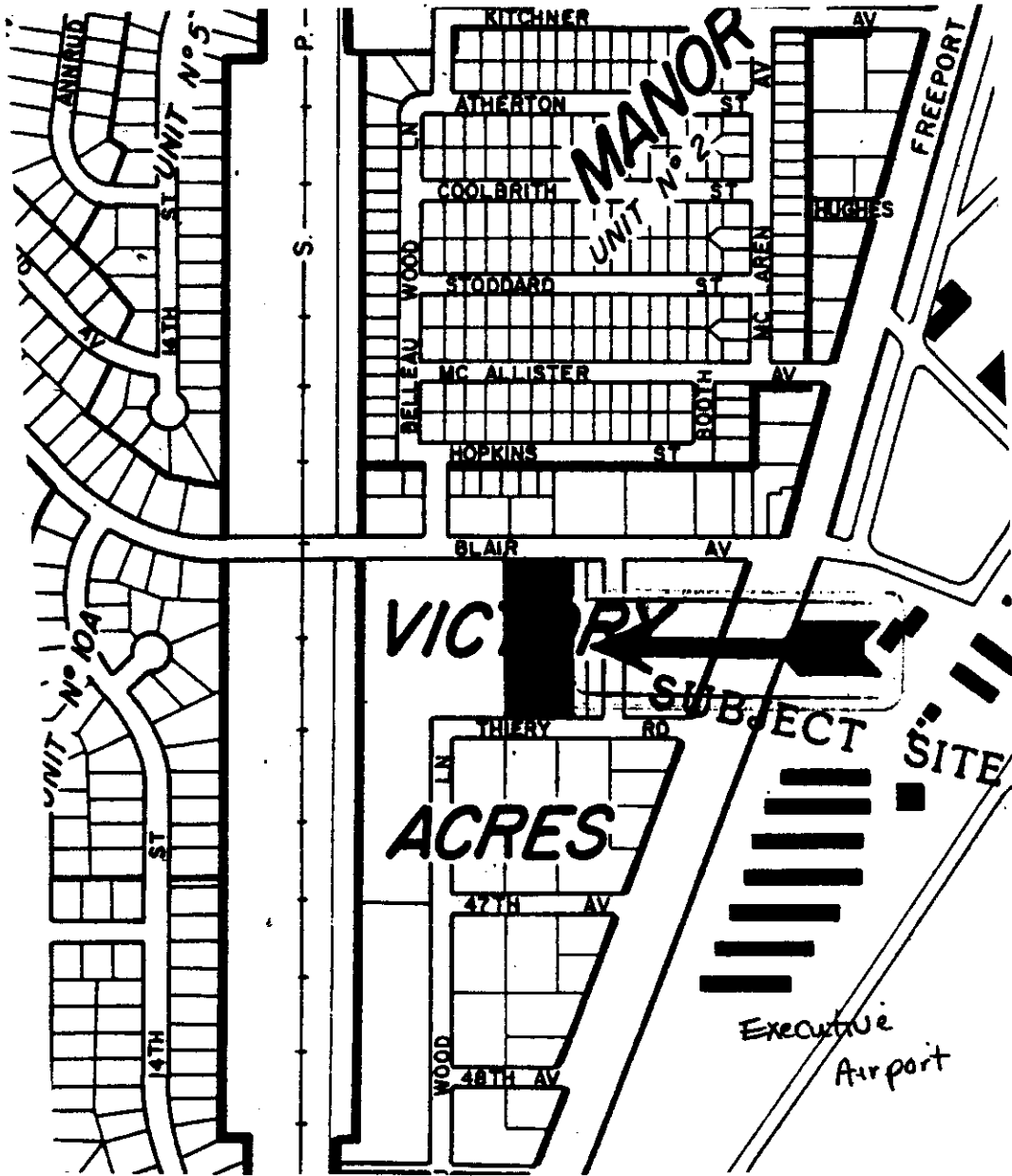
it is compatible with surrounding development.
2. The project, as conditioned, will not be detrimental to public health, safety or welfare, or result in the creation of a nuisance, in that:

adequate landscaped setbacks are provided.
3. The proposed project is consistent with the City's Discretionary Interim Land Use Policy, in that the site is designated for industrial uses by the 1984 Airport/Meadowview Community Plan, and the proposed mini-storage conforms with the plan designation.



All lots zoned M-1-R

LAND USE & ZONING MAP



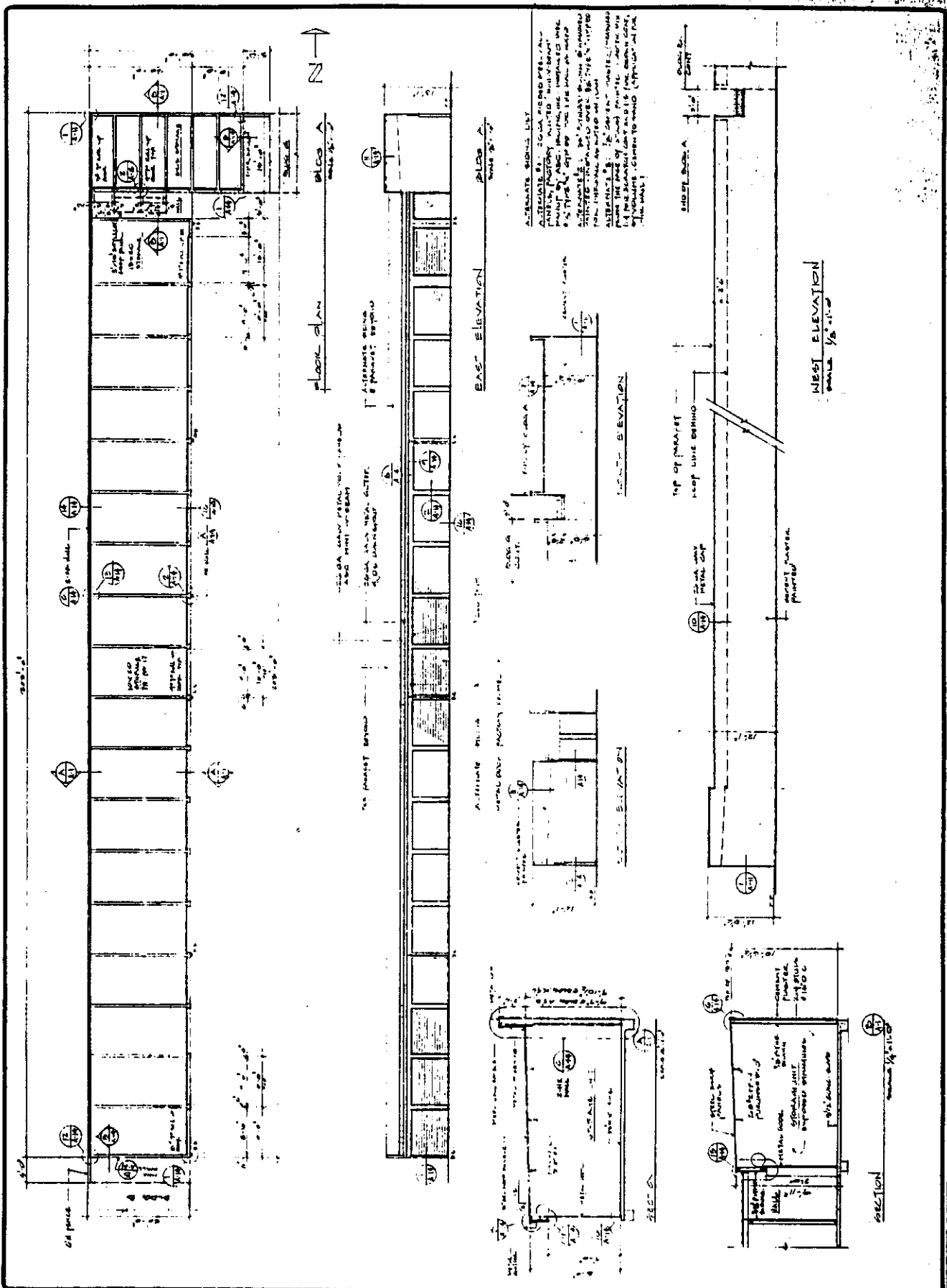
VICINITY MAP

STUCK ENGINEERING
 ARCHITECTS & ENGINEERS
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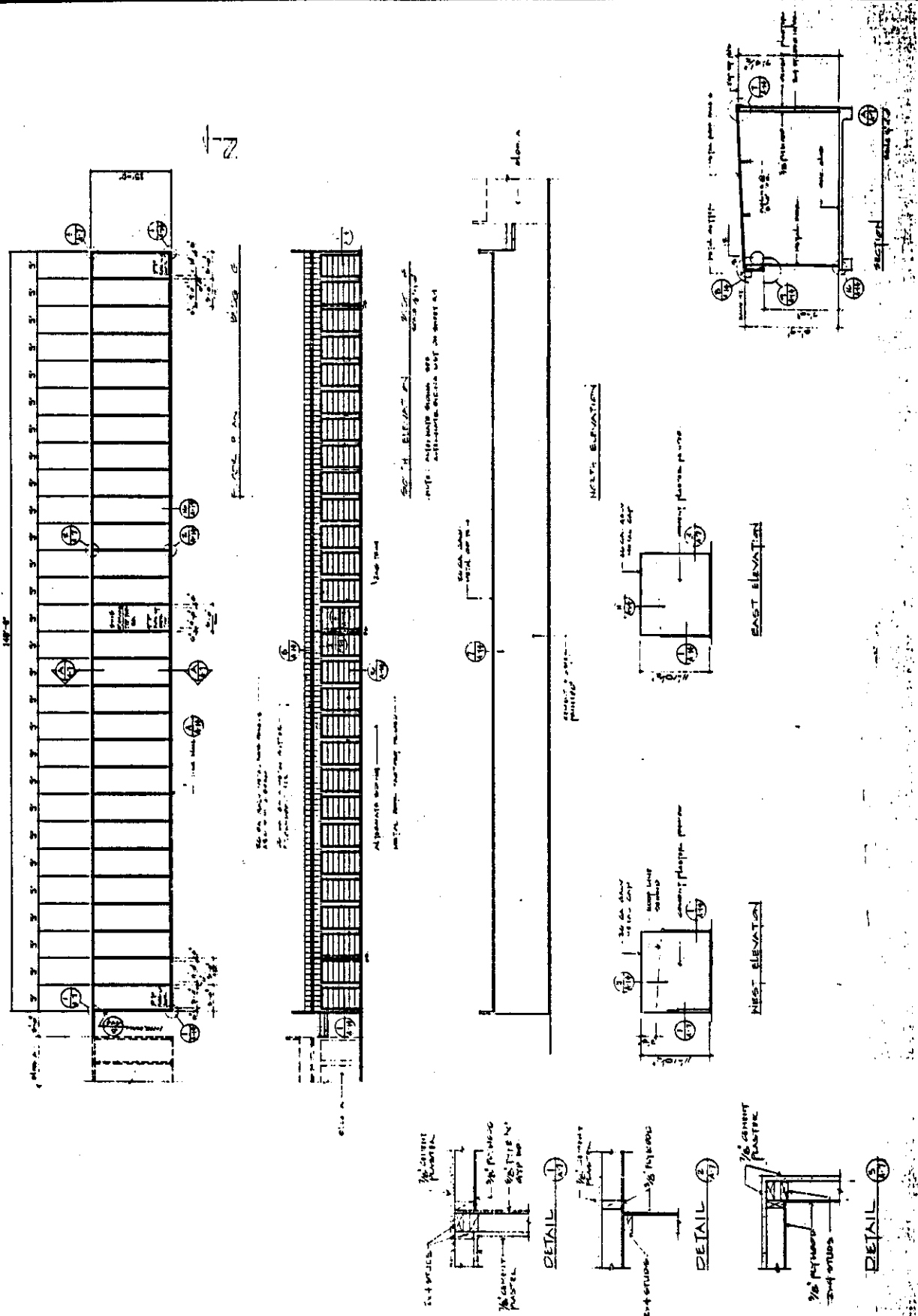


STURCH ENGINEERING
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Business Park
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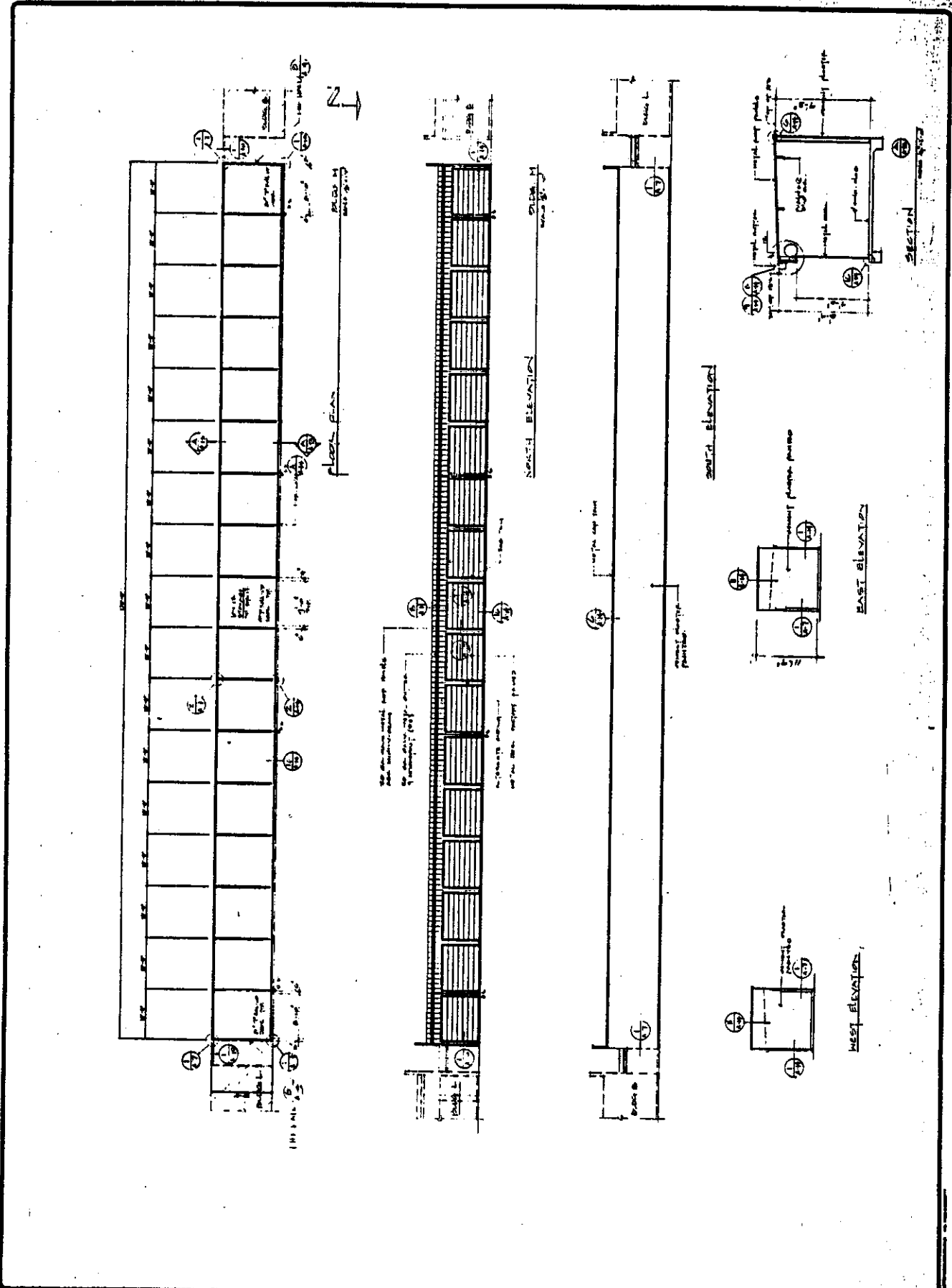


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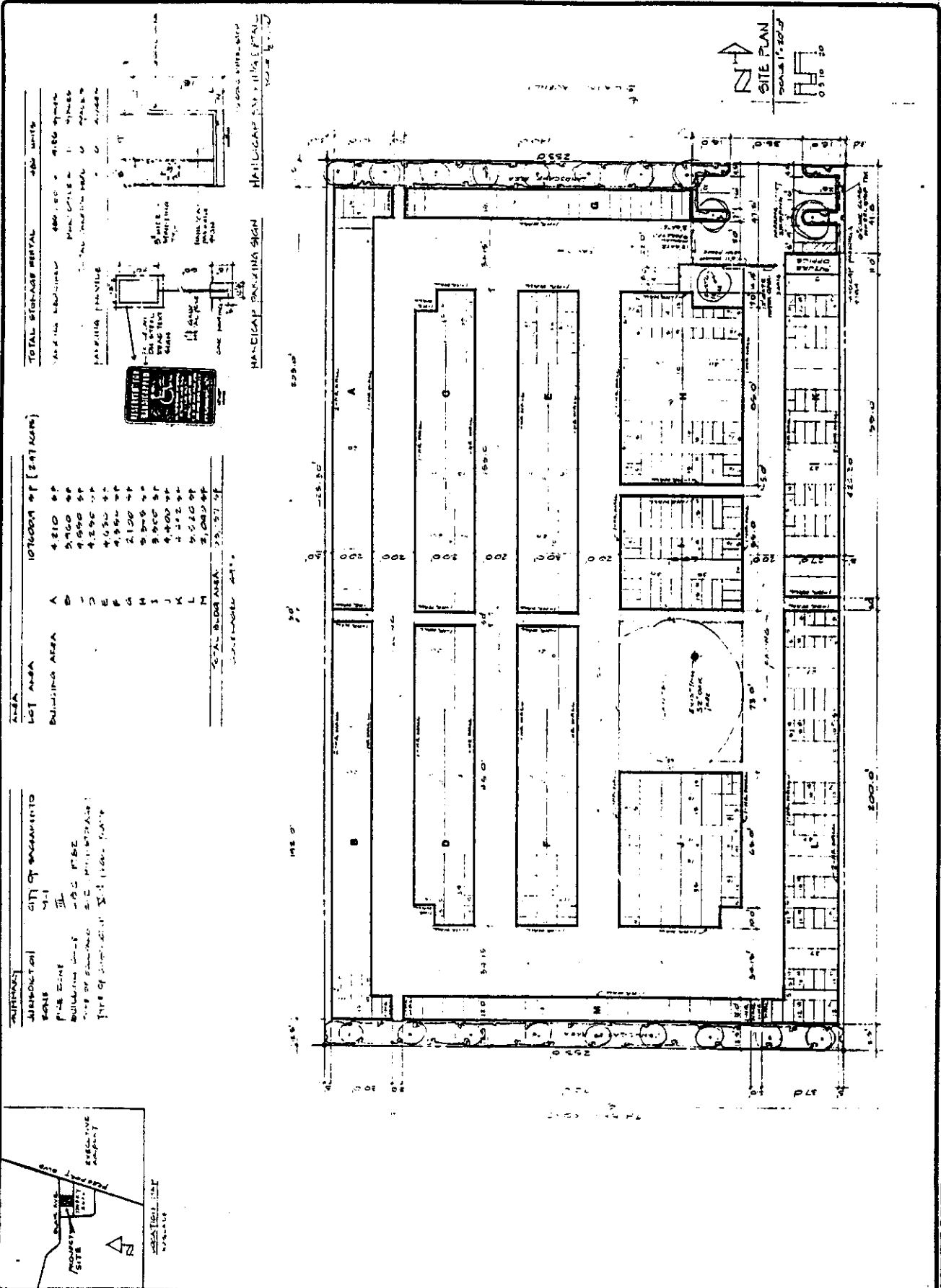
Item 27

STUECK ENGINEERING
 ARCHITECTURAL SERVICES
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EXECUTIVE ARCHITECTS
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SITE PLAN
 MINIMUM LOT COVERAGES
 EXECUTIVE ARCHITECTS
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TOTAL STORAGE RENTAL
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AREA	107,000 SF (2,970 SQ FT)
A	4,210 SF
B	5,260 SF
C	4,250 SF
D	4,250 SF
E	4,250 SF
F	4,250 SF
G	4,250 SF
H	4,250 SF
I	4,250 SF
J	4,250 SF
K	4,250 SF
L	4,250 SF
M	4,250 SF
TOTAL BUILDING AREA	22,570 SF

LOT AREA
 BUILDING AREA
 CITY OF ENGAGEMENTS
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