

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 0113998
Insp Area: 4
Thos Bros:
Sub-Type: NSFR
Housing (Y/N):

Site Address: 3743 MADRONE WY SAC
Parcel No: 225-1340-031
N

NATOMAS CROSSING UNIT 19 LOT 31

CONTRACTOR
KIMBALL HILL HOMES
10535 EAST STOCKTON BL. STE. K
ELK GROVE CA. 95624

OWNER

ARCHITECT

Nature of Work: KIMBALL HOMES MP2889 NSFR

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 701803 Date 1/9/02 Contractor Signature N. Collins

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 1/9/02 Applicant/Agent Signature N. Collins

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier CLAREDON NAT. INS. CO.

Policy Number SCF98-3482-000

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 1/9/02 Applicant Signature N. Collins

PAID
CITY OF SACRAMENTO
JAN 08 2002
NEIGHBORHOODS PLANNING AND DEVELOPMENT SERVICES
Exp Date 10/01/2001

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.



**INSULATION CONTRACTORS
ASSOCIATION
OF AMERICA**



1321 DUKE STREET, SUITE 303 • ALEXANDRIA, VA 22314 • (703) 739-0356

THIS IS TO CERTIFY THAT INSULATION HAS BEEN INSTALLED IN CONFORMANCE WITH CURRENT ENERGY REGULATIONS, CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, STATE OF CALIFORNIA, IN THE BUILDING LOCATED AT:

Kimball Hill LOT # *231* TRACT # *WATONAS CROSSING*

STREET _____ CITY *Spots*

EXTERIOR WALLS:

MANUFACTURER _____ THICKNESS/TYPE *1 7/8* R- VALUE *13*

CEILING:

BATT: _____ THICKNESS/TYPE *1 7/8* R- VALUE *30*

MANUFACTURER _____ MINIMUM THICKNESS *1 7/8* R- VALUE *30*

MANUFACTURER _____ THICKNESS _____ R- VALUE *30*

SQUARE FOOTAGE COVERED *1640* NUMBER OF BAGS USED *30*

FLOORS: _____ THICKNESS/TYPE _____ R- VALUE _____

MANUFACTURER _____ THICKNESS/TYPE _____ R- VALUE _____

SLAB ON GRADE: _____ THICKNESS/TYPE _____ R- VALUE _____

MANUFACTURER _____ THICKNESS/TYPE _____ R- VALUE _____

WIDTH OF INSULATION _____ INCHES

FOUNDATION WALLS: _____ THICKNESS/TYPE _____ R- VALUE _____

MANUFACTURER _____ THICKNESS/TYPE _____ R- VALUE _____

GENERAL CONTRACTOR _____ DATE _____

CALIFORNIA CONTRACTORS LICENSE # _____ DATE _____

INSULATION CONTRACTOR ARCADE INSULATION

CALIFORNIA CONTRACTORS LICENSE #263784

5-21-02

[Signature]

SIGNATURE

TITLE

INSTALLATION CARD

OMEGA DIAMOND WALL INSULATING ONE COAT SYSTEM
OMEGA PRODUCTS INTERNATIONAL, INC.

Job Address:

KHH - R01 231
NATOMAS CROSSING
SACRAMENTO CA 95834

ICBO Evaluation Service, Inc.
Report 4004

5-31-02
Date of Job Completion

Plastering Contractor:

Name: Mid Valley Plastering, Inc.
Address: 4807 S. Airport Way, Unit # D
Stockton, CA 95206-4924

Telephone: (209) 234-2671

Approved Contractor Number as Issued by the Coating Manufacturer Omega Diamond Wall No. 2315

This is to certify that the exterior system on the building exterior at the above address has been installed in accordance with the evaluation report specified above and the manufacturer's instructions


Signature of Plastering Contractor

6-14-02
Date

This installation card must be presented to the building inspector after completion of work and before final inspection

@lpha Inspections
 & Material Testing

70 Rancho Del Sol • Camino, CA 95709
 (530) 644-6726 • (916) 825-7733

DATE: 3-26-02
 PROJECT NO. 2001
 PROJECT: J.B./KIMBALL HILL LOT #231
 LOCATION: 3743 MADRONE

DSA FILE/APPL. NO. _____
 OSHPD NO. _____
 PERMIT NO. _____
 WEATHER: _____ TEMP: _____

PROOF LOAD TORQUE WITNESSING

Testing was performed on the following items. All tests were performed with the following calibrated equipment:

RAM: _____ GAGE: _____ TORQUE WRENCH: _____
 RAM: _____ GAGE: _____ TORQUE WRENCH: _____

LOCATION OF TEST	TYPE / SIZE	# TESTED	% of TOTAL	LOAD lb or Ft Lbs	GAGE (PSI)	# ACC.	# REJ.	# RETEST

Type of epoxy / grout used: SIMPSON SET-22 Method of application / cleaning: AIR/BRUSH
 Visual inspection was performed on THE PLACEMENT OF TWO 5/8" DIA, ALL-THREADS IN PRE-DRILLED AND CLEANED HOLES 3/4" DIA X 10" MIN EMBED AT HIT-22 LOCATIONS

Show up / Stand by time. Job Canceled / Delayed due to: _____
 All non-compliance items were brought to the attention of: _____ at the job site.

NON-COMPLIANCE REPORT ATTACHED ADDITIONAL TESTS ATTACHED

NOTES: _____

To the best of my knowledge, the above ~~WAS~~ / WAS NOT performed in accordance with the approved plans, specifications, and regulatory requirements.
 Superintendent/Representative: _____ Inspector: [Signature]

ROBERTSON ENGINEERING

8536 Elder Creek Rd., Sacramento, CA 95828
Phone: (916) 388-0866 Fax: (916) 388-0740

January 17, 2002

City of Sacramento
Building Department

Re: Kimball Hill Homes
Natomas Crossing - All Plans

Dear Sir or Madam:

The following schedule may be used on all plans for the installation of misplaced holdowns.

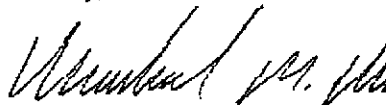
Holdown Type	All-thread diameter	Embedment depth
HTT22	5/8"	10"
PHD2	5/8"	10"
PHD5	5/8"	10"
PHD6	7/8"	12"
PHD8	7/8"	12"
HD10A	7/8"	12"

All bolts to be installed with Simpson Epoxy-Set adhesive. Install all bolts per Simpson specifications.

As a repair for missing or damaged HPAHD22 holdowns, install a PHD2 or HTT22 holdown per the installation schedule above.

If you have any other questions, please call me at the above number.

Sincerely,



Richard M. Robertson, P.E.



Address)
3723 Macdore

RESIDENTIAL BUILDING PERMIT APPLICATION

New Construction Addition Remodels Other

Project Address: 3743 Madrone Way Assessor Parcel # 225-1340-031

OWNER INFORMATION:

Lot 31

Legal Property Owner: Kimball Hill Homes Phone # (916) 714-1153
Owner Address: 10535 East Stockton Blvd City Elk Grove State Ca. Zip 95624
Suite K

CONTRACTOR INFORMATION:

Natomas Crossing Vill. #19

Contractor: Kimball Hill Homes Llc # 701803 Phone # 714-1153 Fax# 714-1425

PROJECT INFORMATION:

Land Use Zone R-14 Occupancy Group R-3 Construction Type VN Fed Code 1A
No. of stories: 2 No. of rooms: 10 Street width: _____
1st Floor Area _____ 2nd Floor Area _____ Basement _____ Roof Material _____

AREA IN SQUARE FOOT OF:	EXISTING	NEW
Dwelling/Living	_____	<u>2889</u>
Garage/Storage	_____	<u>628</u>
Decks/Balconies	_____	_____
Carports	_____	_____

SCOPE OF WORK: _____

FOR OFFICE USE ONLY

- Information above complete AR Flood Waiver required Planning Approval
- Violation files checked Flood Elevation Certificate Required Design Review Approval
- Standard setbacks Water Development Infill Area Special Fee Districts Apply : _____
- County Sewer

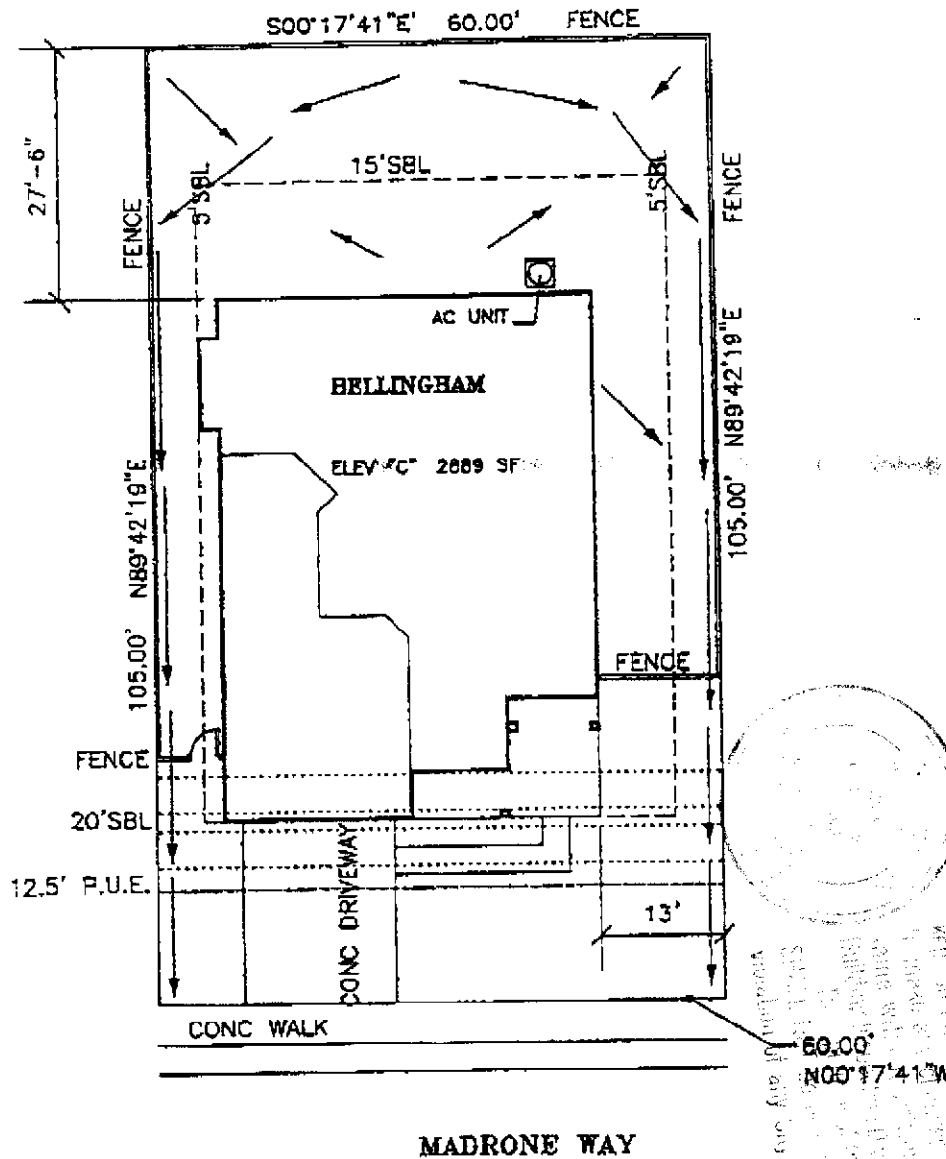
NEW STRUCTURES & ADDITIONS

◆ THE FOLLOWING MUST BE PROVIDED IN ORDER TO SUBMIT FOR PLAN REVIEW

- 2 COMPLETE PLANS, LEGIBLE & DRAWN TO SCALE ◆ Plans to include: site plan, floor plan, elevations, roof/ceiling plan, foundation and structural framing details, and structural calculations for non-conforming structures.
- 3 SETS IF PROJECT IS IN A DESIGN REVIEW AREA
- Title 24 Energy Compliance documentation 11" x 17" copy of floor plan for County Assessor
- Grading and Erosion Control Questionnaire Plan Review Fees

Date: _____ Received by: (staff) _____

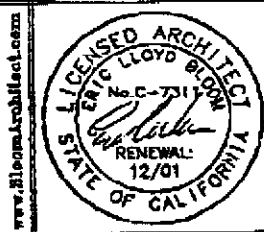




This set of plans and specifications shall be used for the construction of the project shown hereon. No part of these plans and specifications shall be used for any other project without the written consent of the architect. The architect shall not be responsible for any errors or omissions in these plans and specifications. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws and regulations. The architect shall not be responsible for any delays or cost overruns caused by the contractor. The architect shall not be responsible for any damage to the property or to the environment caused by the contractor. The architect shall not be responsible for any claims or lawsuits filed against the contractor. The architect shall not be responsible for any claims or lawsuits filed against the architect. The architect shall not be responsible for any claims or lawsuits filed against the client. The architect shall not be responsible for any claims or lawsuits filed against any other party. The architect shall not be responsible for any claims or lawsuits filed against any other party.



BLOOM
Architectural
Developments
Incorporated
 4437 Kenneth Avenue
 Fair Oaks, CA 95628
 (916)961-1553
 (916)967-3011 Fax



Plot Plan Disclosure This plot plan approximates a general representation of lot dimensions, easements, fence and home placement, etc. This illustration is not a condition of Kimball Hill Homes sales agreement. The actual placement and measurements demonstrated on this diagram are subject to change without notice.

Signature _____
KHH California, Inc. (916)714-1153
 10535 E. Stockton Blvd. Ste. K, Elk Grove, CA 95758

Job# 1642 31 **Plan#** 2889
Date Sep 16 01 **Draft** 1
Plan BELLINGHAM **Elev** C
Project Natomas Crossing
Lot 31 **Unit** 19
Address 3743 Madrone Way
City Sacramento **State** CA
APN - - - - -0000

PLOT PLAN
 Scale 1"=20'