

STAFF REPORT AMENDED 12-9-82
CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Sherri Blazona, P.O. Box 160342, Sacramento, CA 95816		
OWNER	Terrance Blazona, P.O. Box 160342, Sacramento, CA 95816		
PLANS BY	Sherri Blazona		
FILING DATE	11/5/82	50 DAY CPC ACTION DATE	REPORT BY: PB:sg
NEGATIVE DEC.	exempt 15103b	EIR	ASSESSOR'S PCL. NO. 008-351-10

- APPLICATION:
1. Special Permit to develop two additional dwelling units in the C-2 zone.
 2. Variance to allow two backout parking spaces.
 3. Variance to allow parking in front and street side yard setback areas.

LOCATION: 5347 Folsom Boulevard

PROPOSAL: The applicant is requesting the necessary entitlements to construct two additional dwelling units on a .7+ acre lot in C-2 General Commercial zone.

PROJECT INFORMATION:

1974 General Plan Designation:	Commercial/Office
1963 East Sacramento Community Plan Designation:	Shopping-Offices-Commercial
Existing Zoning of Site:	C-2
Existing Land Use of Site:	Residential; 2 units occupied, 1 unit fire damaged

Surrounding Land Use and Zoning:

North:	Residential; R-1
South:	Residential-Commercial; C-2
East:	Commercial; C-2
West:	Residential; C-2
Parking Required:	4
Parking Provided:	4
Ratio Required:	1:du
Ratio Provided:	1:du
Property Dimensions:	117' x 53'
Property Area:	6,257 sq. ft.
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
School District:	Sacramento City Unified

BACKGROUND INFORMATION: The site presently consists of a two-story, two-unit residential structure in which the lower unit has a one-story section that is used as a laundry/storage room. A second detached structure at the rear of the site is a burned out dwelling unit over a double car garage.

The front double unit was renovated approximately 1-1/2 years ago. A circle type driveway and spaces for two vehicles were included at the front and side of the property

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at that time. The applicant proposes to demolish the rear burned out structure and construct a two-story (two units) dwelling adjacent to the laundry/storage room. The two required parking spaces would be located to the rear of the property with access from 54th Street (see exhibit A).

STAFF EVALUATION: Staff has the following comments:

1. The applicant is requesting a Special Permit to add two dwelling units to a non-conforming use on a .7± acre lot in the General Commercial C-2 zone. Three units exist, however, the fire damaged unit over the garage is to be demolished. Basically, staff has no objection to the project in that a maximum of four units is allowed on this property (R-3 density); parking is provided on the site; and the project would be compatible with surrounding residential uses.
2. The applicant proposes to demolish the existing burned out dwelling unit and garage, which may cross a property line, and replace them with two parking spaces. The existing driveway to the existing garage is only 12 feet wide and angles around a large Sycamore tree. One of the two proposed parking spaces in the rear area would encroach into the required 12 1/2 foot street side yard setback. Staff has no objections to the encroachment of the parking space in the setback area in that the existing garage (which will be removed) encroaches into the setback area. The City Traffic Engineer has reviewed this project and has no objections and indicates the rear parking area with the narrow drive is workable. Staff has no objection to the two back-out parking spaces in that the narrow driveway and double garage has existed for several years and the proposal will not create additional back-out spaces. In addition, the demolishing of the two story structure will provide additional light and air to the adjacent single family dwelling to the north.

In order to screen the rear parking spaces and prevent a maneuvering conflict with the neighbor's driveway, staff suggests that the applicant install a wooden fence along the northerly property line.

3. The Environmental Coordinator has determined that this project is exempt from environmental review (CEQA Section 15103b).

STAFF RECOMMENDATION:

Staff recommends the following actions:

1. Approval of the Special Permit to add two dwelling units subject to conditions and based on Findings of Fact to follow.
2. Approval of a Variance for back-out parking spaces at the rear of the property ~~based on Findings of Fact which follow.~~
3. Approval of a Variance to allow parking in the front and street side yard setback areas based on Findings of Fact which follow.

Condition - Special Permit

Applicant shall install a six foot high wooden fence on the north property line. This fence shall be lowered to three feet in the setback area.

*See below

Findings of Fact - Special Permit

1. The project is based on sound principles of land use in that:

the proposal is compatible with surrounding land uses which consist of single and multiple family residential.

2. The project will not be detrimental to the public health, safety or welfare in that:

the project will not alter the characteristics of the area which consists of residential and commercial land uses; and

adequate shaded on-site parking will be provided.

3. The project is consistent with the policies of the 1974 General Plan which states:

- "Preserve established residential areas from deteriorating influences."

- "Continue to revitalize deteriorating residential areas by using the most appropriate programs and tools available to the City."

Findings of Fact - Variances

1. These variances do not constitute a special privilege extended to one individual property owner, in that approval of back-out parking and parking in the front and street side yards would also be granted to other property owners when similar conditions exist.

2. These variances do not constitute a disservice and are not injurious to public welfare or other properties in the vicinity in that:

adequate parking will be available on site; and

adequate shading of the parking lot areas exist from mature trees.

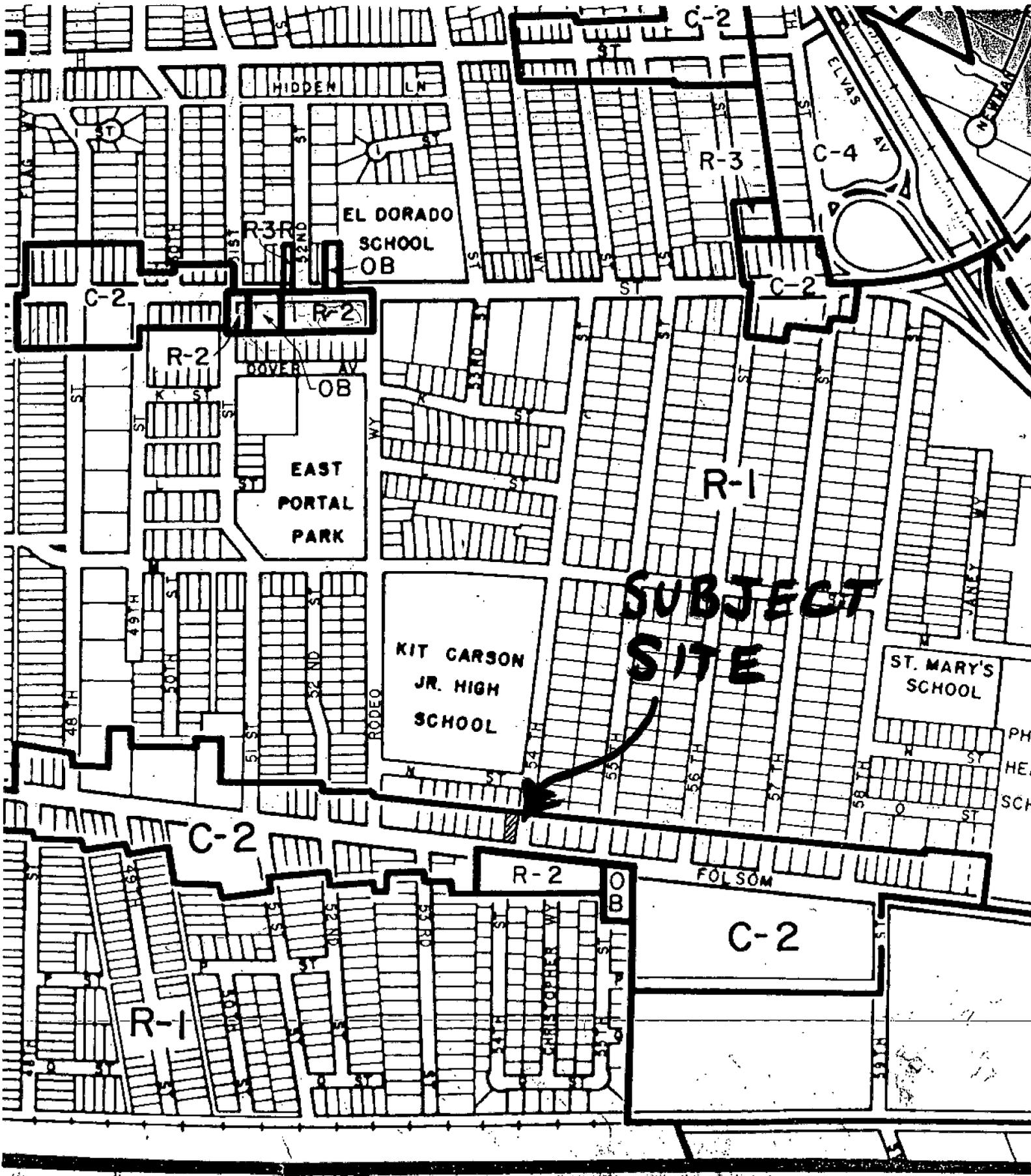
3. The variances are not adverse to the General Plan nor the East Sacramento Community Plan in that the site is a continuing nonconforming use.

*The Planning Commission added the following conditions:

2. Applicant shall verify location of existing sewer lines.

3. Applicant shall obtain an insurance policy or bond to insure sewer line of adjacent property owner is operational after construction and prior to occupancy.

4. Applicant shall dedicate permanent easement and construction easement to coincide with the sewer line located along the northerly property line.



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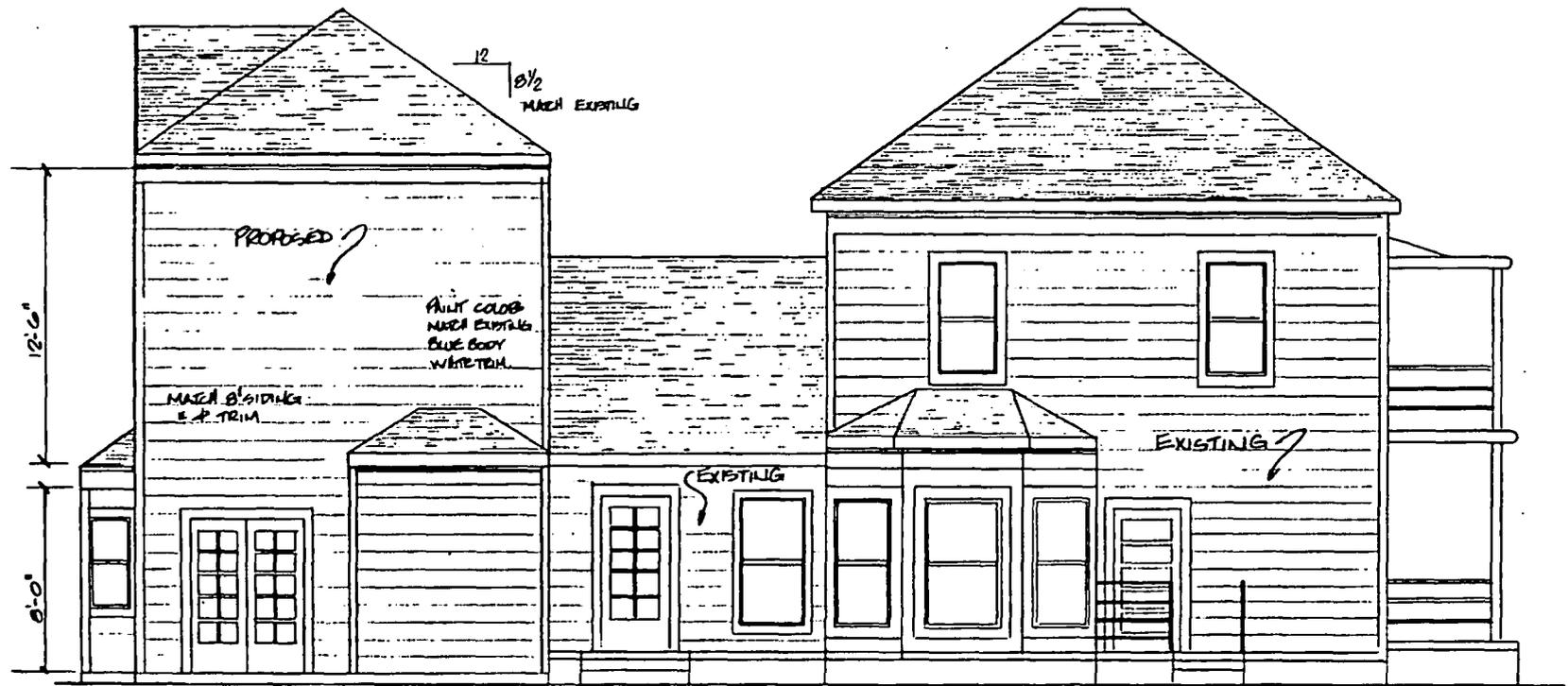
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Item 17

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LEFT ELEVATION

SCALE 1/4" = 1'-0"

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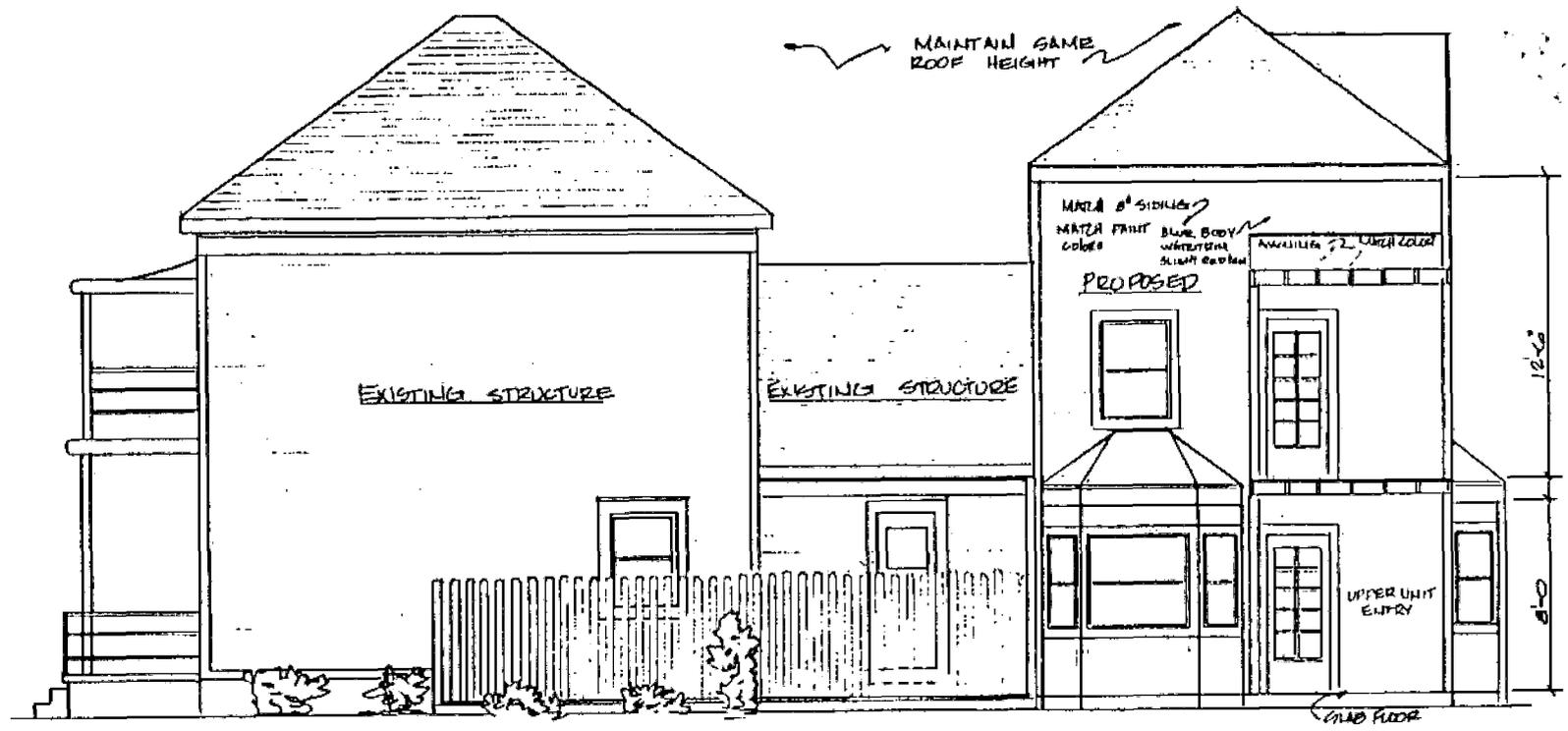
EXHIBIT C

T. BUZONA PROPERTIES
 P.O. BOX 160342
 SACRAMENTO, CALIF.
 442-3810

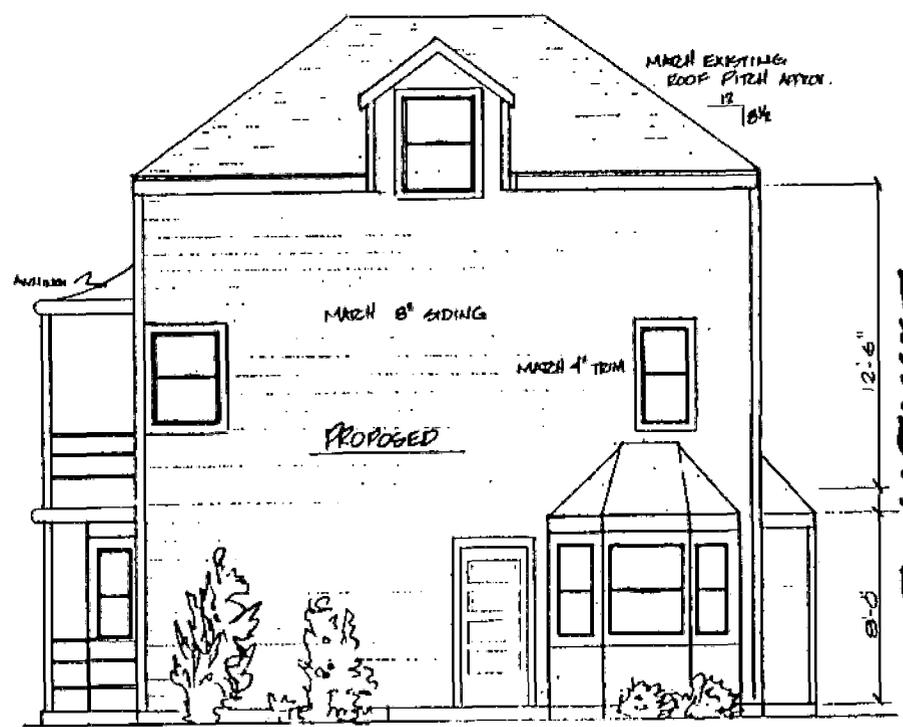
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RIGHT ELEVATION 5TH STREET SIDE



REAR ELEVATION

SCALE 1/4" = 1'-0"

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EXHIBIT D

02B

T. BLAZONIA PROPERTIES
 P.O. BOX 160342
 SACRAMENTO, CALIF 95816
 442-3010

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