

CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

<u>APPLICANT</u>	Edward Chan, 4790 Freeport Boulevard, Sacramento, CA 95822		
<u>OWNER</u>	Golden Coin S & L Association, 835 Kearny Street, San Francisco, CA 95822		
<u>PLANS BY</u>	Sooky Lee, Architect & Associates, 2022-16th Street, Sacramento, CA 95818		
<u>FILING DATE</u>	12-19-83	<u>50 DAY CPC ACTION DATE</u>	<u>REPORT BY</u> : PB:lg
<u>NEGATIVE</u>	Exempt DEC 15301	<u>EIR</u>	<u>ASSESSOR'S PCL. NO.</u> 017-121-03 & 06

APPLICATION: Variance for six off-site parkings at an approved 11 space parking lot.

LOCATION: 2009 Wentworth Avenue

PROPOSAL: To provide six required parking spaces off-site for minor remodeling of Savings and Loan, under construction.

PROJECT INFORMATION:

	<u>Off-site Parking</u>	<u>Building Site</u>
1974 General Plan Designation:	Residential	Commercial
1965 Sutterville Heights Community Plan Designation:	Light Density Residential	Commercial
Existing Zoning of Site:	R-1	C-2
<u>Surrounding Land Use and Zoning:</u>		
North: Parking (Bank of America) and garden nursery; C-2		Bank & C-2
South: Shopping Center (Raley's); C-2		Service station & C-2
East: Parking (Bank of America); R-1 & C-2		Retail & C-2
West: Single Family; R-2A		Parking Lot & C-2
Parking Required on-Site:	16	
Parking Proposed on-Site:	12	
Parking Proposed off-Site:	4	
Property Dimensions:	50' X 127.5'	
Property Area:	6,375 square feet	
Street Improvements:	Existing	
Square Footage of Building:	3,940 square feet	
Addition:	2,340 square feet	

BACKGROUND INFORMATION: At the northwest corner of Freeport Boulevard and Wentworth Avenue, the Golden Coin Savings and Loan building is presently under construction. The applicant's previous requests for Special Permit for additional parking for a Savings and Loan on R-1 zoned property and a variance to waive a required six-foot masonry wall abutting R-1 zoned properties were approved by the Commission on November 10, 1983.

STAFF EVALUATION: Staff has the following comments:

1. The proposed variance would allow "off-site" parking for those spaces required by the proposed expansion of office space within the Savings and Loan. The proposed office space is presently a second story, 2,340 square foot, storage loft. The additional office space requires six additional spaces.

Staff had no objections to the proposed off-site parking as the earlier special permit allowed for more parking spaces than were required.

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2. The submitted site plan for the Savings and Loan indicates a different configuration of the main parking area (See "Proposed Changes"). This is to accommodate handicapped access and weather protected automatic teller machines at the Freeport entrance. This change reduces the parking spaces on-site from 15 to 12. Staff recalculated the parking ratio and additional square footage per the revised parking design and determined that only four spaces instead of six spaces will be required off-site. A total of 16 spaces are required for the existing and proposed addition. The revised parking design provides 12 spaces. The remaining four required spaces will be located off-site. (See Land Use Plan)

ENVIRONMENTAL DETERMINATION: The off-site parking space proposal is exempt from environmental review pursuant to State EIR Guidelines (CEQA 15301).

STAFF RECOMMENDATION: Staff recommends that:

The Commission approve the variance for off-site parking subject to conditions and based on findings of fact which follow.

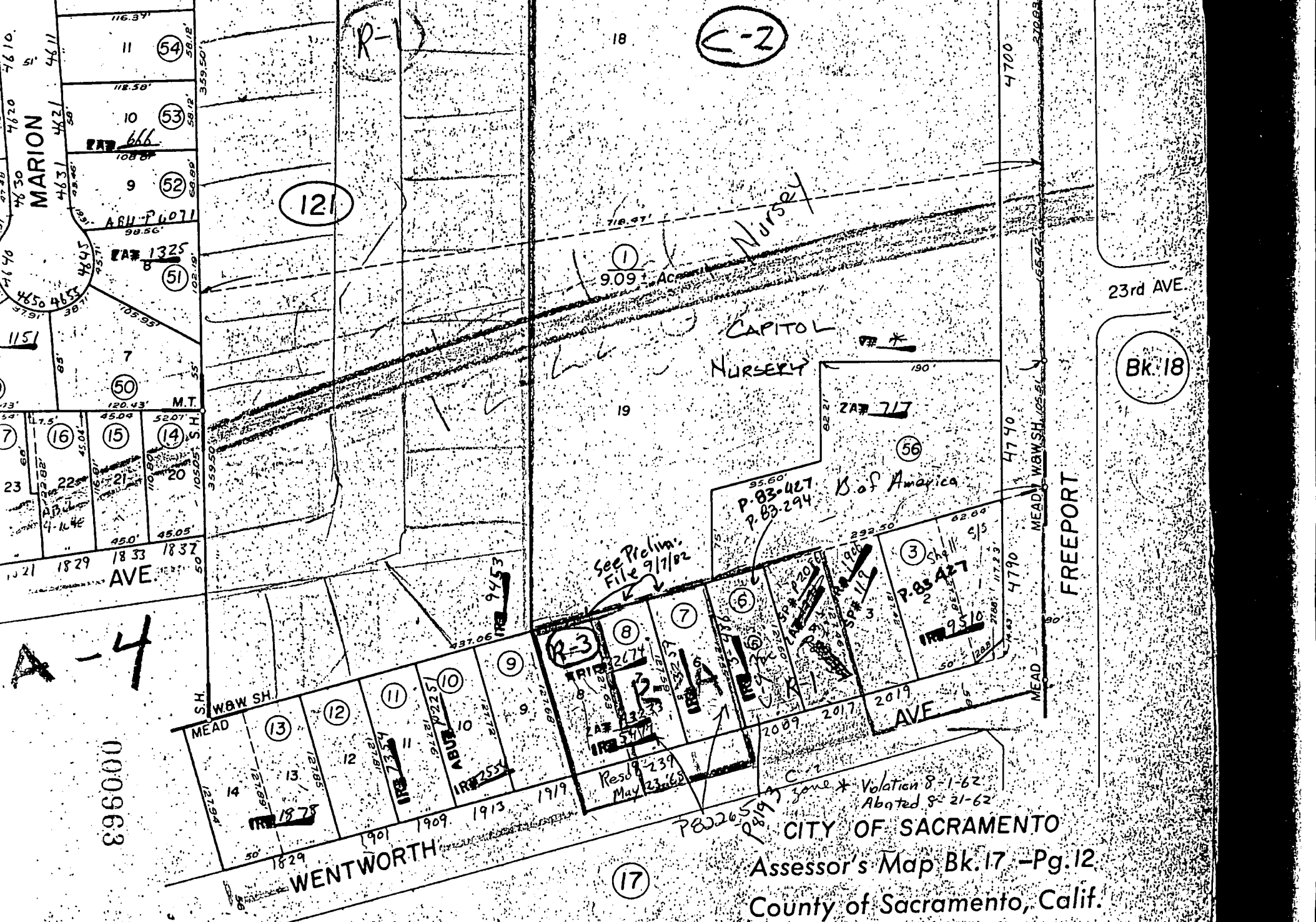
Conditions

- a. A revised parking/shading/irrigation plan for the Savings and Loan site shall be submitted for review and approval by staff, prior to approval of final inspection by the Building Division.
- b. The applicant shall comply with the Special Permit condition of the previous approval of the parking lot (P83-427).

Findings of Fact - Variance

- a. The variance is not a special privilege extended to one individual in that under similar circumstances the same variance would be granted to another property owner;
- b. The variance will not be injurious to public welfare nor to property in the vicinity in that the property affected is not a residential use or likely to be developed as a residential use in spite of their existing residential zones, given its approval for a bank parking lot;
- c. The variance is in harmony with the general purpose and intent of the Zoning Ordinance in that the off-site parking location has already been approved for additional parking and is adjacent to an existing Bank of America Parking lot.

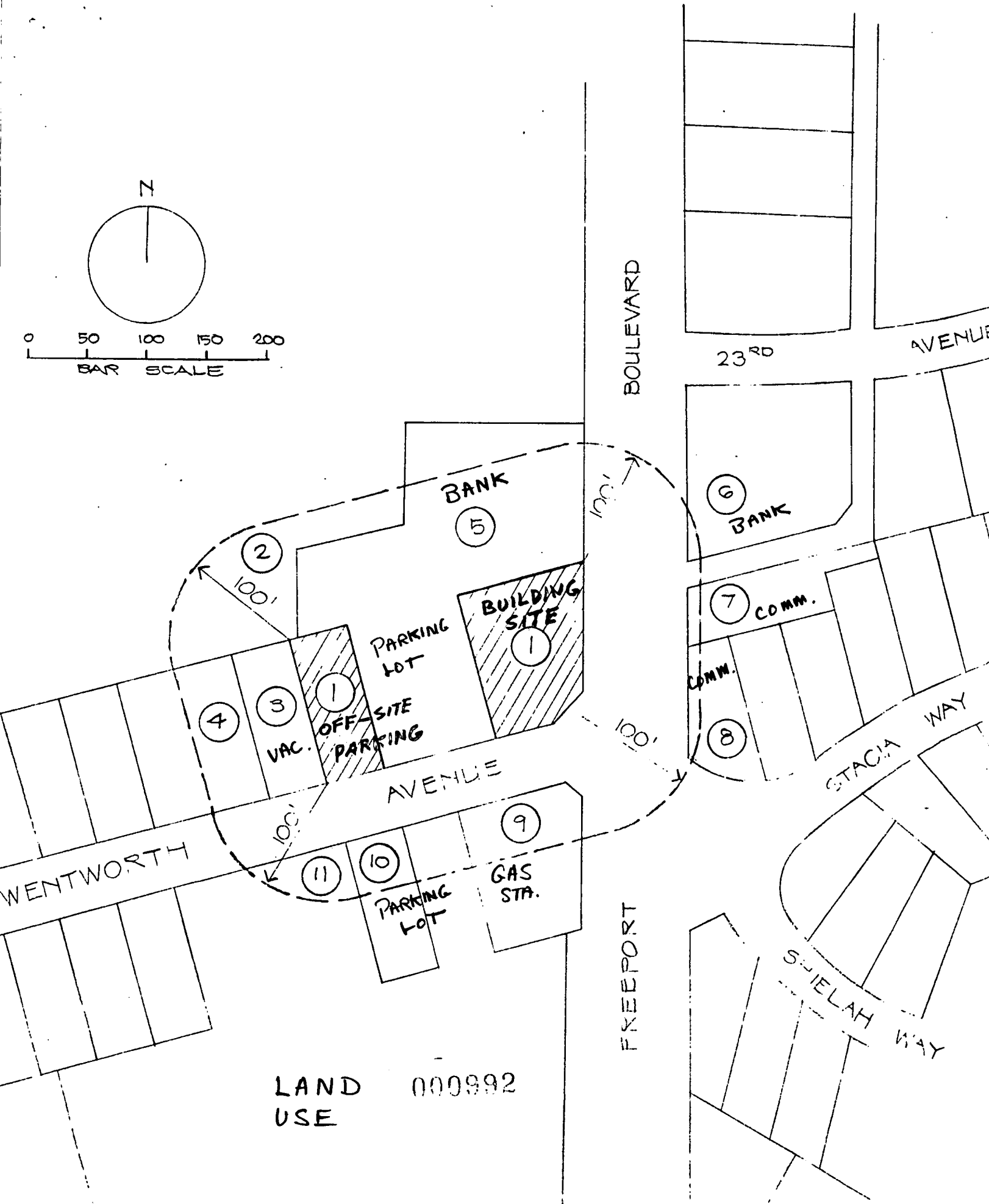
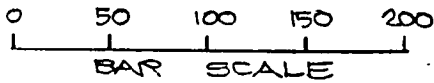
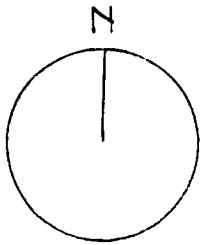
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NOTE—Assessor's Block Numbers Shown in Ellipses.
 Assessor's Parcel Numbers Shown in Circles.

CITY OF SACRAMENTO
 Assessor's Map Bk. 17 -Pg. 12
 County of Sacramento, Calif.

(57)

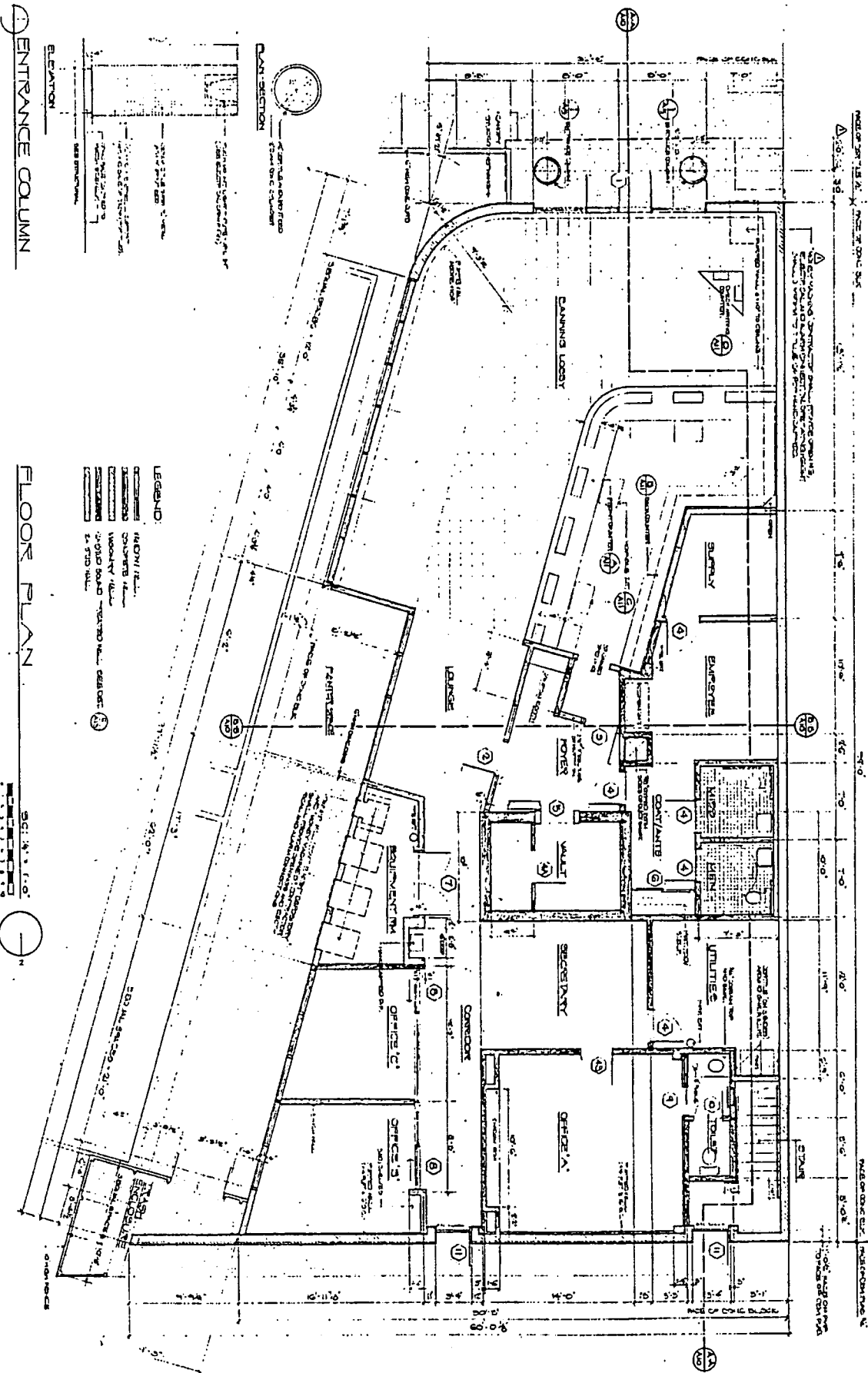


LAND USE 000992

PB 3-427

26 JAN '89

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ENTRANCE COLUMN

FLOOR PLAN

- LEGEND:
- 1. HATCHED: EXISTING WALL
 - 2. HATCHED: EXISTING COLUMN
 - 3. HATCHED: EXISTING DOOR
 - 4. HATCHED: EXISTING WINDOW
 - 5. HATCHED: EXISTING STAIR
 - 6. HATCHED: EXISTING ELEVATOR
 - 7. HATCHED: EXISTING RESTRICTION
 - 8. HATCHED: EXISTING STRUCTURE
 - 9. HATCHED: EXISTING ROOF
 - 10. HATCHED: EXISTING FLOOR
 - 11. HATCHED: EXISTING CEILING
 - 12. HATCHED: EXISTING MECHANICAL
 - 13. HATCHED: EXISTING ELECTRICAL
 - 14. HATCHED: EXISTING PLUMBING
 - 15. HATCHED: EXISTING HVAC
 - 16. HATCHED: EXISTING FIRE
 - 17. HATCHED: EXISTING SOUND
 - 18. HATCHED: EXISTING LIGHT
 - 19. HATCHED: EXISTING TELEPHONE
 - 20. HATCHED: EXISTING DATA
 - 21. HATCHED: EXISTING SECURITY
 - 22. HATCHED: EXISTING ACCESS
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 - 24. HATCHED: EXISTING SIGNAGE
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 - 31. HATCHED: EXISTING MATERIALS
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 - 33. HATCHED: EXISTING ASSEMBLY
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 - 35. HATCHED: EXISTING DRAWING
 - 36. HATCHED: EXISTING REVISIONS
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 - 40. HATCHED: EXISTING TOLERANCES
 - 41. HATCHED: EXISTING UNITS
 - 42. HATCHED: EXISTING SCALE
 - 43. HATCHED: EXISTING ORIENTATION
 - 44. HATCHED: EXISTING LOCATION
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EXISTING PERMIT

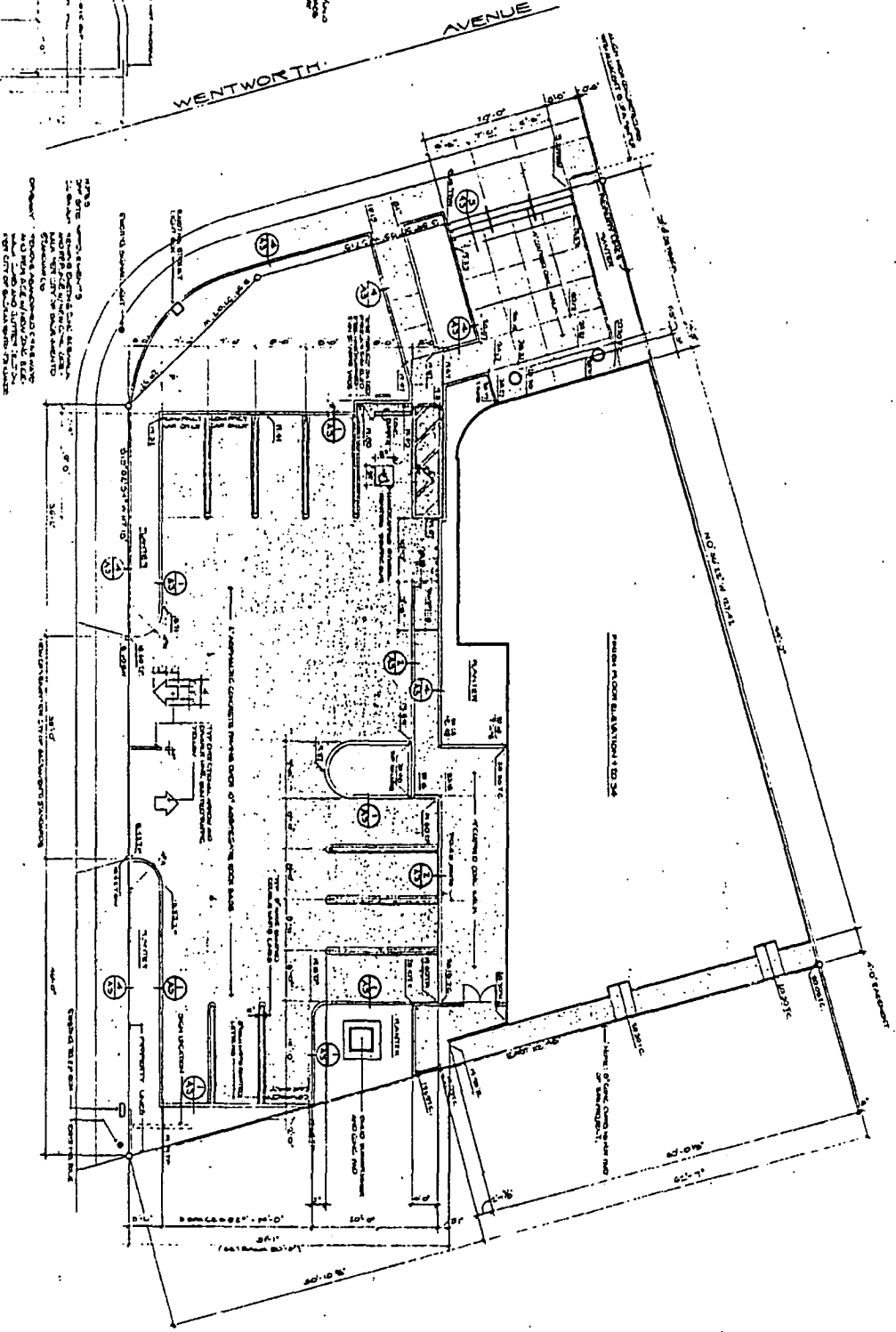
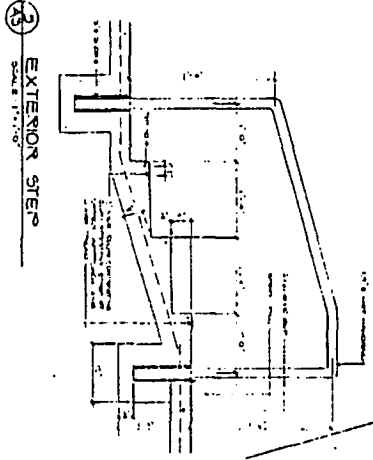
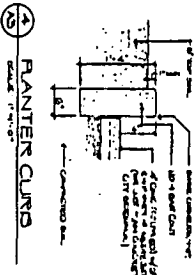
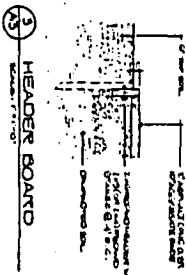
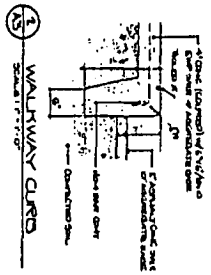
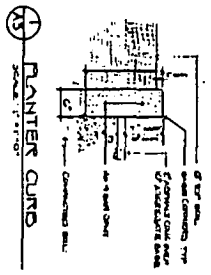
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sooky lee architect & associates
 Architecture urban design & environmental planning
 twenty twenty-two sixteen street sacramento california 95816 916 4483365



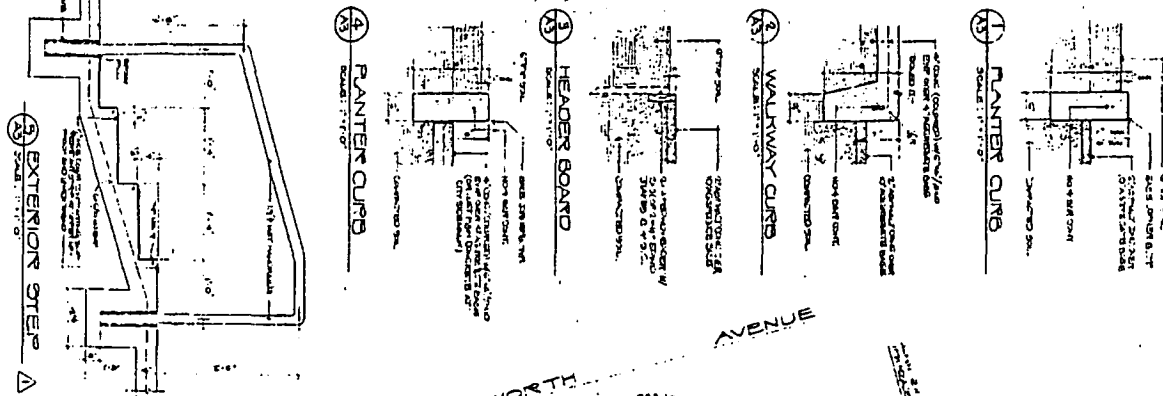
GOLDEN COIN SAVINGS AND LOAN ASSOCIATION
 4790 FREEPORT BOULEVARD SACRAMENTO, CA





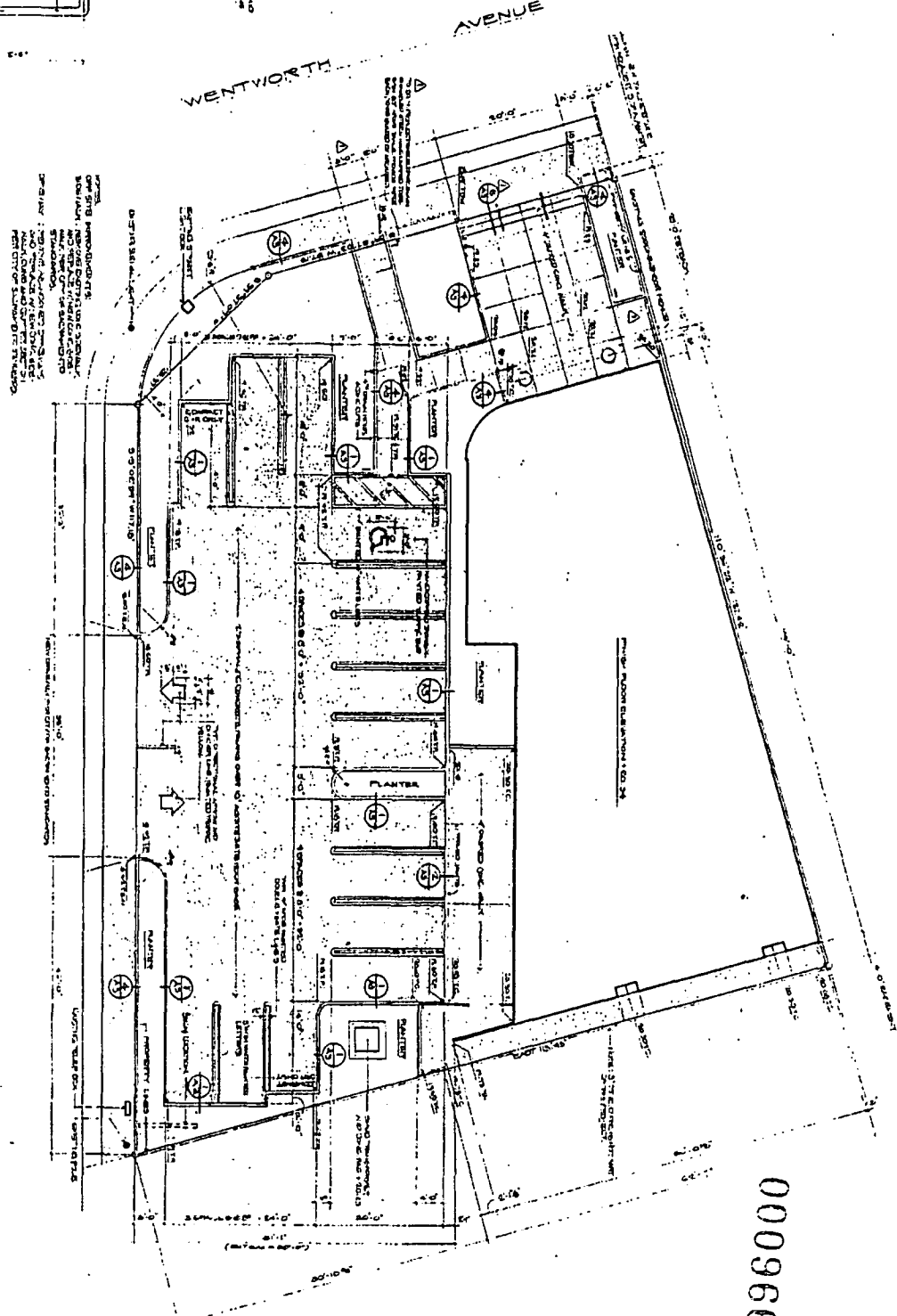
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SITE PLAN, GRADING AND PAVING PLAN
 PARKING REVISION TO PROVIDE HANDICAPPED ACCESS TO ATM.
 (Proposed Changes)



SITE PLAN, GRADING AND PAVING PLAN
SCALE: 1" = 1'-0"
(Existing Permit)

FREEPORT BOULEVARD



NOTES: 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. 2. ALL CONCRETE SHALL BE 3000 PSI. 3. ALL REINFORCING SHALL BE #4. 4. ALL CURBS SHALL BE 4" HIGH. 5. ALL GRADING SHALL BE TO FINISH GRADE. 6. ALL PAVING SHALL BE 4" ASPHALT. 7. ALL UTILITIES SHALL BE AS SHOWN ON RECORD PLANS. 8. ALL EXISTING UTILITIES SHALL BE PROTECTED. 9. ALL EXISTING STRUCTURES SHALL BE DEMOLISHED. 10. ALL EXISTING DRIVEWAYS SHALL BE REPAIRED. 11. ALL EXISTING SIDEWALKS SHALL BE REPAIRED. 12. ALL EXISTING STAIRS SHALL BE REPAIRED. 13. ALL EXISTING RAMPWAYS SHALL BE REPAIRED. 14. ALL EXISTING ELEVATORS SHALL BE REPAIRED. 15. ALL EXISTING LIFTWAYS SHALL BE REPAIRED. 16. ALL EXISTING ESCALATORS SHALL BE REPAIRED. 17. ALL EXISTING MECHANICAL EQUIPMENT SHALL BE REPAIRED. 18. ALL EXISTING ELECTRICAL EQUIPMENT SHALL BE REPAIRED. 19. ALL EXISTING PLUMBING EQUIPMENT SHALL BE REPAIRED. 20. ALL EXISTING HEATING EQUIPMENT SHALL BE REPAIRED. 21. ALL EXISTING COOLING EQUIPMENT SHALL BE REPAIRED. 22. ALL EXISTING VENTILATION EQUIPMENT SHALL BE REPAIRED. 23. ALL EXISTING EXHAUST EQUIPMENT SHALL BE REPAIRED. 24. ALL EXISTING FRESH AIR INTAKE EQUIPMENT SHALL BE REPAIRED. 25. ALL EXISTING FIRE PROTECTION EQUIPMENT SHALL BE REPAIRED. 26. ALL EXISTING SECURITY EQUIPMENT SHALL BE REPAIRED. 27. ALL EXISTING ACCESSIBILITY EQUIPMENT SHALL BE REPAIRED. 28. ALL EXISTING SIGNAGE EQUIPMENT SHALL BE REPAIRED. 29. ALL EXISTING LIGHTING EQUIPMENT SHALL BE REPAIRED. 30. ALL EXISTING SOUND EQUIPMENT SHALL BE REPAIRED. 31. ALL EXISTING TELECOMMUNICATIONS EQUIPMENT SHALL BE REPAIRED. 32. ALL EXISTING DATA EQUIPMENT SHALL BE REPAIRED. 33. ALL EXISTING VIDEO EQUIPMENT SHALL BE REPAIRED. 34. ALL EXISTING AUDIO EQUIPMENT SHALL BE REPAIRED. 35. ALL EXISTING VISUAL EQUIPMENT SHALL BE REPAIRED. 36. ALL EXISTING TACTILE EQUIPMENT SHALL BE REPAIRED. 37. ALL EXISTING BRaille EQUIPMENT SHALL BE REPAIRED. 38. ALL EXISTING AUDIOVISUAL EQUIPMENT SHALL BE REPAIRED. 39. ALL EXISTING TACTILE VISUAL EQUIPMENT SHALL BE REPAIRED. 40. ALL EXISTING TACTILE AUDIO EQUIPMENT SHALL BE REPAIRED. 41. ALL EXISTING TACTILE VIDEO EQUIPMENT SHALL BE REPAIRED. 42. ALL EXISTING TACTILE AUDIOVISUAL EQUIPMENT SHALL BE REPAIRED. 43. ALL EXISTING TACTILE AUDIOVISUAL TACTILE EQUIPMENT SHALL BE REPAIRED. 44. ALL EXISTING TACTILE AUDIOVISUAL TACTILE AUDIO EQUIPMENT SHALL BE REPAIRED. 45. ALL EXISTING TACTILE AUDIOVISUAL TACTILE AUDIOVISUAL EQUIPMENT SHALL BE REPAIRED. 46. ALL EXISTING TACTILE AUDIOVISUAL TACTILE AUDIOVISUAL AUDIO EQUIPMENT SHALL BE REPAIRED. 47. ALL EXISTING TACTILE AUDIOVISUAL TACTILE AUDIOVISUAL AUDIOVISUAL EQUIPMENT SHALL BE REPAIRED. 48. ALL EXISTING TACTILE AUDIOVISUAL TACTILE AUDIOVISUAL AUDIOVISUAL AUDIO EQUIPMENT SHALL BE REPAIRED. 49. ALL EXISTING TACTILE AUDIOVISUAL TACTILE AUDIOVISUAL AUDIOVISUAL AUDIOVISUAL EQUIPMENT SHALL BE REPAIRED. 50. ALL EXISTING TACTILE AUDIOVISUAL TACTILE AUDIOVISUAL AUDIOVISUAL AUDIOVISUAL AUDIO EQUIPMENT SHALL BE REPAIRED.

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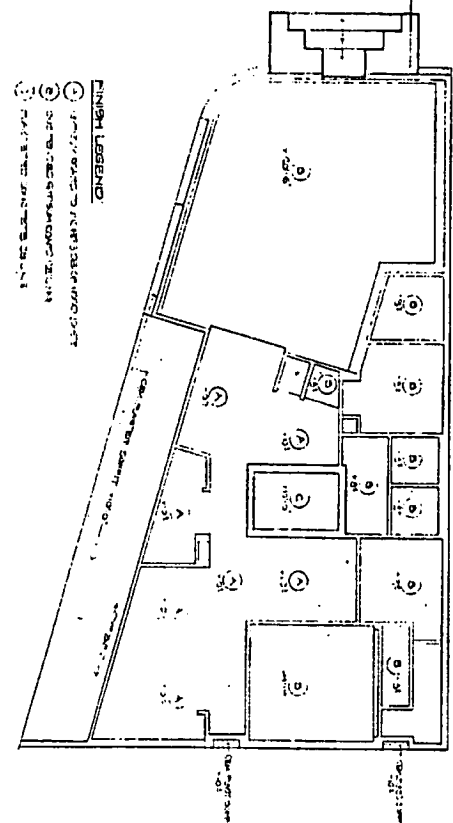
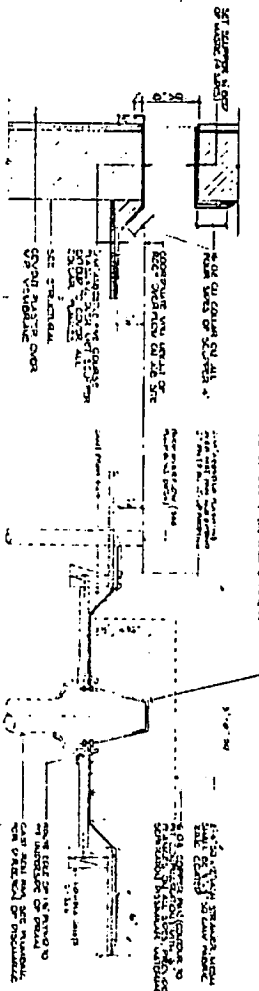
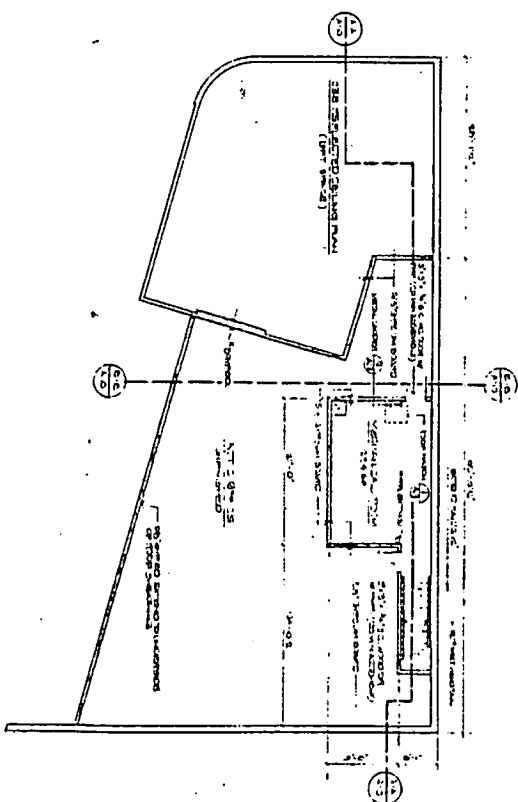
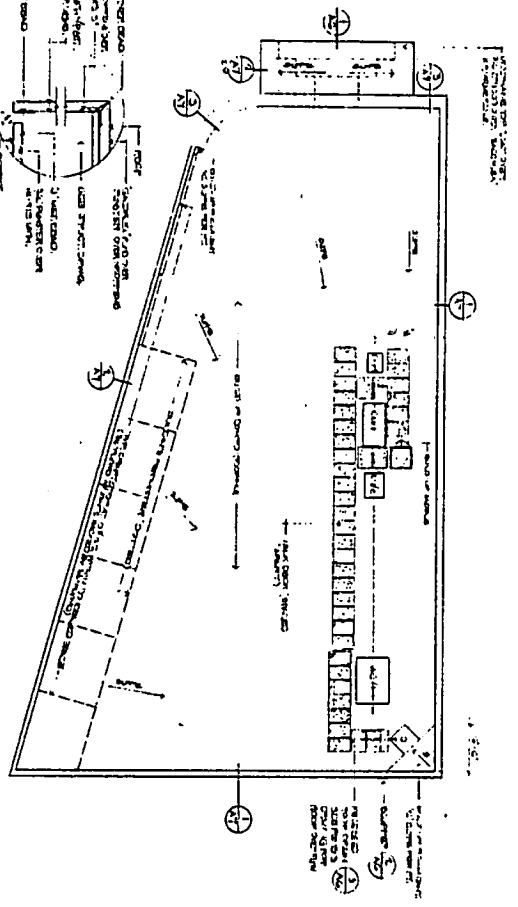
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1601 JEFFERSON STREET, SACRAMENTO, CALIFORNIA 95811, 916 4433300



GOLDEN COIN SAVINGS AND LOAN ASSOCIATION
4700 FREEPORT BOULEVARD,
SACRAMENTO, CA

SAVINGS AND LOAN ASSOCIATION
SACRAMENTO, CA





000970

(EXISTING & PERMIT)

OLD EPT.

CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Edward Chan, 4790 Freeport Boulevard, Sacramento, CA 95822		
OWNER	Golden Coin S & L Association, 835 Kearny Street, San Francisco, CA 95822		
PLANS BY	Sooky Lee, Architect & Associates, 2022-16th Street, Sacramento, CA 95818		
FILING DATE	9/6/83	50 DAY CPC ACTION DATE	REPORT BY: RL:bw
NEGATIVE DEC	Exempt 15111	EIR	ASSESSOR'S PCL. NO. 017-121-06

- APPLICATION:
1. Special Permit for additional parking for a savings and loan on a more restrictive R-1 zoned property. (Sec. 6-D-16)
 2. Variance to waive required six-foot masonry walls abutting R-1 zoned properties. (Sec. 3-D-7-a)

LOCATION: 2009 Wentworth Avenue

PROPOSAL: To provide 11 additional parking spaces for a savings and loan presently under construction.

PROJECT INFORMATION:

1974 General Plan Designation: Residential
 1965 Sutterville Heights
 Community Plan Designation: Light Density Residential
 Existing Zoning of Site: R-1

Surrounding Land Use and Zoning:

North: Parking (Bank of America) and garden nursery; C-2
 South: Shopping Center (Raley's); C-2
 East: Parking (Bank of America); R-1 and C-2
 West: Single Family; R-2A

Parking Proposed: 11 spaces
 Property Dimensions: 50' x 127.5'
 Property Area: 6,375 square feet
 Street Improvements: Existing

BACKGROUND INFORMATION: At the northwest corner of Freeport Boulevard and Wentworth Avenue, the Golden Coin Savings and Loan building is presently under construction. The applicant proposes the subject parking facility as additional parking in conjunction with the savings and loan. The applicant indicates that such parking will serve to:

1. Alleviate possible congestion of parking at the savings and loan;
2. Provide off-street parking for employees; and
3. Meet future parking requirement should the savings and loan wish to expand its building.

On October 27, 1964 the Commission approved the same request (P-2086) for expansion of the Bank of America parking lot on the parcel immediately to the east of the subject site.

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AFF EVALUATION: Staff has the following comments:

1. The subject site is separated by the Bank of America parking lot from the use it is intended to serve. Nevertheless, the subject site is the closest available location for additional parking.
2. The site is located opposite the Raley's Supermarket parking lot and is therefore not the most desirable location for residential development. Due to its size, the parcel is not readily developable for commercial uses. The Commission denied a request for rezoning from R-1 to C-2 on July 27, 1978. An office building had been intended for development.
3. The site plan indicates a six-foot masonry wall on the west property line as is required where non-residential uses are established abutting residential uses or zones. The applicant, however, requests waiver of such requirement along the east property line shared with the Bank of America parking which is in part zoned R-1.

Staff supports such waiver in that walls at those locations would not serve the intent of the Zoning Ordinance which is to protect existing and anticipated residential development from non-residential activities.

4. Staff is concerned about the adequacy of the proposed landscaping that will abut the adjacent residential property. Staff suggests that two additional trees be provided along the masonry wall (see Exhibit B) to achieve a screening effect between the parking lot and residential development. The three trees should be broadleaf evergreens to assure a year-round effect.
5. Staff is concerned with safety in the parking lot during hours of darkness. Security lighting would be necessary to mitigate the potential safety problem. Staff suggests that low height fixtures be used, or that if standard height fixtures are used, that they be oriented away from residential properties.
6. The Traffic Engineering Division indicates that a minimum 24-foot wide driveway is necessary. A site plan showing adjacent driveways and nearby fixtures, such as poles, hydrants, etc. must be submitted to Traffic Engineering in conjunction with the drive permit application process.

STAFF RECOMMENDATION: Staff recommends approval of the special permit and the variance subject to conditions and based on Findings of Fact that follow.

Conditions - Special Permit

- a. Three broadleaf evergreen trees shall be planted as a year-round screen for the residential property to the west as indicated on Exhibit B;
- b. The applicant shall install security lights. A lighting plan indicating location and type and intensity of fixtures shall be submitted for staff review and approval prior to issuance of permits. Fixtures shall be low height or standard height, oriented away from residential properties;
- c. Detailed landscape and irrigation plans and shading plan shall be submitted for staff review prior to issuance of building permits.

Findings of Fact - Special Permit

- a. The special permit is based on sound principles of land use in that:
 - 1) the proposed parking lot abuts an existing parking lot on property to the east of the subject site;
 - 2) the subject site faces a shopping center parking lot across the street and is more appropriate for use as a parking lot than as a single family residential property.
- b. The special permit, as conditioned, will assure that the proposed use will not be detrimental to the public health, safety or welfare, nor will it result in creation of a nuisance in that:
 - 1) landscaping and the code required for a six-foot masonry wall will provide adequate screening and buffering between the proposed use and residential property to the west;
 - 2) the lighting of the site will promote safety for users of the parking lot.
- c. The proposed use is consistent with the intent of the 1974 General Plan and the 1965 Sutterville Heights Community Plan.

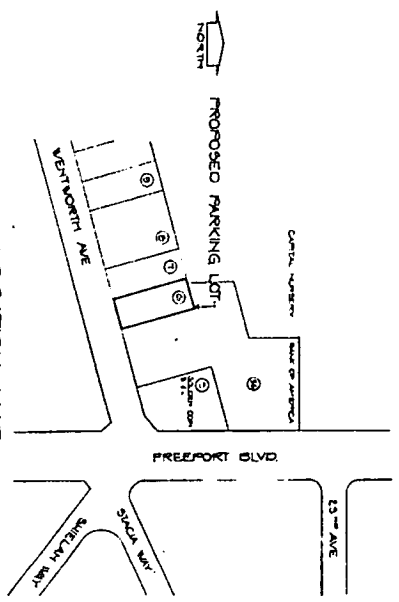
Findings of Fact - Variance

- a. The variance is not a special privilege extended to one individual in that under similar circumstances the same variance would be granted to another property owner;
- b. The variance will not be injurious to public welfare nor to property in the vicinity in that the property affected is not a residential use or likely to be developed as a residential use in spite of their existing residential zones, given its current use as a bank parking lot;
- c. The variance is in harmony with the general purpose and intent of the Zoning Ordinance in that the waiver is for walls abutting non-residential use. Furthermore, the variance will not adversely affect the General Plan or specific plans of the City or the Open Space Zoning Regulations.

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APPLICANT'S PLANS

Exhibit-A:

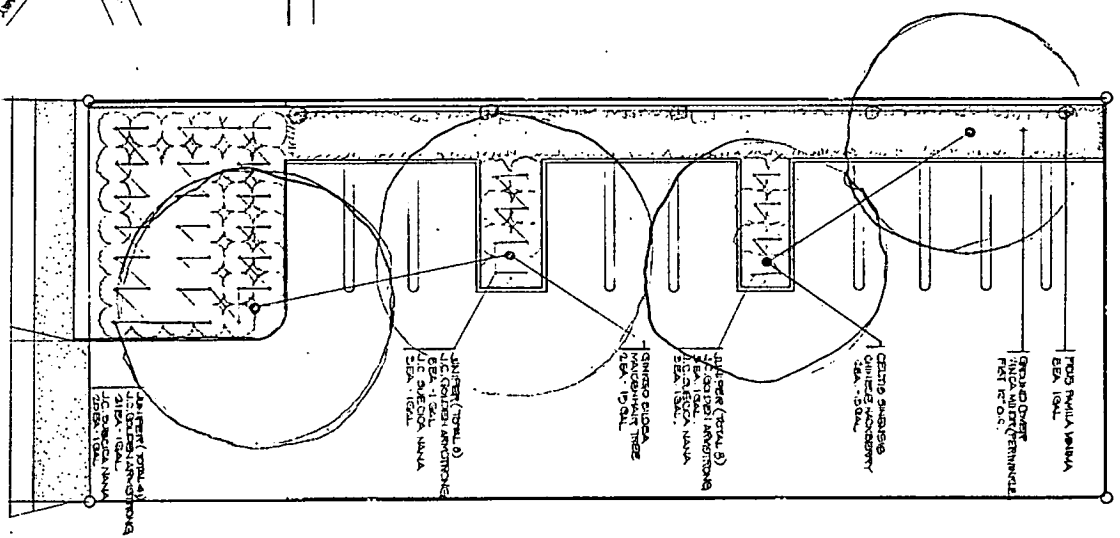


LOCATION MAP
SCALE: 1" = 100'

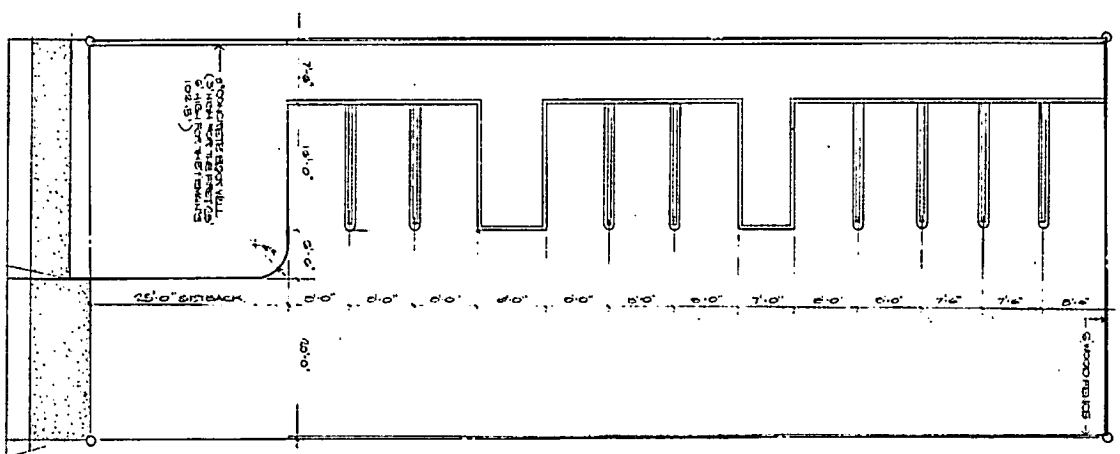
SHADE CALCULATION:

SHADE TREE	INTENTION	SEV PERCENT	N PERCENT
GINNCO GILDOA (HAIKOHAWA TREE)	962	40%	24%
DELTA SHREPS (HAIKOHAWA TREE)	707	33%	
TOTAL	1669	63%	24%
	• 274.5 S.F. • 33.6%		

LOT SIZE 20 • 177.3 • 6375 S.F.
 PAVING AREA • 4605 S.F.
 LANDSCAPED AREA • 1770 S.F. • 39% OF PAVED AREA



LANDSCAPE PLAN



GRADING-PAVING PLAN
 SCALE: 1/8" = 1'-0"
 2007 WENTNORTH

496000

