

CITY PLANNING COMMISSION

927 10TH STREET, SUITE 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Medici Equities, Joseph Giampaolo - 3907 N Rosemead Blvd., Ste. 100, Rosemead, CA 91770				
OWNER	MTA Invest. Co., Wm. Angelo - 501 Guiseppe Ct., Roseville, CA 95678				
PLANS BY	Florin Martinez Assoc. - 13132 Newport Ave, Ste 110, Tustin, CA 92680				
FILING DATE	12-9-83	50 DAY CPC ACTION DATE		REPORT BY:	TM:sg
NEGATIVE DEC.	4-12-84	EIR		ASSESSOR'S PCL. NO.	118-103-07

- APPLICATION:
1. Negative Declaration
 2. Amendment of the 1974 General Plan from Commercial and Office to Residential
 3. Amendment of the 1965 Southgate Community Plan from Shopping or Commercial to Residential
 4. Designation of a Planned Unit Development to be known as Creekside Village
 5. Rezone Light Density Multiple Family-Review (R-3-R) to Medium Density Multiple Family (R-4) and Limited Commercial (C-1)
 6. Special Permit to develop 506 senior citizen dwelling units and four commercial sites
 7. Variance to waive 49 parking spaces
 8. Tentative Map (P83-414)

LOCATION: 7750 La Mancha Way (southwest quadrant of Elder Crreek Drainage Canal and La Mancha Way)

PROPOSAL: The applicant is requesting the necessary entitlements to develop 4± acres of commercial development and 506 apartment units for senior citizen housing.

PROJECT INFORMATION:

1974 General Plan Designation: Commercial and Offices
1965 Southgate Community
Plan Designation: Shopping and Commercial
Existing Zoning of Site: R-3-R
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Drainage Canal, Single Family; R-1
South: Commercial; C-2
East: Vacant, U.S. 99; C-2, TC
West: Commercial; C-2

Property Dimensions: Irregular
Property Area: 16± ac. total - 12± ac. residential; 4± ac. commercial
Density of Development: 43 units per acre
Square Footage of Units: 480 sq. ft. (508 units) and 650 sq. ft. (56 units)
Height of Structures: Commercial, 26± ft.; residential, 35± ft.
Exterior Building Colors: Earth tones
Exterior Building Materials: Stucco and wood

APPLC. NO. P84-414

MEETING DATE April 12, 1984

CPC ITEM NO. 8

BACKGROUND INFORMATION: The Planning Commission considered an earlier version of the proposed project on February 23, 1984. The Commission continued most of the PUD and design related entitlements but approved the rezoning of the residential portion of the site to R-3A(PUD) as well as the commercial portion of the site to C-1(PUD).

Subsequent to the Commission's action, the applicant filed an appeal. However, prior to the scheduling of this appeal the applicant requested that the Commission reconsider the project as revised.

SUBDIVISION REVIEW COMMITTEE RECOMMENDATIONS: On January 11, 1984 the Subdivision Review Committee, by a vote of five ayes, three absent and one abstention, voted to recommend approval of the tentative map. The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code, including a 54 foot right-of-way and standard City cul-de-sac for proposed streets;
2. Prepare a sewer and drainage study for the review and approval of the City Engineer;
3. Name the streets to the satisfaction of the Planning Director;
4. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
5. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service;
6. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required eighty percent (80%) south orientation (including solar access) to the satisfaction of the Planning Director;
7. Provide easement for and construct access ramp to Elder Creek at La Mancha to the satisfaction of the City Engineer;
8. Dedicate right-of-access for lots 1 and 2 off of La Mancha Way to the City;
9. Relocate lot lines for Parcel 6 so that driveways are not bisected by these lines;
10. Prepare a right-of-way study for the review and approval of the City Traffic Engineer. Should a cul-de-sac option be utilized, the right-of-way study shall reflect this change;
11. Provide reciprocal access easements for private street system.

Information Items: 1) If lots 1-4 are to be residential, an engineered accoustical study should be provided to the City-County Health Department; 2) The applicant shall check with the County Sanitation District and meet all requirements.

STAFF EVALUATION: The proposed project has been substantially revised since the previous Commission hearing of February 23rd. The following table highlights these revisions for comparative purposes:

	<u>Previous Request</u>	<u>Current Request</u>
Zoning	R-4(PUD) and C-2	R-4(PUD) and C-1(PUD)
PUD Area	Residential Area Only	Entire Site
Number of Dwelling Units	565 (48 Units/Acre)	506(43 Units/Acre)
Height of Residential Structures	3 Stories	1, 2, and 3 Stories
Parking Ratio	.7 Spaces/Unit	.9 Spaces/Unit

Overall, the revised project is more specific than the original request, the plans are more definitive and the PUD entitlements have been expanded to include the entire site. Staff's major concern is relative to the R-4 zoning request. The following comments are relative to the specific land use entitlements.

1. General Plan and Community Plan Amendments: On September 16, 1980 the City Council approved various entitlements which created the subject parcel and the adjacent GEMCO shopping center. These entitlements included a rezoning of this site from General Commercial (C-2) to Light Density Multiple Family-Review (R-3-R). However, the General Plan and Community Plan were not amended to reflect the R-3 zoning. Therefore, staff included both these amendments to assure plan consistency.
2. Planned Unit Development Requests: As currently proposed, both the residential and commercial portions of the subject site will be developed as a planned unit development (PUD). The intent of the PUD designation is to insure compatibility of building design, signage, landscaping, and land use. To insure this intent is fulfilled, staff prepared attachment A (PUD Guidelines). These PUD guidelines are similar to other guidelines as adopted for the Point West, Campus Commons and Natomas Parks PUDs.

The proposed guidelines differ from other PUD guidelines in two significant ways. The guidelines specifically designate the proposed multiple family site for senior citizen housing not to exceed 36 units per acre. If the residential portion of the project changes to non-senior housing then the maximum density could not exceed 29 units per acre. The PUD guidelines also allow for a parking ratio of .9 spaces per unit for senior housing. Again, should the project revert to non-senior housing, the required ratio would change to 1.5 spaces per dwelling unit.

3. Rezoning Requests: The applicant proposes to rezone the La Mancha frontage area to Limited Commercial (C-1) and the remainder of the site to Medium Density Multiple Family (R-4) to develop 506 dwelling units. Currently, the entire 16± acres are zoned Light Density Multiple Family-Review (R-3-R). Per the R-3-R zoning 464 dwelling units could be constructed on the subject site.

The requested R-4 zoning permits 58 dwelling units per net acre. Under this zoning, approximately 696 units could be developed on the subject site. The R-4 zoning is primarily a Central City zoning intended to provide for higher density projects in close proximity to the downtown area.

Recent developments within the Mack Road corridor achieve an average density of only 26 units per acre. Staff finds that the proposed density is not compatible with the surrounding land uses and, in general, inappropriate for a suburban area.

Within the last three years approximately three senior citizen projects have been developed within suburban settings (Pocket, Tahoe Park, and North Sacramento). All three of these sites are zoned Garden Apartment (R-2B) and the density does not exceed 22 units per acre on any one site. The submitted plans for the subject request would provide for 43 units per acre, which represents almost twice the density of these other senior citizen projects.

Staff does find some merit in an increase in density, but not to the requested R-4 zoning. Instead, staff recommends that the zoning be approved to a maximum of 36 units per acre, which corresponds to the R-3A zone. This density would allow for a development more in scale with the surrounding area.

The staff finds the R-3A zoning to be a maximum density based upon the development and use of the site for senior housing. As indicated in the PUD guidelines, staff would not support any density beyond 29 units per acre (R-3) for the site should the development revert to non-senior housing.

4. Elderly Housing Elevation and Floor Plans: Revised elevation plans for the residential portion of the site have been submitted since the February 23rd Commission hearing. In general, staff finds the elevations of both the commercial and residential portion of the project acceptable.

The submitted floor plan indicate that there will be 448 one bedroom units of 480 square feet, and only 58 two bedroom units of 650 square feet. The applicant has indicated that the small size of the units is due to the attempt to design the project to the needs of the elderly. Staff finds the size of the units acceptable given the PUD restriction that the site be utilized for senior housing only.

5. Parking Variance: Among the requested entitlements is a variance to reduce the required parking spaces for the residential portion of the site from 506 to 457 spaces. This represents a reduction in the parking ratio from one space per unit to .9 spaces per unit. Staff is not opposed to such a reduction because similar reductions have been granted for other senior housing projects. In addition, staff notes should the project revert to non-senior housing units the PUD guidelines require 1.5 spaces per unit.
6. Parkland Dedication: The Planning and Community Service Departments have determined that 4.45 acres of land are required for parkland dedication purposes and that fees are to be required in lieu of the required dedication. Based upon a preliminary review of the on-site recreational facilities, it appears that this acreage may be reduced by 40%.

Pursuant to the Parkland Dedication Ordinance, the applicant shall submit to the City an appraisal of the land to be subdivided. The appraisal shall be dated and submitted no more than 90 days prior to the filing of the final map.

7. Commercial Building Plans: The applicant has submitted typical front elevation plans for the commercial portion of the site. In general, staff finds these plans acceptable. However, only the front elevations have been submitted. Staff recommends that the special permit for this portion of the site not be issued until such time as more definitive plans be submitted under a subsequent special permit.

STAFF RECOMMENDATION: The staff recommends the following actions:

1. Ratification of the Negative Declaration;
2. Approval of the General Plan Amendment;
3. Approval of the Community Plan Amendment;
4. Designation of the site as a planned unit development and adoption of the Creekside Village schematic plan and guidelines;
5. Approval of the Rezone of 12± acres to Light Density Multiple Family-Planned Unit Development (R-3A(PUD)) and 4± acres to Limited Commercial-Planned Unit Development (C-1(PUD));
6. Approval of the Special Permit to develop the senior housing portion of the project only, subject to conditions and based upon findings of fact which follow;
7. Approval of the Variance, subject to conditions and based upon findings of fact which follow;
8. Approval of the Tentative Map subject to conditions which follow;

Tentative Map - Conditions

- a. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code, including a 54 foot right-of-way and standard City cul-de-sac for proposed streets;
- b. Prepare a sewer and drainage study for the review and approval of the City Engineer;
- c. Name the streets to the satisfaction of the Planning Director;
- d. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
- e. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service;

- f. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required eighty percent (80%) south orientation (including solar access) to the satisfaction of the Planning Director;
- g. Provide easement for and construct access ramp to Elder Creek at La Mancha to the satisfaction of the City Engineer;
- h. Dedicate right-of-access for lots 1 and 2 off of La Mancha Way to the City;
- i. Relocate lot lines for Parcel 6 so that driveways are not bisected by these lines;
- j. Prepare a right-of-way study for the review and approval of the City Traffic Engineer. Should a cul-de-sac option be utilized, the right-of-way study shall reflect this change;
- k. Provide reciprocal access easements for private street system.
Information Items: 1) If lots 1-4 are to be residential, an engineered accoustical study should be provided to the City-County Health Department; 2) The applicant shall check with the County Sanitation District and meet all requirements.

Variance - Condition

The reduction in parking spaces shall be based upon the utilization of the residential portion of the site for senior housing only.

Special Permit - Conditions

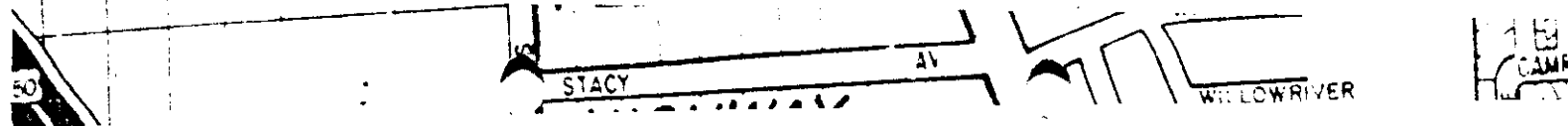
- a. The site and elevation plans of the residential portion of the site shall be revised to reflect a maximum density of 36 units per acre. The majority of the apartment structures shall consist of one and two story structures;
- b. The applicant shall submit detailed landscape and irrigation plans for staff review and approval prior to issuance of building permits. These plans shall incorporate those design elements indicated in the PUD guidelines.

Special Permit - Findings of Fact

- a. The project, as conditioned, is based upon sound principles of land use in that it provides for a mixed use project which relates to both the adjacent commercial and residential land uses in terms of use intensity and building design;
- b. The project, as conditioned, will not be detrimental to the public health, safety or welfare, nor result in the creation of a nuisance because the project will adhere to the PUD guidelines which stipulate parking, landscaping and building design criteria;
- c. The special permit, as conditioned, will be consistent with the Creekside Village PUD Guidelines.

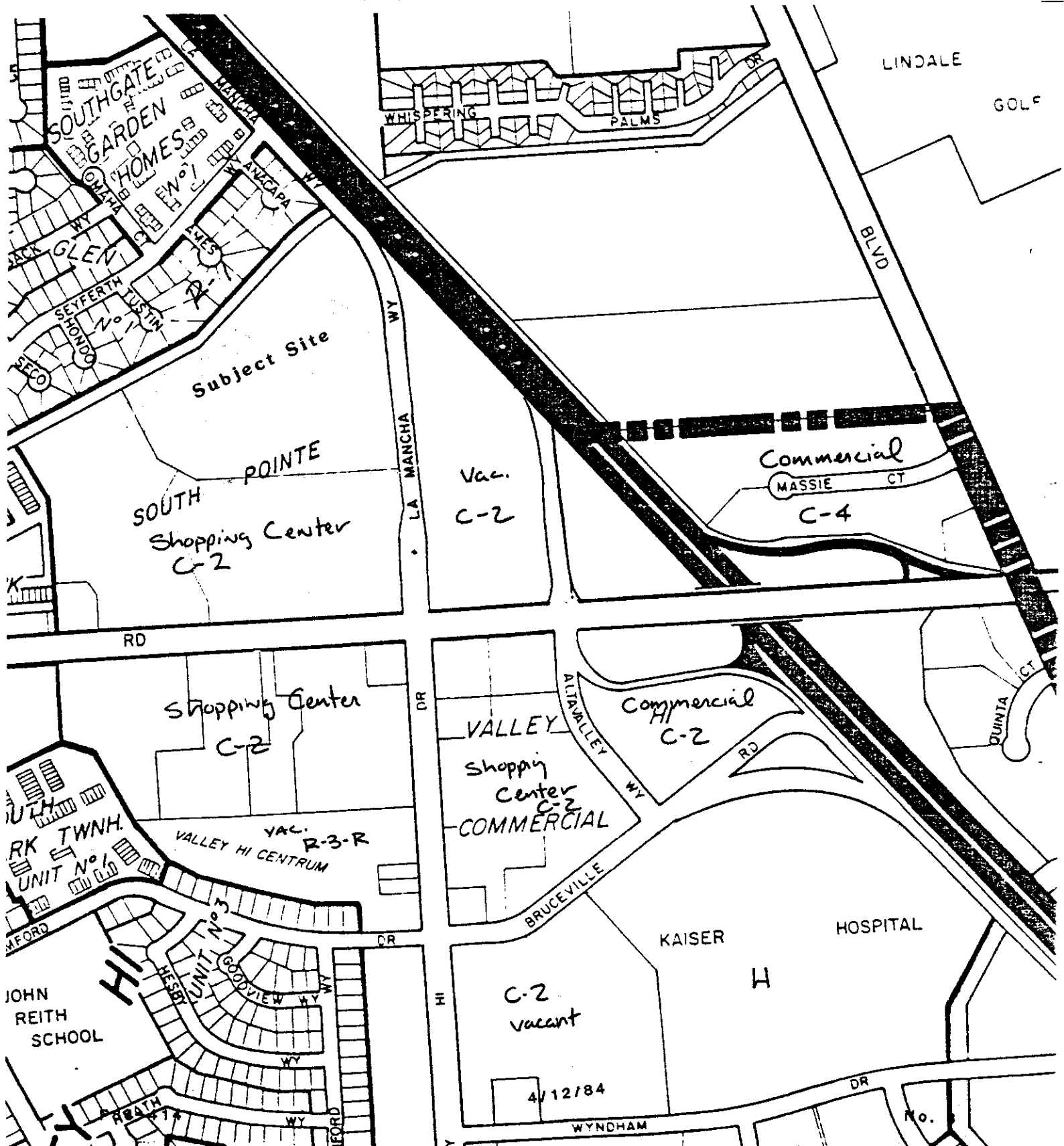
Variance - Findings of Fact

- a. The variance will not constitute a special privilege in that similar variances have been granted to senior housing projects;
- b. The variance does not constitute a use variance in that the proposed residential use is allowed in the existing and proposed zoning district;
- c. The variance will not be injurious to the public welfare in that similar senior housing projects have demonstrated a lesser need for parking than other housing projects;
- d. The variance, as conditioned, is consistent with the Housing Goal of the General Plan to "Provide adequate housing for all residents of this community, regardless of age, income, racial or ethnic background."



Location Map

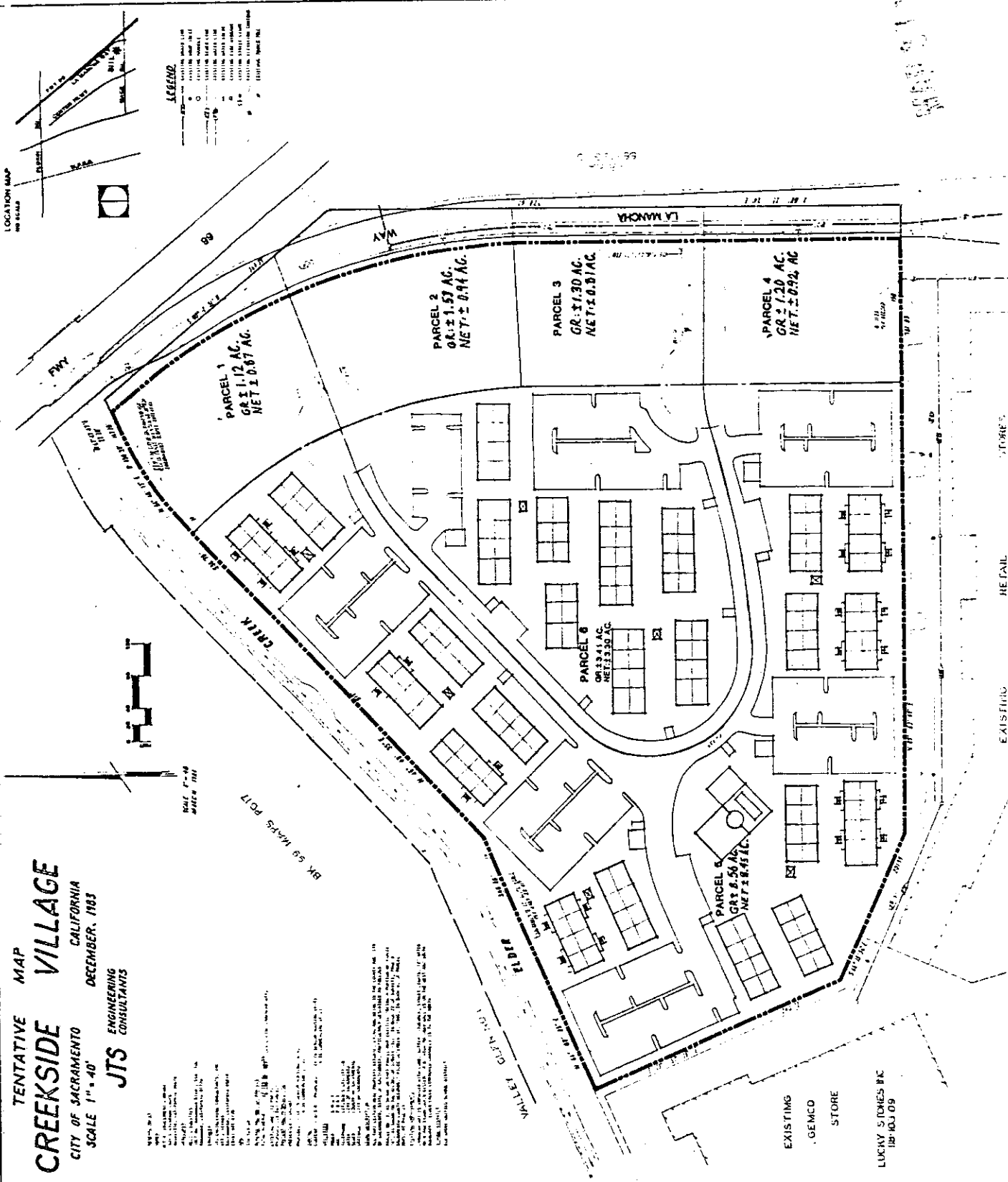
Land Use and Zoning



TENTATIVE MAP
CREEKSIDE VILLAGE
CITY OF SACRAMENTO
SCALE 1" = 40'
DECEMBER, 1983

JTS
ENGINEERING
CONSULTANTS

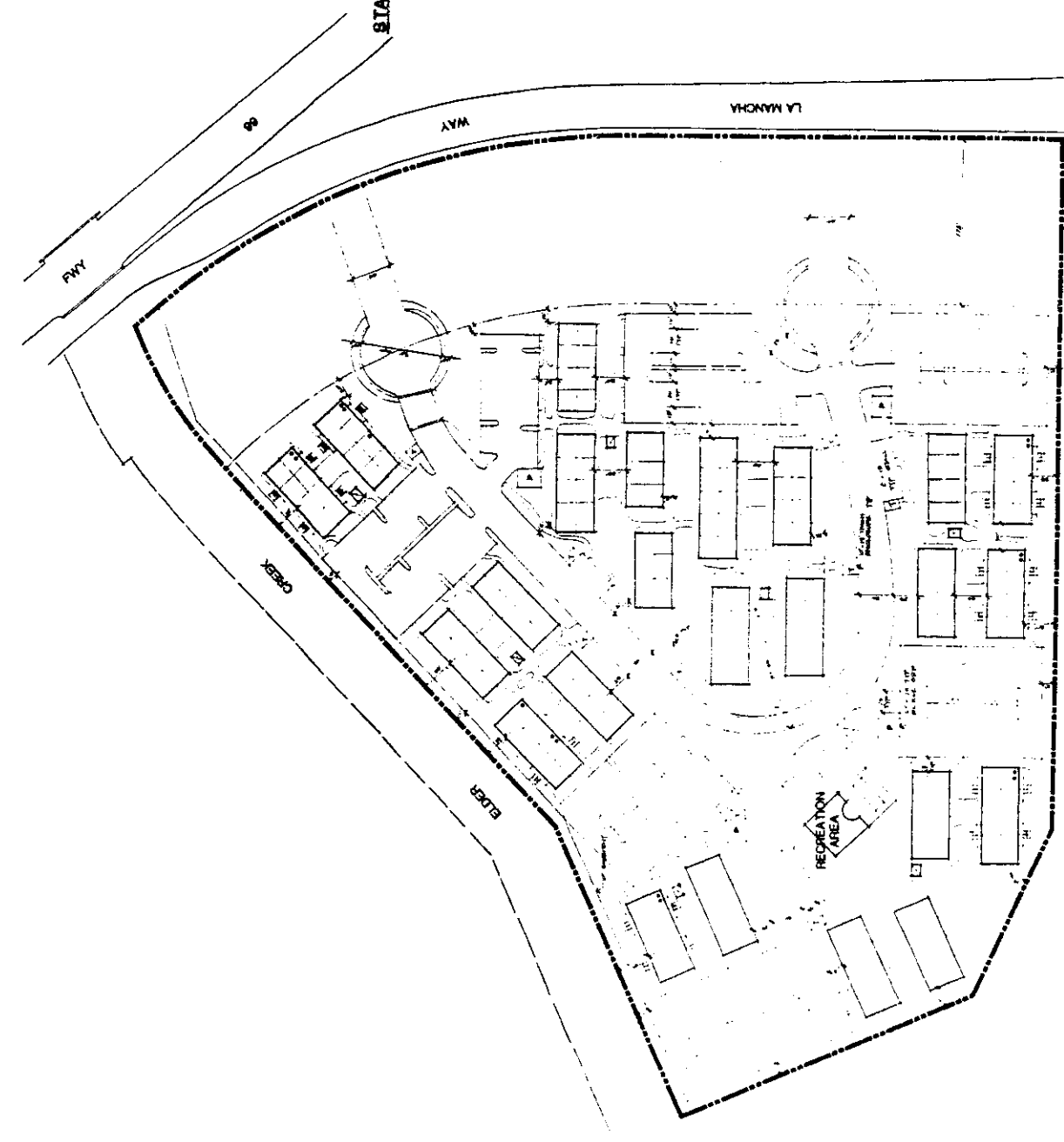
LEGEND
EXISTING PAVEMENT
EXISTING UTILITY LINES
PROPOSED UTILITY LINES
PROPOSED PAVEMENT
PROPOSED CONCRETE DRIVEWAYS
PROPOSED DRIVEWAYS
PROPOSED SIDEWALKS
PROPOSED CURBS
PROPOSED EROSION CONTROL DEVICES
PROPOSED CHANGES TO EXISTING EROSION CONTROL DEVICES
PROPOSED CHANGES TO EXISTING DRIVEWAYS
PROPOSED CHANGES TO EXISTING SIDEWALKS
PROPOSED CHANGES TO EXISTING CURBS
PROPOSED CHANGES TO EXISTING EROSION CONTROL DEVICES



CREEKSIDE VILLAGE
LA PLANNED DEVELOPMENT BY MEDICI EQUITIES, INC.

JTS
ENGINEERING
CONSULTANTS, INC.
SACRAMENTO, CALIFORNIA 95814

DATE: 12-1-83

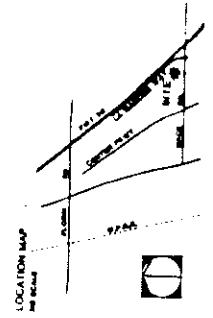


STATISTICAL SUMMARY

LAND USE	ACRES	DENSITY*	NO. OF UNITS
SENIOR HOUSING	11.75	43	506
<small>* DENSITY NOT TO EXCEED AS PER AD</small>			
BUILDING COVERAGE:	2.1 ACRES	18%	
OPEN SPACE:	5.3 ACRES	45%	
ROADS AND PARKING:	4.35 ACRES	37%	
TOTAL	11.75 ACRES	100%	

TRASH (10" x 14" ENCLOSURES (DOUBLE BIN)
MEETS CITY REQUIREMENT OF 30 GALLON/UNIT

NOTE: ** INDICATES 2 STORY BUILDING TYPE
* INDICATES 1 STORY BUILDING TYPE.
ALL OTHER BUILDINGS ARE 1 STORY



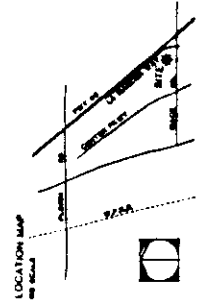
CONCEPTUAL SITE PLAN
CREEKSIDE VILLAGE
A PLANNED DEVELOPMENT BY MEDICI EQUITIES





TYPICAL TREES

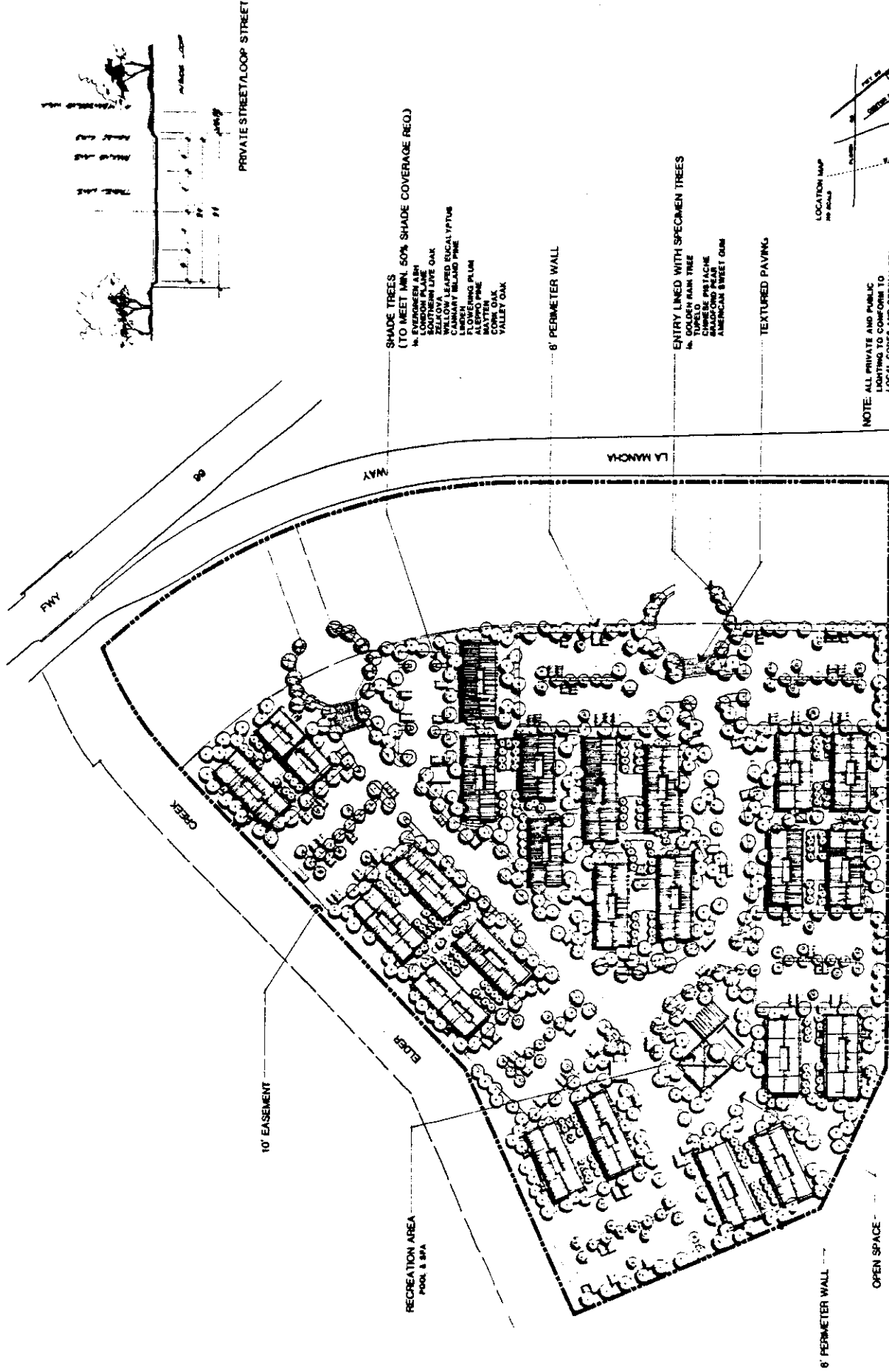
- 30' - 35' DIAMETER
 - FRAXINUS VIRGATA
 - CASTANEA SATIVA
 - QUERCUS OBLONGA
 - QUERCUS LAEVOLENS
 - QUERCUS RUBER
 - QUERCUS ALBA
 - UMBELLIFERA CALIFORNICA
 - ZELKOVIA SERIATA
- 20' - 30' DIAMETER
 - EUCALYPTUS NICHOLE
 - ROBINIA PANCICATA
 - NYSSA SILVATA
 - NYSSA SYLVATA
 - PRUNUS CANADENSIS
 - PRUNUS CALIFORNICA
 - PRUNUS CALLERIANA
 - TYLA CORDATA
- 15' - 20' DIAMETER
 - CERATIS OCCIDENTALIS
 - MATEUS BOARIA
 - PRUNUS BURESIANA



SCAPE PLAN MINIMUM COVERAGE REQUIRED - 50%

CREEKSIDE VILLAGE

A PLANNED DEVELOPMENT BY MEDICI EQUITIES.



SHADE TREES
 (TO MEET MIN. 50% SHADE COVERAGE REQ.)

- IN. EVERGREEN ASH
- LONDON PLANE
- REDWOOD
- SEEDLING LIVE OAK
- WILLOW LEAFED EUCALYPTUS
- LANCASHIRE BILBOURNE PINE
- FLOWERING PLUM
- FLORIDA PINE
- WALTON PINE
- COOK OAK
- VALLEY OAK

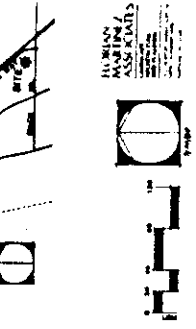
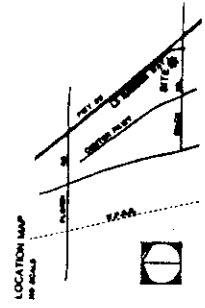
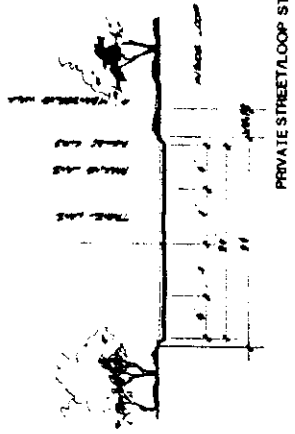
8' PERIMETER WALL

ENTRY LINED WITH SPECIMEN TREES

- IN. TURKEY PINE
- IN. TURKEY PINE
- IN. TURKEY PINE
- AMERICAN STREET OAK

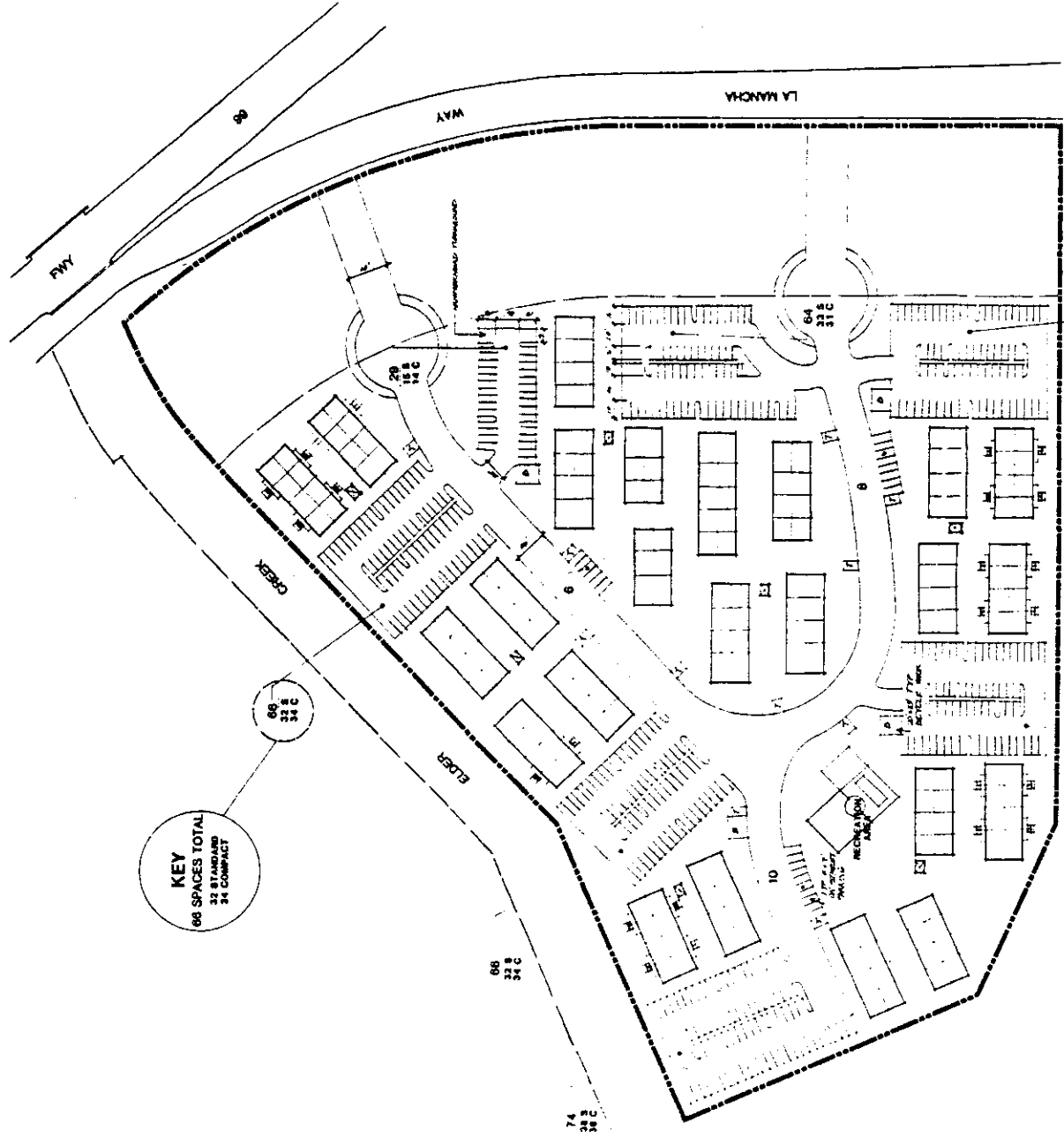
TEXTURED PAVING

NOTE: ALL PRIVATE AND PUBLIC LIGHTING TO CONFORM TO LOCAL CODES AND ORDINANCES.



HUNTER
 MARTIN /
 ASSOCIATES

**CONCEPTUAL
 LANDSCAPE PLAN
 CREEKSIDE VILLAGE**
 A PLANNED DEVELOPMENT BY MEDICI EQUITIES



REQUIRED PARKING

606 D.U. AT 1:1 REQUIRED 606 SPACES
 TOTAL PROVIDED 457 SPACES
 VARIANCE REQUESTED 149 SPACES

PROPOSED PARKING

PARKING BAYS 214 SPACES
 STANDARD STALLS (8'x18')
 COMPACT STALLS (7'9"x18')

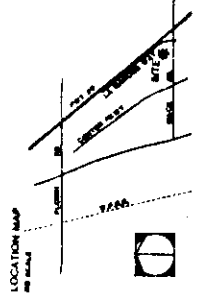
ON STREET BAYS 24 SPACES
 STANDARD STALLS (8'x18')

TOTAL 457 SPACES

PARKING RATIO 0.9 SPACES/UNIT

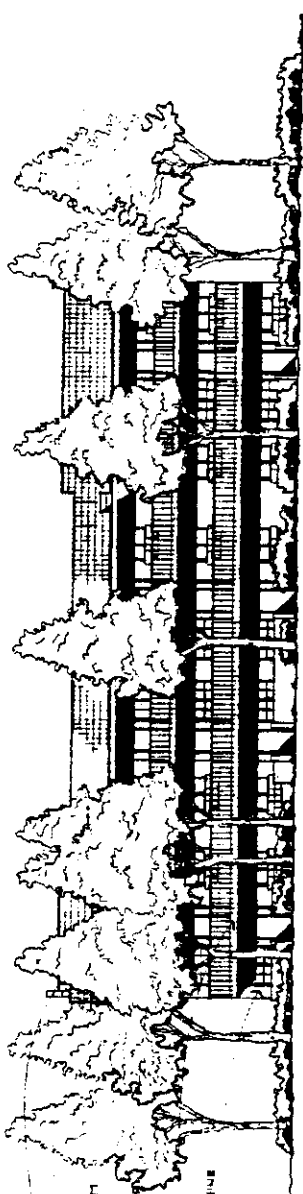
BICYCLE STORAGE

REQUIRED (1 SPACE TO CAR SPACE) 56 SPACES
 PROPOSED 66 SPACES (100% COMPLIED)



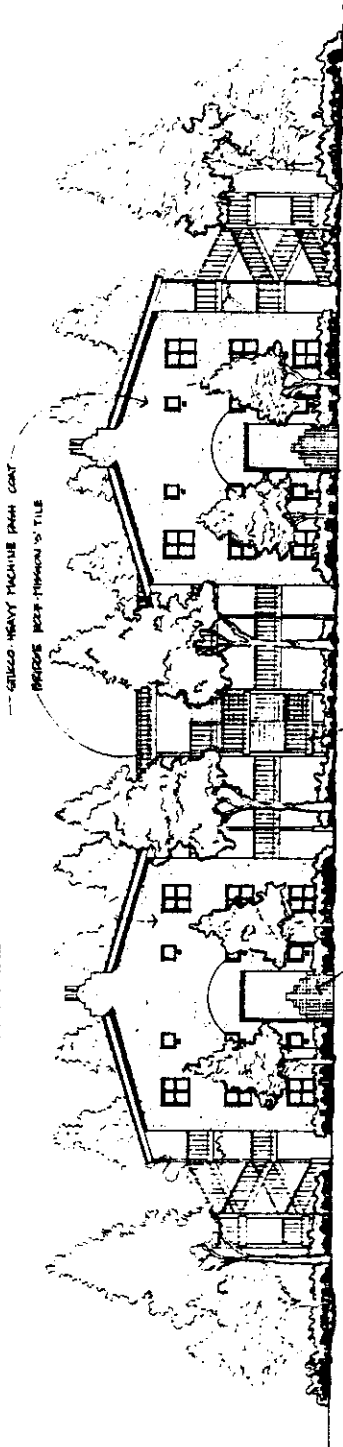
PARKING ANALYSIS
CREEKSIDE VILLAGE
 A PLANNED DEVELOPMENT BY MEDICI EQUITIES





CONCRETE & TILE
(MASONRY STYLE)
2. WOOD FINISH
WOODSIED ALUMINUM
SLIP-ON COVERS
BRASS, BRONZE OR WOOD
FINISH
STUCCO FINISH
3. BALCONY
STUCCO-HEAVY MACHINE
PAINT COAT

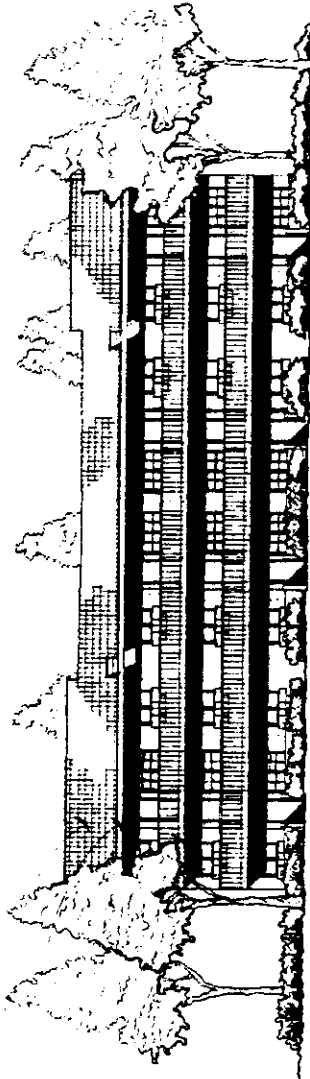
COURTYARD



STUCCO-HEAVY MACHINE PAINT COAT
BRICKS 100% MASONRY TILE

SIDE

GRASS THROUGH IRON RAILING
PRECAST CONCRETE TERRAZZO-STUCCO FINISH
CERAMIC TILE WALKER

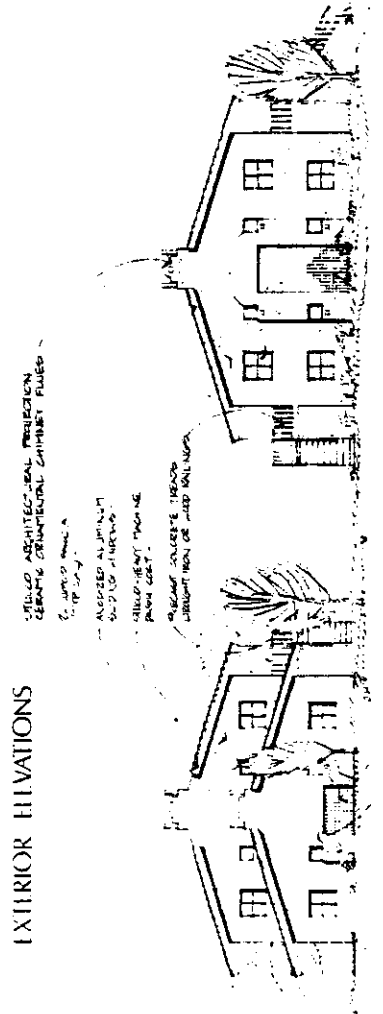
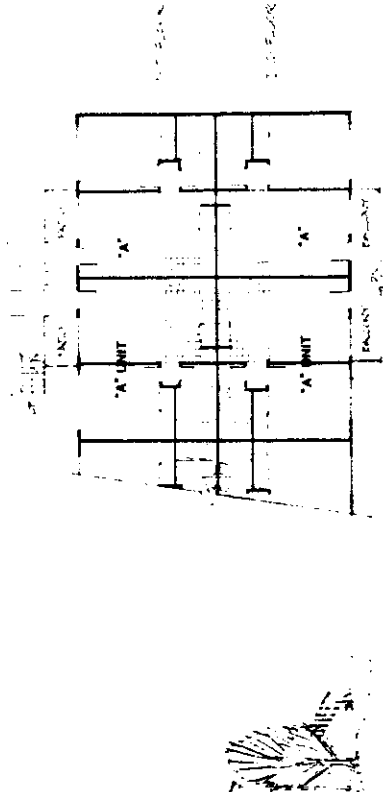
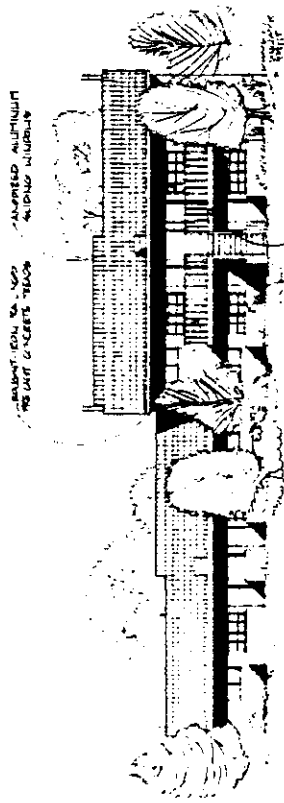
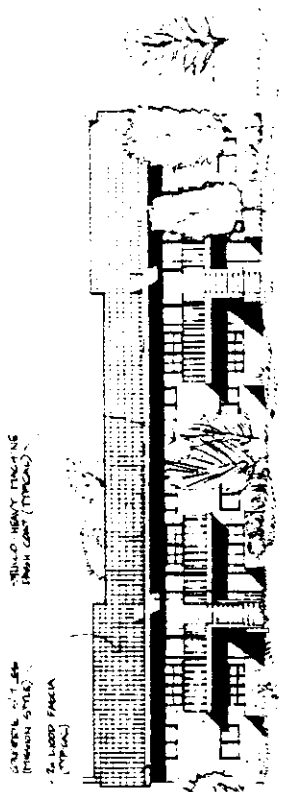


EXTERIOR

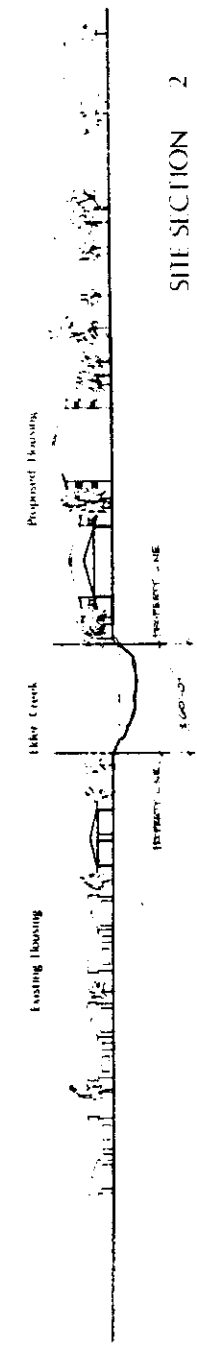
TYPICAL CLUSTER ELEVATIONS

4/12/84

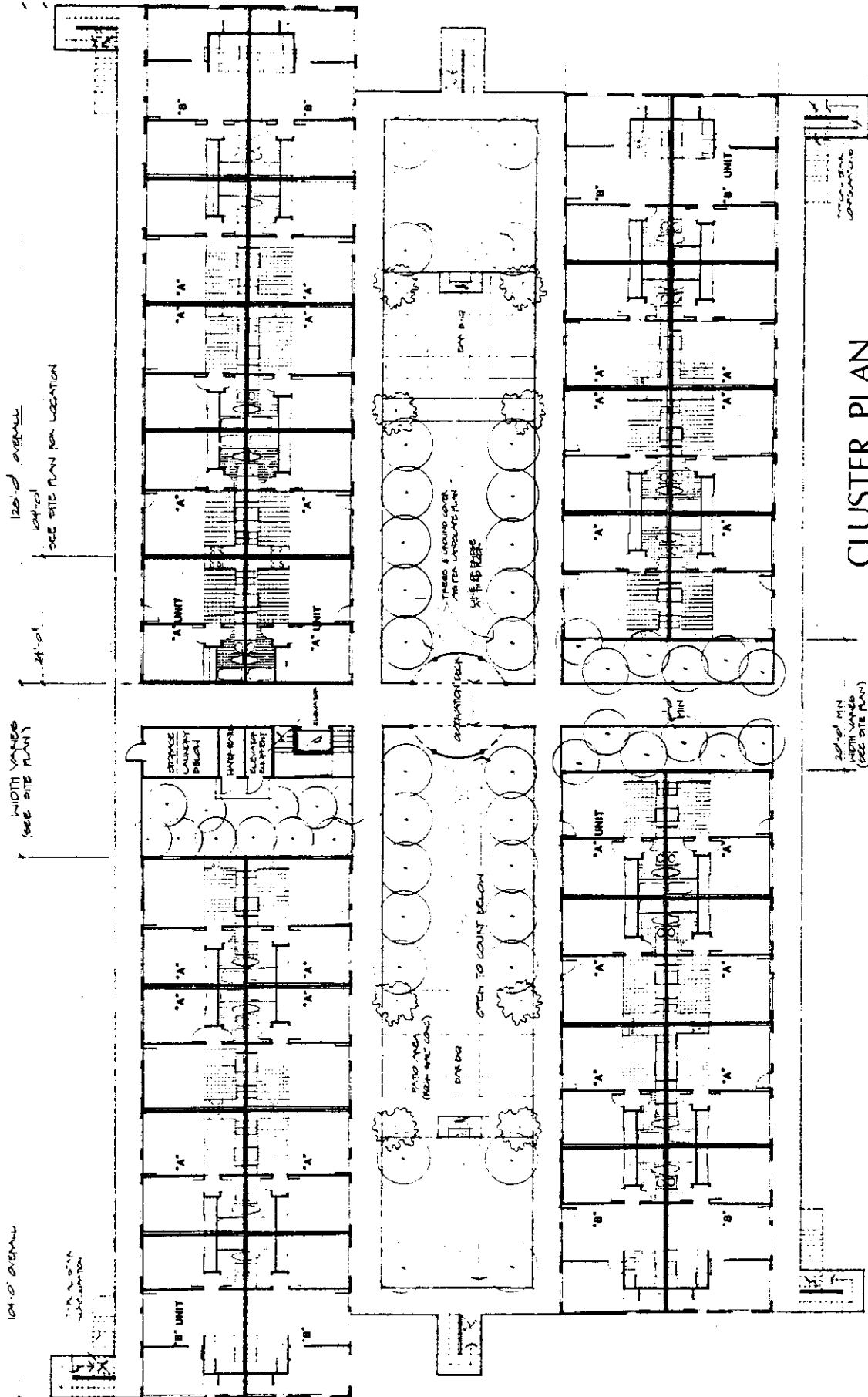
Architectural drawing showing typical cluster elevations of a building, including courtyard, side, and exterior views. Includes material specifications and a date stamp.



1-2 STORY CLUSTER

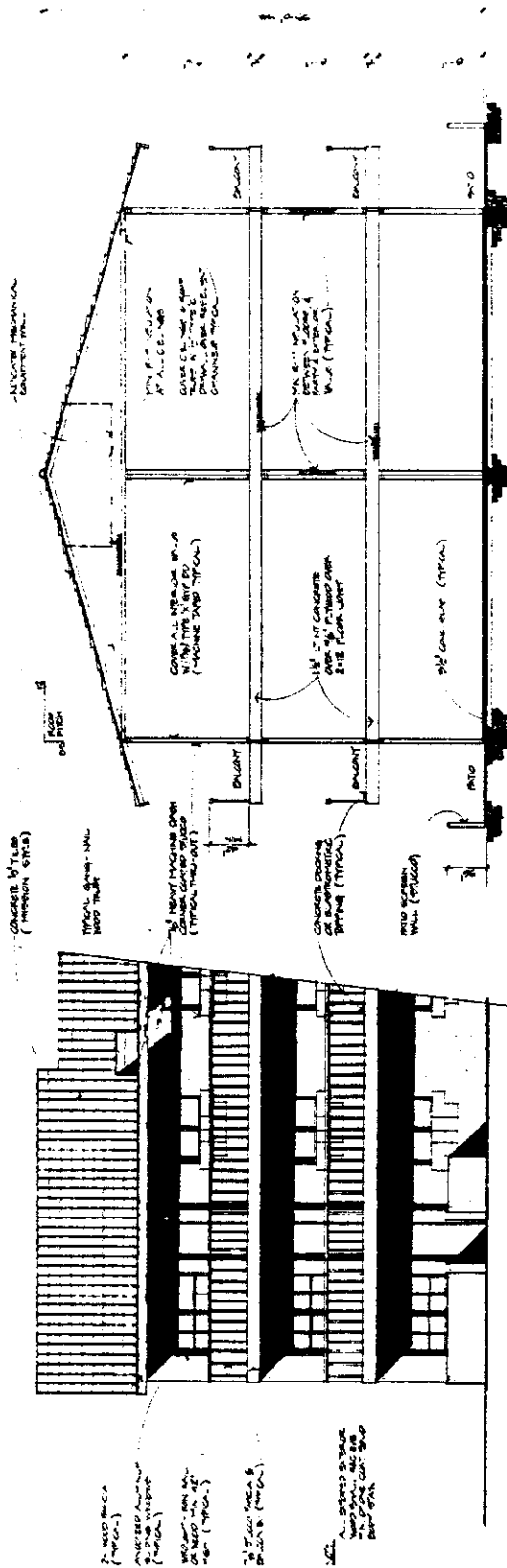


SITE SECTION 2



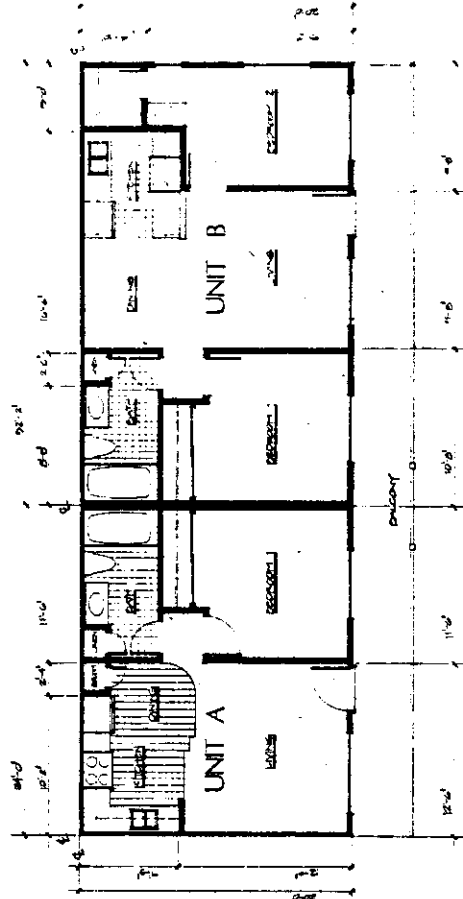
CLUSTER PLAN

SECOND FLOOR CLUSTER PLAN (FIRST & THIRD FLOOR SIMILAR)
(SEE SITE PLAN & TYPICAL UNIT PLAN SHEETS FOR FIRST FLOOR PATIO AREAS)

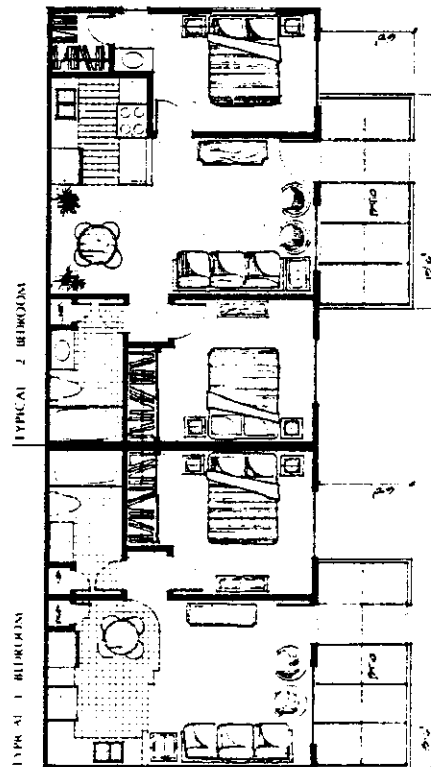


TYPICAL UNIT ELEVATION
SCALE 1/8" = 1'-0"

TYPICAL BUILDING SECTION
SCALE 1/8" = 1'-0"

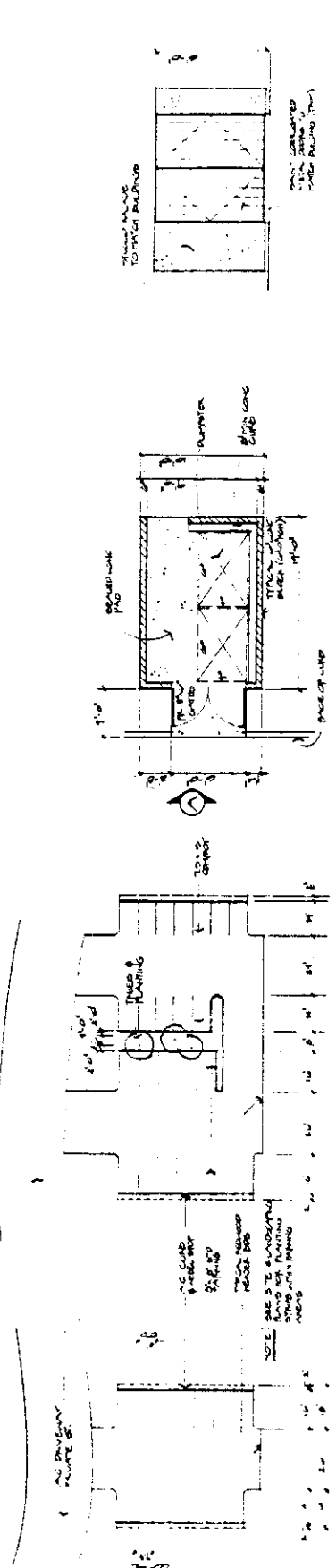


SECOND FLOOR (THIRD FLOOR SIMILAR)
SCALE 1/8" = 1'-0"



FIRST FLOOR (TYPICAL FURNITURE PLAN)
SCALE 1/8" = 1'-0"

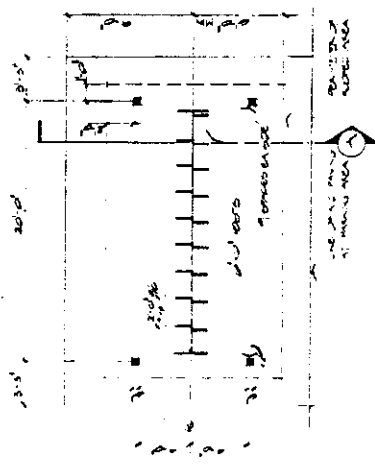
Architect: [Name]
Scale: 1/8" = 1'-0"



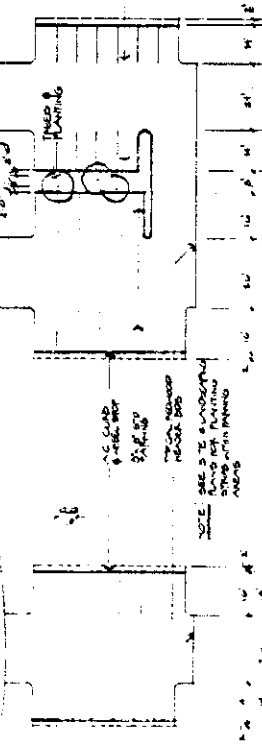
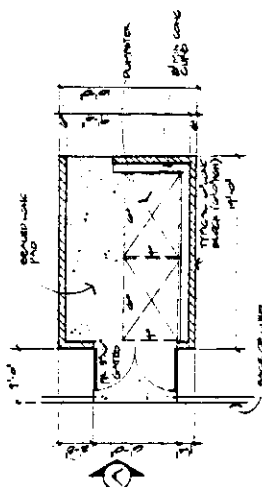
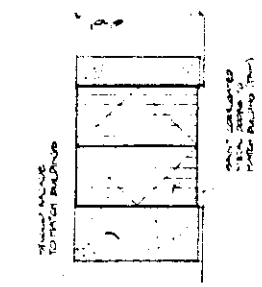
TYPICAL TRASH ENCLOSURE PLAN

TYPICAL TRASH ENCLOSURE PLAN

TOTAL GRASS PARKING 1,000



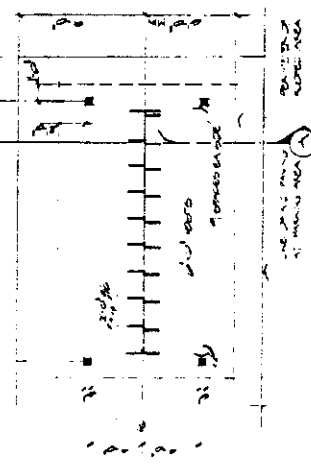
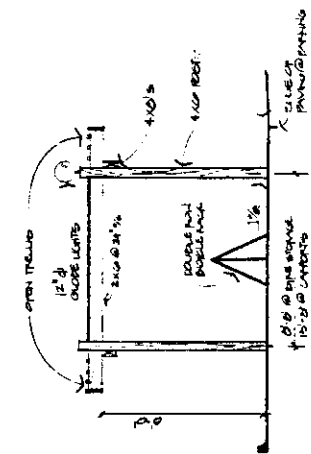
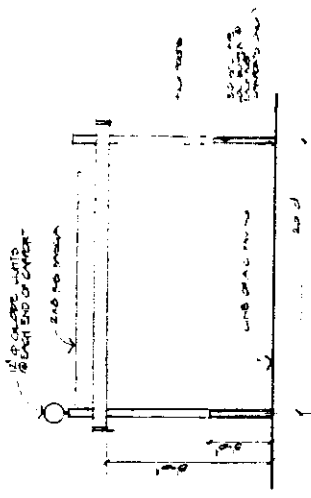
TOTAL GRASS PARKING 1,000



TYPICAL TRASH ENCLOSURE ELEVATION

TYPICAL TRASH ENCLOSURE ELEVATION

TOTAL GRASS PARKING 1,000



TYPICAL TRASH ENCLOSURE ELEVATION

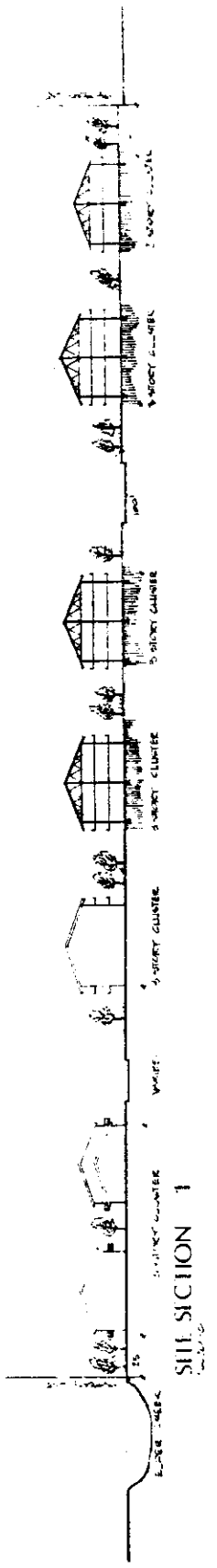
TYPICAL TRASH ENCLOSURE ELEVATION

TOTAL GRASS PARKING 1,000

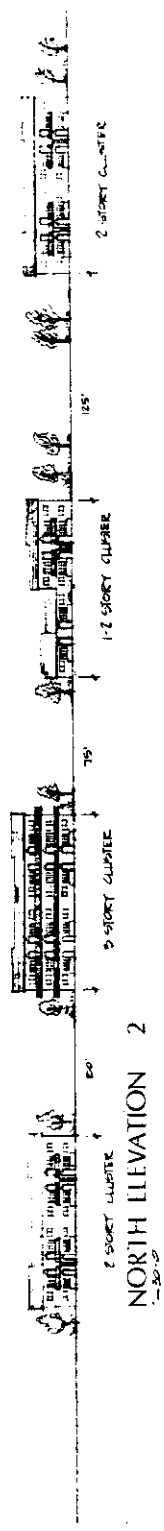
SITE/CLUSTER DETAILS

Architectural details and specifications for site/cluster elements.

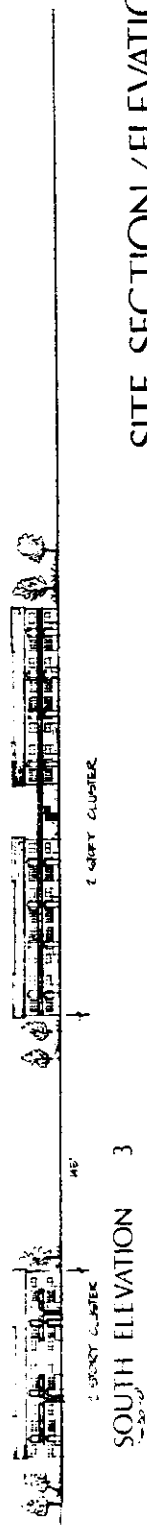
GENERAL PLAN



SITE SECTION 1



NORTH ELEVATION 2



SOUTH ELEVATION 3

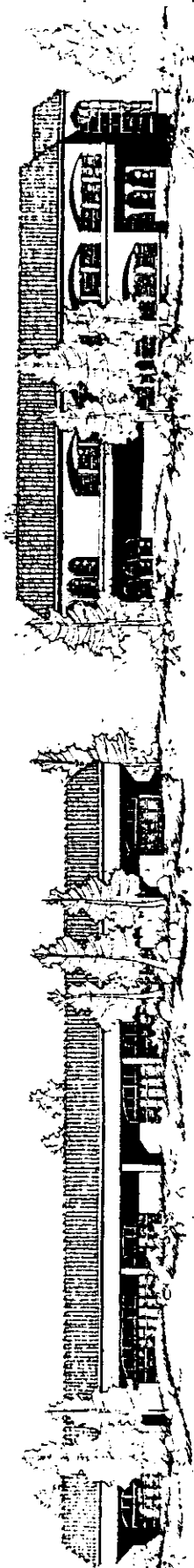
SITE SECTION/ELEVATIONS

11.14
 11.15
 11.16



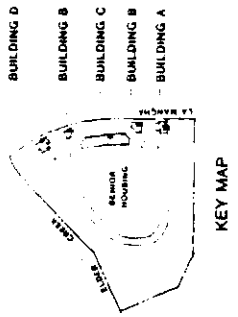
A. RESTAURANT

B. GENERAL COMMERCIAL



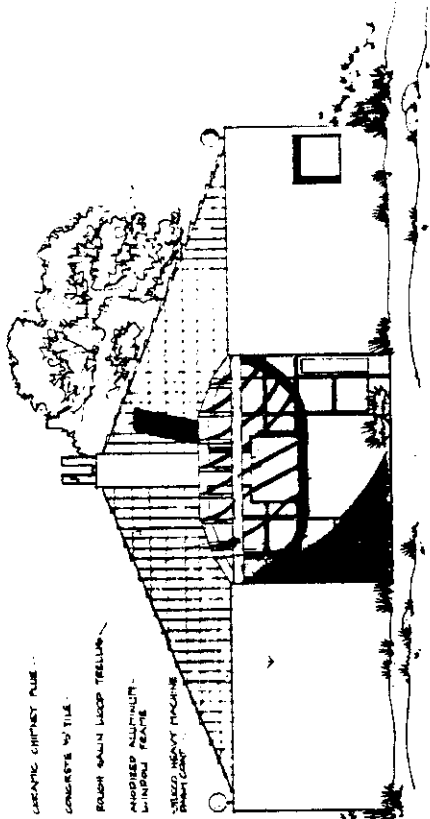
C. GENERAL COMMERCIAL

D. OFFICES



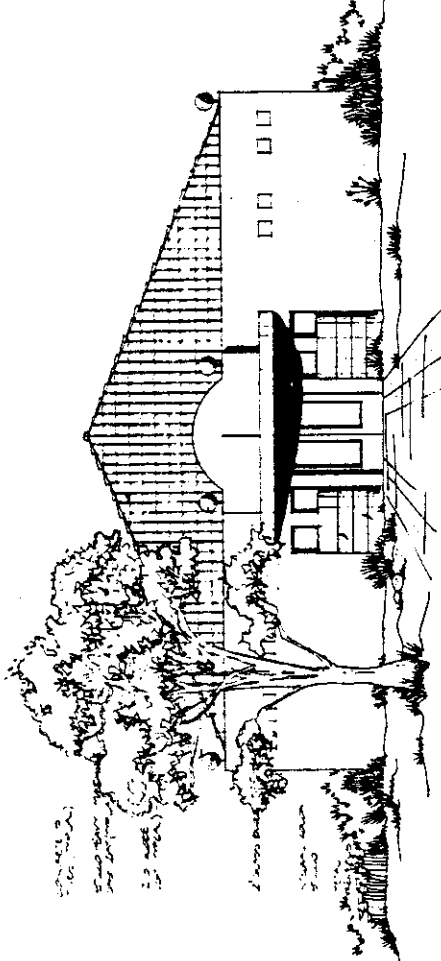
ARCHITECTURE + COMMERCIAL
CREEKSIDE VILLAGE
 A PLANNED DEVELOPMENT BY MEDICI EQUITIES

FLORIAN
 ASSOCIATES
 ARCHITECTS
 1000 N. W. 10th Ave.
 Suite 1000
 Ft. Lauderdale, FL 33304
 Phone: (305) 555-1100
 Fax: (305) 555-1101

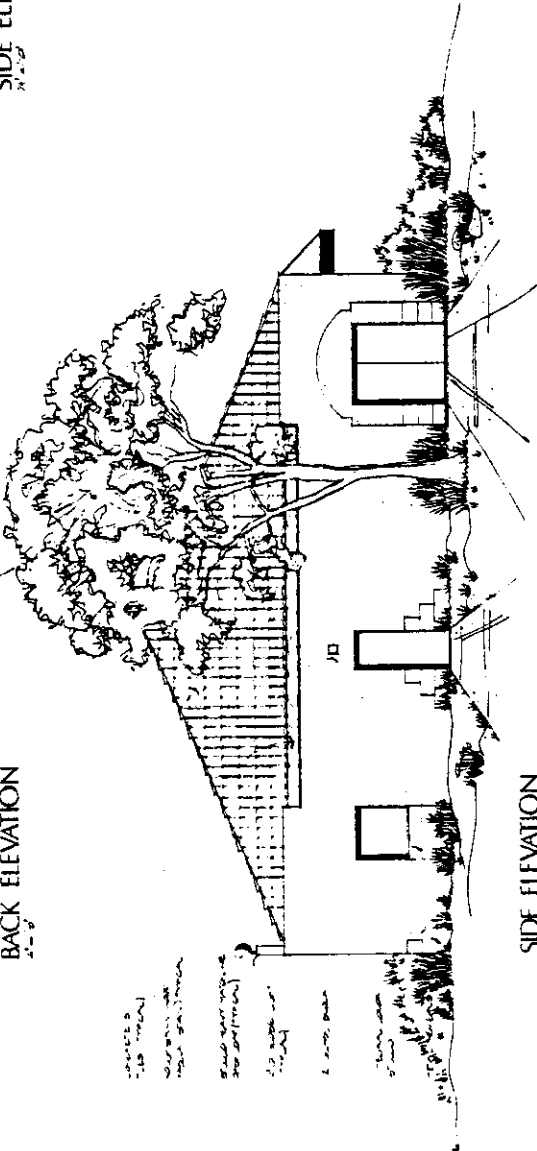


CERAMIC CHIMNEY FLUE
 CONCRETE W/ TILE
 BRUSH OAK W/ LOOP TRILLIUM
 HANDRAILED ALUMINUM
 CROWN MOULDING
 STAINED HEAVY FINISHING
 PLYWOOD

SIDE ELEVATION (SPA VIEW)

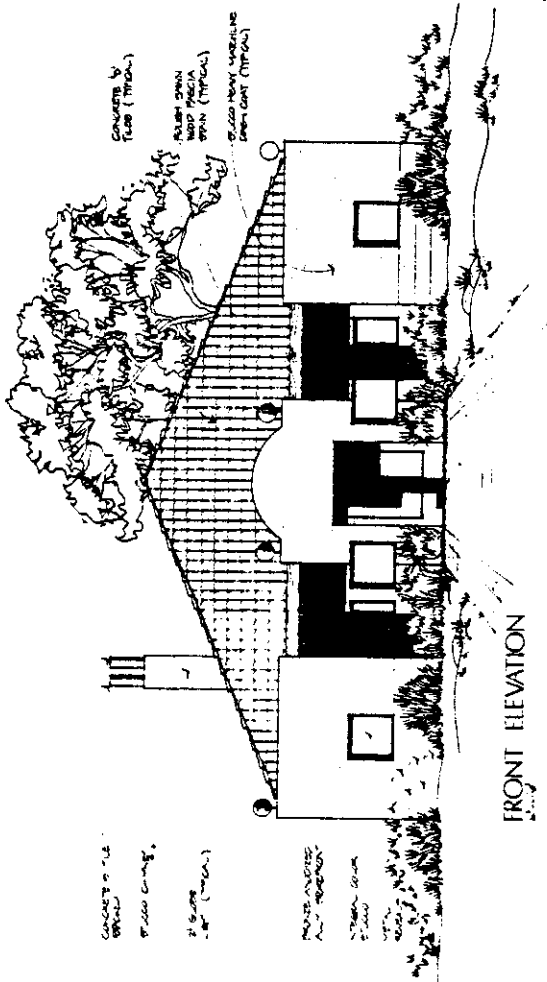


BACK ELEVATION

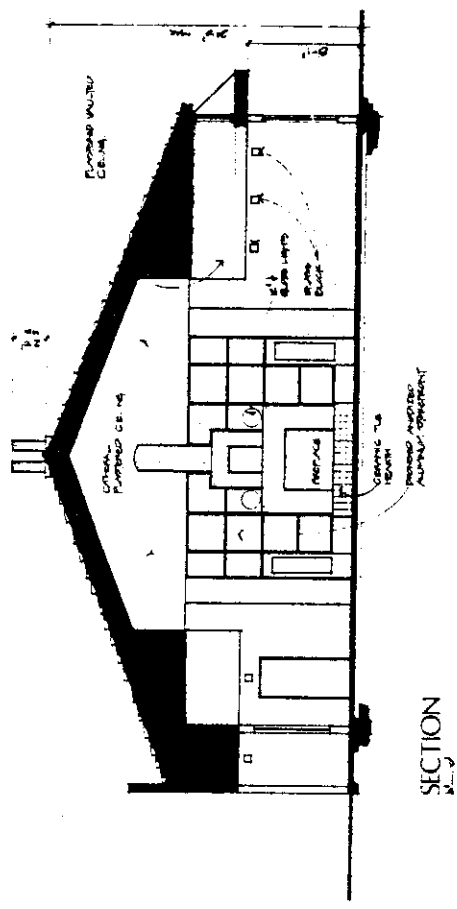


SIDE ELEVATION

1/1/84



FRONT ELEVATION



SECTION

CONCRETE ON F.L.
WALLS
2" STUCCO
W/ 1/4" TYPICAL

WOOD SHINGLES
W/ 1/4" TYPICAL

1 1/2" WOOD SHINGLES
W/ 1/4" TYPICAL

CONCRETE ON F.L.
W/ 1/4" TYPICAL

WOOD SHINGLES
W/ 1/4" TYPICAL

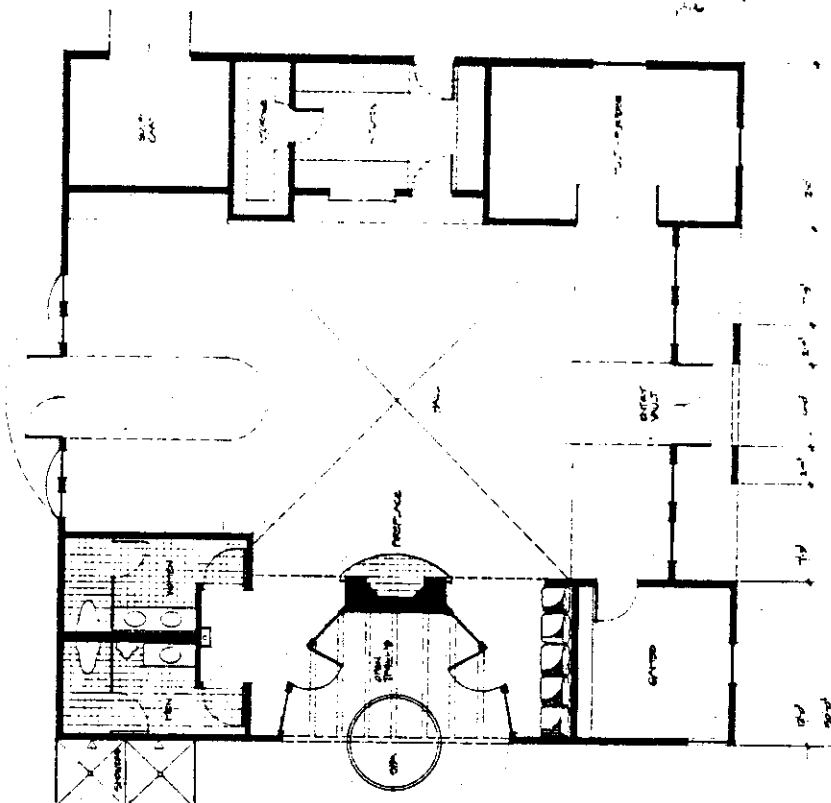
2" STUCCO
W/ 1/4" TYPICAL

WOOD SHINGLES
W/ 1/4" TYPICAL

WOOD SHINGLES
W/ 1/4" TYPICAL

WOOD SHINGLES
W/ 1/4" TYPICAL

WOOD SHINGLES
W/ 1/4" TYPICAL



FLOOR PLAN

RECREATION CENTER

DATE 4/12/84
DRAWN BY
CHECKED BY

Attachment A

APRIL 12, 1984

CREEKSIDE VILLAGE PLANNED
UNIT DEVELOPMENT GUIDELINES

CITY PLANNING DEPARTMENT FILE NO. P84-414

PURPOSE AND INTENT

Creekside Village is being created as a planned unit development designed primarily for elderly housing and supportive commercial and office uses. It is intended that these guidelines provide for an interrelated total environment which utilizes a common theme. All development within the PUD shall be in general conformance with the approved schematic plan (See Exhibit _).

The following general objectives are set forth to provide an initial basis for project review.

- o To provide adequate natural light, pure air and safety from fire and other dangers.
- o To enhance the value of land and structures within and adjacent to the project.
- o To minimize congestion due to vehicular and pedestrian circulation within the project area.
- o To preserve and enhance the aesthetic values throughout the project.
- o To promote public health, safety, comfort, convenience and general welfare.

These guidelines are intended to act as a supplement to existing City Ordinances and shall prevail when more specific than the City Ordinance. Any amendments hereto can only become effective upon approval by the Planning Commission of the City of Sacramento.

PERMITTED USES

Residential Uses: The portion of the schematic plan which indicates residential land uses shall be utilized for elderly housing only not to exceed 36 units per net acre. If a non elderly housing project is proposed the maximum density shall not exceed 29 units per gross acre.

Commercial and Office Uses: The portion of the schematic plan which indicates commercial or office uses shall be permitted those uses normally allowed in the Limited Commercial (C-1) zoning district. The intent of this commercial and office area is to provide services for the elderly housing project. Drive-thru restaurants shall not be permitted within the PUD.

PROCEDURES FOR APPROVAL

Development of parcels in PUDs are subject to special permit approval by the City Planning Commission. Special permit development plans shall be in conformance with the schematic plan approved by the City Council.

A preliminary review of special permit applications may be required when the City determines that such review, by City, County, State and other agencies, is essential to a thorough review.

Drawing Check List

- o Names and addresses of builder, contractor, developer, etc.
- o Project site plan with dimensions taken from signed record plan.
- o Location of existing and proposed buildings.
- o All submissions must include topography showing existing grades at one foot intervals with spot elevations as required to clarify drawings; also, show building corner elevations and floor elevations.
- o Proposed landscaping, including automatic irrigation system.
- o Building elevation to include height to top plate and top of roof.
- o Street names and right-of-way widths.
- o Locations and details of temporary and permanent signs.
- o Temporary and permanent fences.
- o Easements and right-of-ways.
- o Pipes, berms, ditches, swales, retaining walls.
- o Driveways, parking areas, traffic patterns, pathway and lighting, existing and proposed.
- o Locations and details of benches and patios.
- o Exterior storage and screening devices for trash, mechanical equipment and meters.

- o Light poles and transformers with height and type indicated.
- o Sewer alignments and location of manholes and inverts.
- o Show existing inlets and top of plate elevations, if any.
- o Roof projections and screening treatment.
- o Land coverage: four ratios
 - Building pad area and percent of total lot coverage.
 - Landscaped area and percent.
 - Paved other area and percent.
- o Dimensions for typical parking stalls and maneuvering areas, indicating setbacks of buildings, building separation, etc.
- o Bars scales on all plans.

ENVIRONMENTAL STANDARDS

General

The role of landscaping in the development is exceptionally important. Landscaping provides a pleasing visual continuity to the development, softens the visual impact of building structures, and ensures the area will be an attractive place to visit.

Each building site shall be planted and maintained at the cost of the building owner or lessee. The entire area between the street curb line and the building (or parking) setback line - exclusive of walks, drives and approaches - shall be landscaped. Landscaping of traffic islands, entryways and landscape strips along the building itself are strongly encouraged. Emphasis will be placed on mounds and berms in the street-front area. The main landscape elements shall be sod lawns (at least two-thirds of the total area), specimen trees and low shrubs.

The property owner or lessee shall install automatic sprinkler equipment and hose bibs for maintenance of the landscaping. Continuous professional maintenance is required.

Landscape Requirements

The role of landscaping as a common element to unify the overall PUD cannot be overstated. It is essential that all landscaping

be in accordance with these requirements and of a common palette of materials from site to site.

Minimum Landscaping Coverage per Project in PUD: All landscaping referred to in this section shall be maintained in neat and orderly fashion. Minimum landscape coverage percentage for property within the PUD and for any project within the PUD shall be 25 percent.

Front Yard Setback Area: Landscaping in these areas shall consist of an effective combination of trees, ground cover, and shrubbery.

Side and Rear Yard Setback Area: All unpaved areas not used for parking and storage shall be landscaped utilizing ground cover and/or shrubbery and tree material. Undeveloped areas proposed for future use shall be maintained in a reasonably weed-free condition but need not be landscaped. Boundary landscaping is required on all interior property lines with a minimum of four feet on each property.

Said areas shall be placed along the entire breadth of these property lines (except for interconnecting roadways) or be of sufficient length to accommodate the number of required trees. Trees shall be planted in the above defined areas in addition to required ground cover and shrub material.

Public Road Frontage: The major treatment for all such setback areas shall be lawn and trees. The public road frontage is to have a minimum setback of twenty-five (25) feet of landscaped setback. At least two-thirds of the ground cover treatment within landscaped areas shall be lawn.

Irrigation: All landscaped areas should be irrigated with automatic underground irrigation systems.

Special Features

Pedestrian Circulation: Pedestrian circulation will be based primarily on the standard public sidewalks. Secondary walkways will connect adjacent buildings and abutting properties through the boundary landscaping.

Parking Standards

- o The intent of these standards is to provide adequate off-street parking to accommodate all parking needs of the site.

- o Required parking:
 - Elderly Housing: A minimum parking ratio of .9 spaces per dwelling unit shall be utilized for elderly housing projects. Other residential projects shall require a minimum ratio of 1.5 spaces per unit.
 - Commercial and Office Uses:
 1. One (1) space shall be provided for each 400 square feet of gross floor area for general office space.
 2. One (1) space shall be provided for each 250 square feet of gross floor area for retail and general commercial space.
 3. One (1) parking space shall be provided for each three seats for restaurant uses.
 - Medical Office: One (1) space shall be provided for each 200 square feet of gross floor area.
- o Curbs, walls, decorative fences with effective landscaping or similar barrier devices shall be located along the perimeter of parking lots, garages, and storage areas, except at entrances and exits indicated on approved parking plans. Such barriers shall be so designated and located to prevent parked vehicles from extending beyond property lines of parking lots and garages or into yard spaces where parking is prohibited and to protect drainages from parking lots.
- o Minimum dimension shall correspond to standards provided in the City Zoning Ordinance. As permitted in the zoning ordinance, the front two feet of all stalls, the area into which the vehicle bumper overhangs, shall be incorporated into the adjacent landscape or walkway improvements, resulting in a net decrease of two feet of the required surfaced depth of the parking stall. No individual prefabricated wheel spot will be permitted, except to protect buildings or other structures, trees, signs, etc., but in no instance shall they be used in lieu of a raised concrete curb. A continuous six-inch raised concrete curb shall be provided along all landscaped areas abutting parking or drives.
- o Curbs and drives shall be constructed in accordance with the requirements of the City of Sacramento.

- o Parking plans for each tenant improved land parcel shall be intergrated with adjacent land parcels to afford maximum interior circulation, except where security and/or privacy is deemed necessary.

Exterior Lighting

- o The exterior fixtures shall be compatible throughout the entire development.
- o Lighting shall be designed in such a manner as to provide safety for the occupants of the development and the general public.
- o The lighting design shall be such as not to produce a hazardous or annoying glare to motorists, building occupants, adjacent residents or the general public.
- o The lighting shall be oriented away from the Properties adjacent to the PUD.
- o The recommended minimum lighting intensities, in foot-candles, shall be as follows:

Entrance Driveways	3 Foot-Candles
Parking Areas	1 Foot-Candles

Environmental Pollutants

- o Every use shall conform to the regulations of the Air Pollution Control District, County of Sacramento Health Department and these regulations, and shall serve as minimum guidelines or determining permissible emissions.

BUILDING STANDARDS - COMMERCIAL AND OFFICE

Buidling Setback

- o Minimum 25-foot street setback for all buildings shall be provided.

Building Height

- o The building height shall be limited to 35 feet.

Exterior Wall Materials

- o The purpose and intent of this section is to encourage, not restrict, the creative and innovative use of

materials and methods of construction, and to prevent indiscriminate and insensitive use of materials and design.

- o Finish building materials shall be applied to all sides of a building which are visible to the general public and occupants of the same and other buildings.
- o Concrete block or concrete tiltup walls, exposed to the exterior shall not be acceptable to any purpose or use.
- o The effect of a material used on a building shall be considered in relationship to all other buildings in the development and shall be compatible with other buildings. The use of stucco for walls and clay tile roofs is encouraged for the proposed commercial and office building.
- o The common architectural theme shall consist of Mediterranean/Spanish revival.

Colors

- o All colors shall be harmonious and compatible with colors of other buildings in the development and the natural surroundings.
- o The general overall atmosphere of color shall be natural tones. Wood, natural stone, brick, natural clay tile, aluminum finishes, etc., shall be the background colors. Accent colors shall be used whenever necessary, but shall be subject to review and approval by the City Planning Department.
- o Projections shall be painted or screened to match roof or building.

Garbage, Loading Dock, and Other Services Screening

- o These elements shall be so located as to cause no nuisance to the general public, occupants of the same and other buildings.
- o They shall be located in the most inconspicuous manner possible. The project applicant shall coordinate with the utility companies in the location of utility company equipment. Equipment shall be screened from street view. Access doors shall face away from the street. Placement of detached utility boxes shall be indicated on required special permit plans.

- o All garbage and refuse shall, if not contained and concealed within the building, be concealed by means of a screening wall of a material similar to and compatible with that of the building.
- o These facilities shall be intergral with the concept of the building planning and in no way attract attention because of their unplanned character.

Mechanical Equipment

- o All mechanical equipment, utility meters and storage tanks shall be located in such a manner so as not to be visible to the general public.
- o If concealment within the building is not possible, then such utility elements shall be concealed by screen.
- o Penthouses and mechanical equipment screening shall be of a design and materials similar to and compatible with those used in the related buildings.
- o Underground utility lines throughout the project shall be required.
- o All mechanical equipment shall be located in such a manner so as not to cause nuisance or discomfort from noise, fumes, odors, etc.

Exterior Fire Stairs

Non-enclosed, exterior fire stairs in no case shall be permitted.

Temporary Structures

- o The only temporary structures permitted shall be those attendant to the construction of a permanent building.
- o Such structures shall be placed as inconspicuously as possible and cause no inconvenience to the general public.

Walkway Materials

Materials selected for walks shall be related to the materials of the buildings and compatible with existing concrete walk and path system standards. Surface shall be non-skid finish. Layout and design shall provide maximum comfort and safety to pedestrians. Asphalt paved walk and pathways are not permitted.

Sign Regulations

There are three main elements which greatly influence the attractiveness of the planned unit development - the first two are the landscaping treatments and the buildings - the third equally important consideration is the sign program. The size, location and color of signs identifying the building occupant will be carefully monitored.

These regulations are intended to complement the City of Sacramento Sign Ordinance. In all cases, the most restrictive requirements shall apply.

No sign, either attached or detached, shall be permitted if that sign would be visible from adjacent residential properties.

o Identification signs:

- For each occupancy two signs indicating only the name and nature of the occupancy. The total area for all such signs shall not exceed one square foot of sign area for each front foot of building occupancy.
- Attached signs shall not exceed the following specifications:
 1. The horizontal dimension of signs shall not exceed fifty percent (50%) of the building frontage nor be greater than twenty-five feet, whichever is less.
 2. The total area of any one sign shall be no greater than ten percent (10%) of the total area of the building face to which it is attached or 100 square feet, whichever is less.

o General provisions:

- A sign plan shall be submitted with each individual project Special Permit application to the City.
- No moving or flashing sign will be permitted.
- The wording of the signs shall not describe the products sold, prices or any type of advertising, except as part of the occupant's trade name or insignia.
- All signs shall comply with Section 3.192(c) which sets forth specific requirement relative to signage within 660 feet of a freeway.

- No signs shall be permitted on canopy roofs or building roofs.
- No sign or any portion thereof shall project above the building or top of wall upon which it is mounted.
- No signs which are perpendicular to the face of the building shall be permitted, except for under canopy signs.
- The location of signs shall be only as shown on the approved improvement plan.
- Painted lettering will not be permitted.
- All electrical signs shall bear the UL label, and their installation must comply with all local building and electrical codes.
- No exposed conduit, tubing or raceways will be permitted.
- All conductors, transformers and other equipment shall be concealed.
- All signs, fastenings, bolts and clips shall be of hot-dipped galvanized iron, stainless steel, aluminum, brass or bronze, and no black iron of any type will be permitted.
- No labels or other identification will be permitted on the exposed surface of signs, except those required by local ordinance, which shall be located in an inconspicuous location.
- Each occupant will be permitted to place upon each entrance to its premises not more than 144 square inches of lettering, not to exceed two inches in height, indicating hours of business, emergency telephone numbers and proprietorship. No other window signs will be allowed. Lettering and materials shall be gold leaf or decal application.
- Each occupant who has a door for receiving merchandise may have a uniformly applied sign in two-inch-block letters indicating the occupant's name and address. Where more than one occupant uses the same door, each name and address may be applied.

- Occupants may install street address numbers as required by the U. S. Post Office.
- Informational and directional signs relating to pedestrian and vehicular flows within the development shall conform to the standards of the City Sign Ordinance.
- One sign denoting the name of the project, the marketing agent, the contractor, architect and engineer shall be permitted until such time as the first building is fit for occupancy.
- A sign advertising the sale or lease of the building or lease of tenant space shall be permitted, but shall not exceed 6 square feet.

BUILDING STANDARDS - RESIDENTIAL

General Building Design and Orientation

- o The monotony of straight building lines of all units shall be remedied through limiting the size of individual buildings or units, staggering of units, variation of exterior building materials on adjacent units, use of intensive landscaping, or other methods.
- o All mechanical equipment (including public utility boxes and particularly exterior wall mounted air conditioning units) shall be attractively screened.
- o Buildings shall be designed and oriented to reduce over-view of private areas and windows from second story units.
- o Accessory structures shall be compatible in design and materials with main buildings.
- o Communal facilities shall be centrally located.
- o Recreational facilities shall be located and/or designed so as not to impact adjacent properties.
- o Solar heating and cooling of units should be considered.
- o Site planning shall take into account optimum solar orientation of structures.
- o Site planning shall minimize the incidences of one building shading another.

- o Private garden areas shall be oriented to the south as much as possible.
- o Roofing materials shall be medium wood shake or equivalent aluminum, concrete, or other imitation shakes or tile, subject to Planning Director approval.
- o The location of second story end unit windows shall be varied from the typical plan when appropriate to reduce the incidence of overview into private first floor open space and parking areas, and to provide variety in exterior unit detailing.

Multiple Family Design Criteria

- o Off-street parking shall be provided at a ratio that adequately serves the needs of tenants and guests. The minimum ratio shall be 1.5 to 1 (this ratio may be reduced for projects designed strictly for the elderly). Six foot masonry walls are required on interim property lines between parking lot areas and existing or proposed residential development.
- o To discourage parking on the street, physical barriers such as landscaping, berming, or wall segments shall be incorporated into the project design.
- o Off-street parking shall be screened from the street by undulating landscaped berming with a minimum four foot height (as measured from either the parking surface or street sidewalk, whichever is higher).
- o Parking shall be screened from second story units by trees or lattice work.
- o The project shall comply with the 50% shading of surfaced areas requirement of the Zoning Ordinance.
- o Evergreen trees shall be used for screening purposes along the perimeter of the parking areas.
- o Particularly within large open lots, deciduous trees should be utilized to provide summer shading and winter sun.
- o To visually break up the long rows of parking, a landscaped planter with evergreen trees and a minimum width of five feet shall also be located after every tenth parking stall.

- o Parking stall depth can be reduced by two feet if the two feet gained shall be incorporated into adjacent landscaping or walkways.
- o For angled parking the triangular space at the head of each stall shall be landscaped (as a planter when abutting a sidewalk or incorporated into adjacent landscaped strips).
- o The more efficient 90 degree parking arrangement shall be utilized when possible so as to minimize parking lot size.
- o For the most part, double-loading of parking aisles should be utilized to minimize surfacing devoted to maneuvering area.

On-Site Circulation

- o Minimum pedestrian/vehicle conflict should be sought in driveway/walkway system design.
- o A display and unit location map shall be installed at each major driveway entrance and any major walkway entrance to the project as an aid to emergency personnel and a convenience to visitors.
- o Walkway location shall assure convenient access between parking and dwelling units.
- o Central pedestrian/bikepaths shall provide convenient access to bus stops, green belts and public facilities.
- o Pedestrian crossings shall be provided at appropriate locations along main drives and shall be accentuated by a change in surface texture.

Bicycle Storage

- o One bicycle parking facility is required for every ten (10) off-street parking required, excluding developments which provide individual enclosed garages.
- o Fifty percent (50%) of the required bicycle parking facilities shall be Class I. The remaining facilities may be Class I, Class II or Class III.
- o Bicycle racks and lockers shall be provided throughout the development.

Landscaping and Open Space

- o Landscape materials selected shall be:
 - Compatible with one another and with existing material on the adjacent site.
 - Complimentary to building design and architectural theme.
 - Varied in size (one and five gallon shrubs, five and 15 gallon, and 24 inch box trees).
- o Landscape treatment shall include:
 - Lawn areas shall be established by sodding or hydro-mulching when conditions such as excessive gradient, anticipated seasonal rain, etc., may result in erosion or other problems.
 - Larger specimens of shrubs and trees along the site periphery.
 - Greater intensity of landscaping at the end of buildings when those elevations lack window and door openings or other details that provide adequate visual interest. This is especially significant at the street frontage and interior side and rear property lines and for two story structures.
 - Consistency with energy conservation efforts.
 - Trees located so as to screen parking areas and private first floor areas and windows from second story units.
 - Undulating landscaped berms located along street frontage and achieving a minimum height of four feet measured off of the street sidewalk or the adjacent building pad or parking lot, whichever is higher.
 - Deciduous trees shall be utilized along the south and west facing building walls to allow solar access during the winter.
- o Landscaping of parking areas is discussed in Section B.

Trash Enclosures

- o The walls of the trash enclosure structure shall be constructed of solid masonry material and the exterior surface finished in a manner compatible with the main residential structures.
- o The trash enclosure structure shall have heavy gauge metal gates and be designed with can bolts on the doors to secure the gates when in the open position.
- o The walls shall be a minimum six feet in height, more if necessary for adequate screening.
- o The perimeter of the trash enclosure structure shall be screened with landscaping, including a combination of shrubs and/or climbing evergreen vines.
- o The enclosures shall be adequate in capacity, number, and distribution.

Personal Safety Design Criteria

- o Dead Bolt Locks. The following shall be minimum requirements for deadbolt locks: 1) bolt shall have throw of at least one (1) inch, 2) bolt shall be constructed so as to repel cutting tool, and 3) any additional requirements as required in the Uniform Building Code.
- o Adequate indoor and outdoor lighting systems. Open parking lots and carpots shall be provided with a maintained minimum of one (1) foot-candle of light on the parking surface from one-half hour before sunset until one-half hour after sunrise. Lighting devices shall be protected by weather and vandalism-resistant covers. Lighting shall be engineered so as not to produce direct glare or "stray light" on adjacent properties.

Aisles, passageways and recesses related to and within the building complex shall be illuminated with an intensity of at least twenty-five one-hundredths (.25) foot-candles at the ground level during the hours of darkness. Lighting devices shall be protected by weather and vandalism-resistant covers.

- o Building numbers and addresses shall be clearly visible from public and/or private access streets. All street numbers will be attached to the residence immediately

adjacent to a light source which is capable of illuminating the numbers. There shall be positioned at each entrance of the complex an illuminated diagrammatic representation of the location of the viewer and the unit designations within the complex. Where multiple dwellings are serviced by vehicular access to the rear through any driveway, alleyway, or parking lot, they shall also display the same numbers on the rear of the building.

- o Smoke detectors.
- o Solid core doors.
- o Separate attic space shall be accessible only from individual units.
- o Protection of roof openings.
- o Entry Vision. All main or front entry doors to dwelling units shall be arranged so that the occupant has a view of the area immediately outside the door without opening the door. Except for doors requiring a fire protection rating which prohibits them, such view may be provided by a door viewer having a field of view of not less than 180 degrees or through windows or view ports. Mounting height shall not exceed fifty-four (54) inches from the floor.
- o The residents' parking spaces shall be numbered and in such a manner that the space numbers do not correspond to the address or unit numbers of the residents for safety purposes.

ISSUANCE OF BUILDING PERMITS

Except as otherwise provided in the Special Permit, no building permit shall be issued for any building or structure until the plans have been reviewed by the Planning Director and it has been determined that the plans substantially conform to the Special Permit.

BUILDING OCCUPANCY

In accordance with Section 8 of the Zoning Ordinance, "no building or structure unit within a Planning Unit Development may be occupied until an inspection of the project has been made by the Planning Director to see that all conditions of the Special Permit have been complied with".

City Planning Commission
Sacramento, California

Members in Session:

- Subject:
1. Environmental Determination
 2. Rezone 16± vacant acres from Agriculture(A) and Highway Commercial (HC) to the Townhouse (R-1A) zone
 3. Tentative Map (Subdivision Ordinance)
 4. Special Permit to develop 56 zero lot line and 60 halfplexes (Sec. 7-C, Zoning Ordinance)
 5. Subdivision Modification to create reverse frontage lots (Sec. 40.326, Subdivision Ordinance)

Location: Southwest corner of Bell Avenue and Taylor Avenue

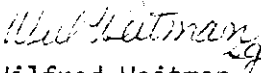
BACKGROUND INFORMATION: On March 22, 1984 the Planning Commission considered a request to develop 16 acres of land with 73 zero lot line lots and 38 halfplex lots on certain corners in the proposed project. On the southwest corner of the site the applicant proposed dividing two acres of vacant land for future commercial use. At that time, staff recommended denial of the project due to concern over the narrow lotting pattern and structure design. Staff also indicated concern over the proposed division of two acres on the southwest corner of the site for commercial purposes since the new North Sacramento Plan designates this site for residential (11-21 dwelling units per acre) use.

The applicant submitted a revised site plan at the public hearing along with modified building elevations. The Commission indicated that the proposed revisions, along with certain other changes, would adequately address concerns over appearance of this development. The Commission recommended the applicant revise the site plan by varying the front setbacks of the units, especially, along the west side of the street which runs north and south. The Commission also suggested that the applicant include three more of the larger housing type (Plan A) on the western side of the site. In addition, the Commission directed the applicant to prepare an additional elevation of the Plan B and C units and to submit landscape plans for the development. These revisions were to be submitted to staff for review and comments; therefore, the Commission continued the project for two weeks, at which time staff was to have developed conditions relating to the revised plans.

The applicant has completed the requested revisions; however, all of the revisions were not submitted to staff in adequate time to review these changes and develop the conditions that would be necessary to ensure that the project is developed as discussed by the Commission on March 22, 1984.

STAFF RECOMMENDATION: Staff recommends this request be continued to the April 26, 1984 meeting.

Respectfully submitted,


Wilfred Weitman
Senior Planner

SC:bw

P84-019

April 12, 1984

Item No. 9

