

PLANNING DIRECTOR'S SPECIAL PERMIT
1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT <u>Wendell B. Whitmore, 2487 41st Street, Sacramento, CA 95817</u>
OWNER <u>Wendell B. Whitmore, 2487 41st Street, Sacramento, CA 95817</u>
PLANS BY <u>WLS Construction consulting & Design, PO Box 19615, Sacramento, CA 95819</u>
FILING DATE <u>08-24-92</u> ENVIR. DET. <u>Exempt 15302(a)(2), 15303(a), 15205(a)</u> REPORT BY <u>Jeanne Corcoran</u>
ASSESSOR'S PCL. NO. <u>014-0063-018</u>

APPLICATION: A. Planning Director's Special Permit to expand a non-conforming structure by adding a 325± square foot addition and a 156± square foot deck to an existing 1,209± square foot dwelling with a 3 foot street side yard setback on 0.10± developed acres in the Standard Single Family (R-1) zone.

LOCATION: 2487 41st Street
 (District 5)

PROPOSAL: The applicant is requesting the necessary entitlements to construct an addition to a house with an established setback of 3 feet on the street side yard.

PROJECT INFORMATION:

General Plan Designation: Low Density Residential (4-15 du/ac)
Existing Zoning of Site: R-1
Existing Land Use of Site: Single Family Residential

Surrounding Land Use and Zoning:		Setbacks:	Required	Provided
North:	Residential; R-1	Front:	25'	18' (existing)
South:	Residential; R-1	Side(Int):	5'	8'
East:	Residential; R-1	Side(St.):	12.5'	3'
West:	Residential; R-1	Rear:	15'	35'

Parking Required: 1
Parking Provided: 1
Property Dimensions: 40' X 116'
Property Area: 0.10± acres
Square Footage of Building: 1,209± sq. ft. (existing house)
 240± sq. ft. (existing garage)
 325± sq. ft. (proposed addition)
 156± sq. ft. (proposed deck)
Height of Building: 22' (1 story)

APPLC. NO. P92-235

Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Exterior Building Materials:	Cedar shake siding
Roof Materials:	Composition

Project Evaluation: Staff has the following comments:

A. Land Use and Zoning

The subject site consist of one lot totaling 0.10 \pm developed acres in the Standard Single Family (R-1) zone. The site is developed with a 1,209 \pm square foot house and a detached 240 \pm square foot garage. The General Plan designates the site as Low Density Residential (4-15 du/ac). The surrounding land use and zones are single family residential, R-1 to the north, south, east and west.

B. Applicant's Proposal

The applicant is proposing to construct a 325 \pm square foot addition with a 156 \pm square foot deck at the rear (east) of the home. The addition will consist of a nook and the expansion of a bedroom which will become the master bedroom and bath. A redwood deck and rail will be constructed off the rear of the house. An existing detached garage (240 \pm sq. ft.) is located at the rear of the site, 12 inches from the rear (east) property line. The attached deck will be 16 feet from the garage.

The existing house is located three feet from the street side (south) property line. The Zoning Ordinance requires structures to provide a 12.5 foot street side setback from the property line, thus making this structure non-conforming. The plans indicate that the house will be expanded to the rear (east), however, the addition and the deck will be located five feet from the street side yard property line. Therefore, a Planning Director's Special Permit is required to expand the non-conforming structure.

C. Staff Evaluation

Staff has no objections to the applicant's request. The proposed addition along the south property line will not project further into the existing three foot street side yard setback established by the existing house. All other setbacks will be maintained and the lot coverage will not exceed 40 percent. Futhermore, there are other homes in the neighborhood with similar existing setbacks.

The proposed building materials will be cedar shake siding with a composition roof, which will match the existing residence. The subject site is located in the Oak Park Design Review area, therefore the addition will be subject to review by the Design Review staff prior to issuance of building permits. The applicant has filed a Design Review application DR92-270.

D. Neighborhood and Agency Comments

The adjacent property owners have been notified of the applicant's proposal. Staff has received no objections and one comment in support of this project.

The plans were reviewed by Traffic Engineering, Engineering Division-Development Section, Building Inspections, Flood Control & Sewer Division, Water Division and SHRA. The following comments were received:

Engineering Division - Development Section

Notice: Property to be developed in accordance with this special permit may be subject to flooding. Interested parties should ascertain whether and to what extent such flooding may occur. The applicable base flood elevations for the property should be reviewed. Base flood elevations are contained in the U.S. Army Corps of Engineers Flood Insurance Study Working Map for the Sacramento Community, dated January 1989, available for review at the City of Sacramento's Public Works Department, Development Services Division, Room 100, 927 10th Street.

This project is located within an area of the City which is serviced by a combination sewer and drainage system. The applicant may be required to share in the costs for improvements needed to upgrade the combination system.

Environmental Determination: This project is exempt from environmental review pursuant to State EIR Guidelines (CEQA Section 15302(e)(2), 15303(e), 15205(a)).

Recommendation: Staff recommends the Planning Director approve the Special Permit subject to conditions and based upon findings of fact which follow:

Conditions

1. The addition shall not encroach closer than five feet to the street side yard (south) property line.
2. The plans shall be reviewed by the Design Review staff prior to issuance of building permits.
3. The addition for which this special permit is approved shall be under construction within two years of the Planning Director's approval. If the addition is not constructed within the two year period, the special permit shall be deemed to have expired. A special permit time extension for one year may be requested, in writing, 30 days prior to expiration.

Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that the proposed project will not alter the residential character of the neighborhood.

2. The project, as conditioned, is not detrimental to the public health, safety or welfare nor to the neighboring properties in the vicinity, in that the present street side yard setback along the south property line is three feet.
3. The project, as conditioned, is consistent with the City's General Plan which designates the site as residential.

Report Prepared By:

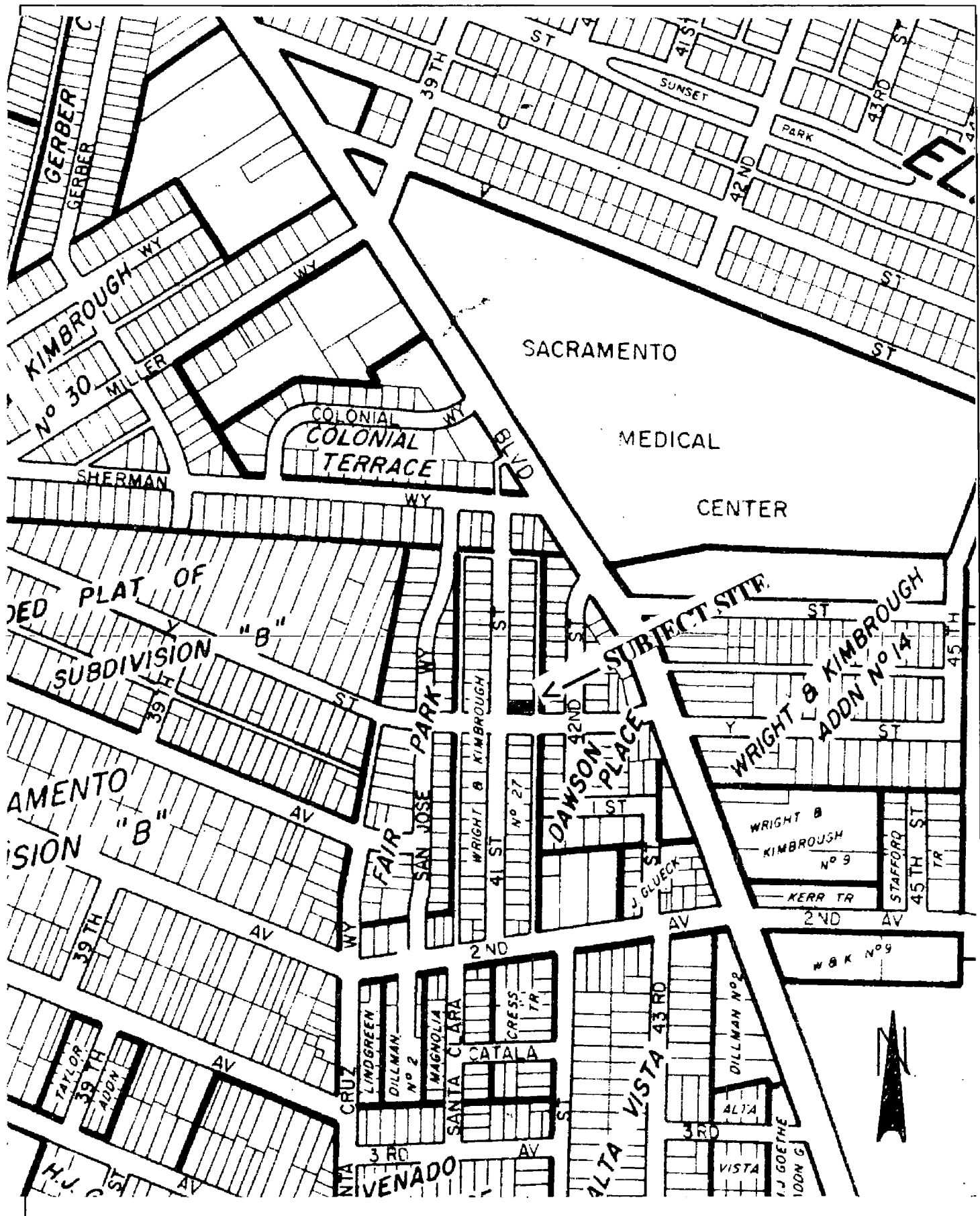
Jeanne Corcoran
Jeanne Corcoran, Assistant Planner

9-23-92
Date

Recommendation Approved By:

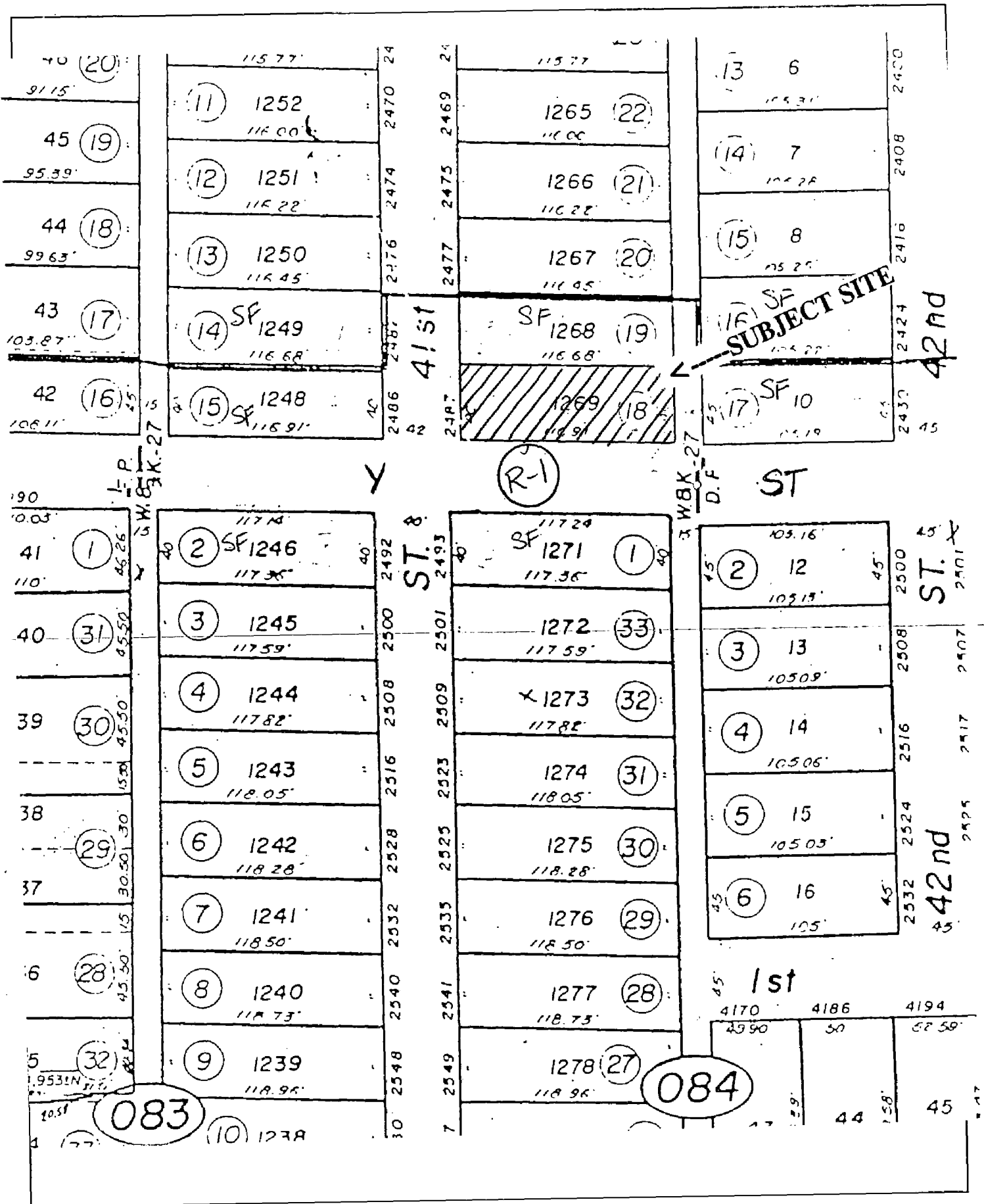
Gary Stonehouse
Gary Stonehouse, Planning Director

9-23-92
Date

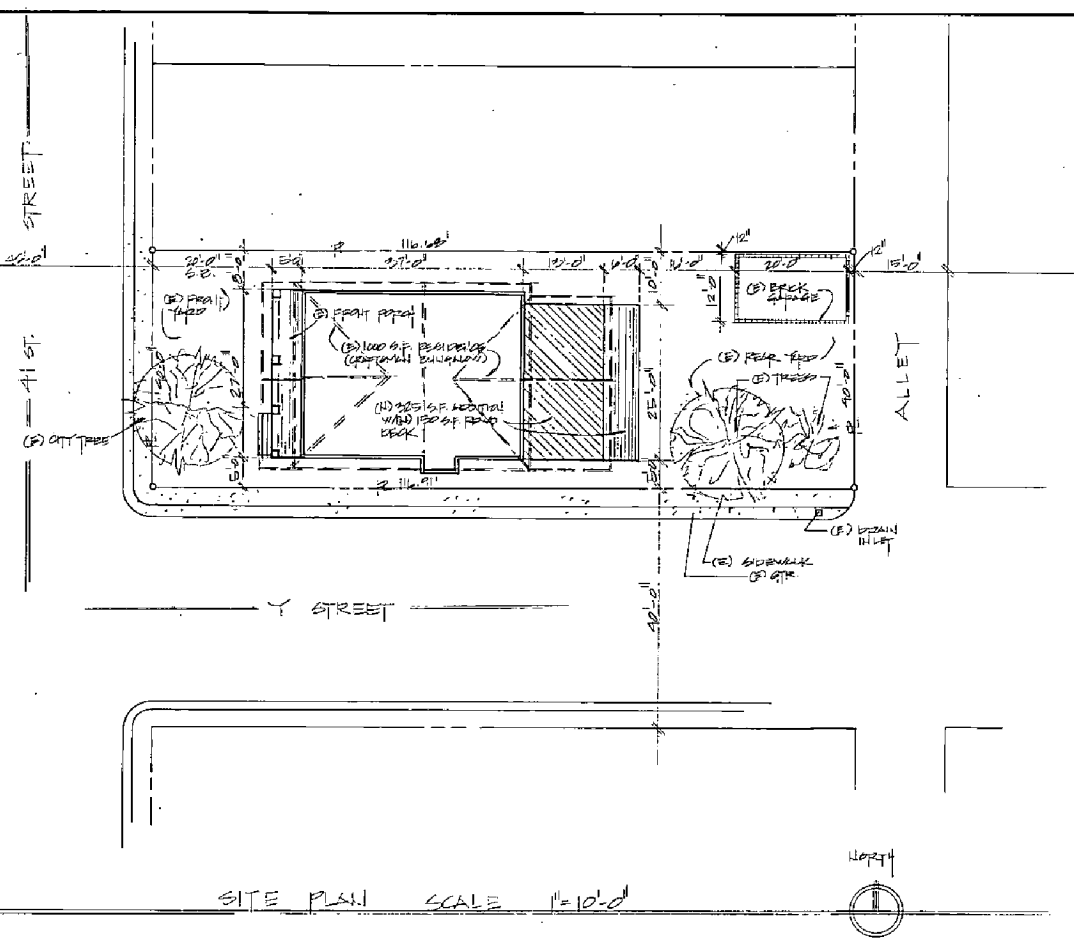


Vicinity Map

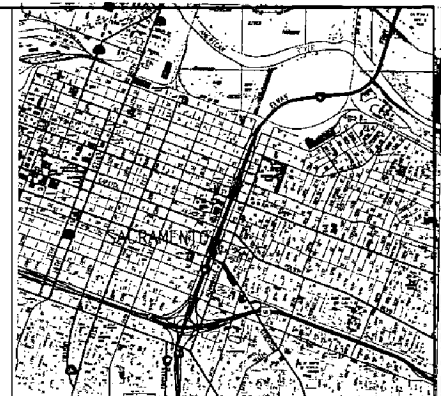
2161



PGP-235



SITE PLAN SCALE 1"=10'-0"



SHEET INDEX

ARCHITECTURAL	
SHEET	DESCRIPTION
A1	SITE PLAN, ELEVATIONS, CODE SHEET
A2	NEW FLOOR PLAN, FLD. PLAN, C/L PLAN, ROOF PLAN
STRUCTURAL	
SHEET	DESCRIPTION
S1	BUILDING SECTIONS, DETAILS
SP	SPECIFICATIONS

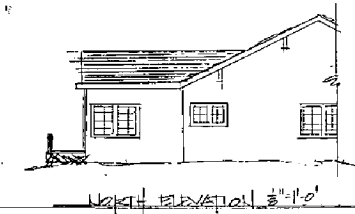
AREA STATISTICS

ADDRESS: 2407 41st. SAC. CA. 95817
 ZONING: R-1
 LPH: 01A-0043-018-
 EXIST. S.F.: 1000.00
 NEW S.F.: 320.00 DECK: 150.00
 TOTAL: 1320.00 SF. COVD. SPACE
 MIN. GLAZING: 50 SF.
 GLAZING RATIO TO ADD S.F.: 15%

GENERAL NOTES

- A. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT, LABOR, AND OTHER ITEMS NECESSARY FOR THE COMPLETION OF THE WORK DESCRIBED ON THESE DRAWINGS.
- B. ALL MATERIAL WORKMANSHIP SHALL CONFORM TO THE LATEST U.B.C., I.E.C., U.P.C., I.F.C., O.S.H.A., LOCAL BUILDING CODES, AND CONSTRUCTION INDUSTRY STANDARDS.
- C. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, NOTES, DETAILS, AND OTHER RELATED ITEMS FOR THIS PROJECT AND REPORT ANY DISCREPANCY OR INCONSISTENCY AND/OR OMISSION TO THE DESIGNER PRIOR TO PROCEEDING WITH ANY WORK. IF CONFLICTS ARE FOUND, THE MOST STRINGENT CONDITIONS SHALL GOVERN.
- D. DRAWINGS MAY NOT ALWAYS BE TO SCALE. NOTED DIMENSIONS MAY SOMETIMES TAKE PRECEDENCE.
- E. AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR ALL CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF PERSONS AND PROPERTY.
- F. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL DEBRIS CAUSED BY THE CONTRACT WORK FROM THE PROPERTY AS IT ACCUMULATES. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE THE BUILDING FOR OCCUPANCY BY A THOROUGH CLEANING THROUGHOUT.
- G. THE CONTRACTOR SHALL PROVIDE SPECIAL INSPECTION FOR ALL ITEMS AS REQUIRED BY THE UNIFORM BUILDING CODE AND ANY OTHER AGENCIES HAVE JURISDICTION.
- H. THE CONTRACTOR SHALL PROVIDE ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS, BRACES, AND SHORING AS REQUIRED. THE CONTRACTOR SHALL PROVIDE ADEQUATE STAYS AND BRACING OF ALL BRACKING UNTIL ALL ELEMENTS OF DESIGN HAVE BEEN INCORPORATED IN THE PROJECT.

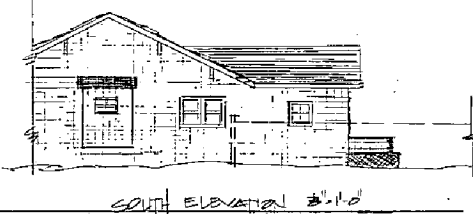
2183



NORTH ELEVATION 3/4"=1'-0"



EAST ELEVATION 3/4"=1'-0"



SOUTH ELEVATION 3/4"=1'-0"

REVISIONS	BY
55	WA

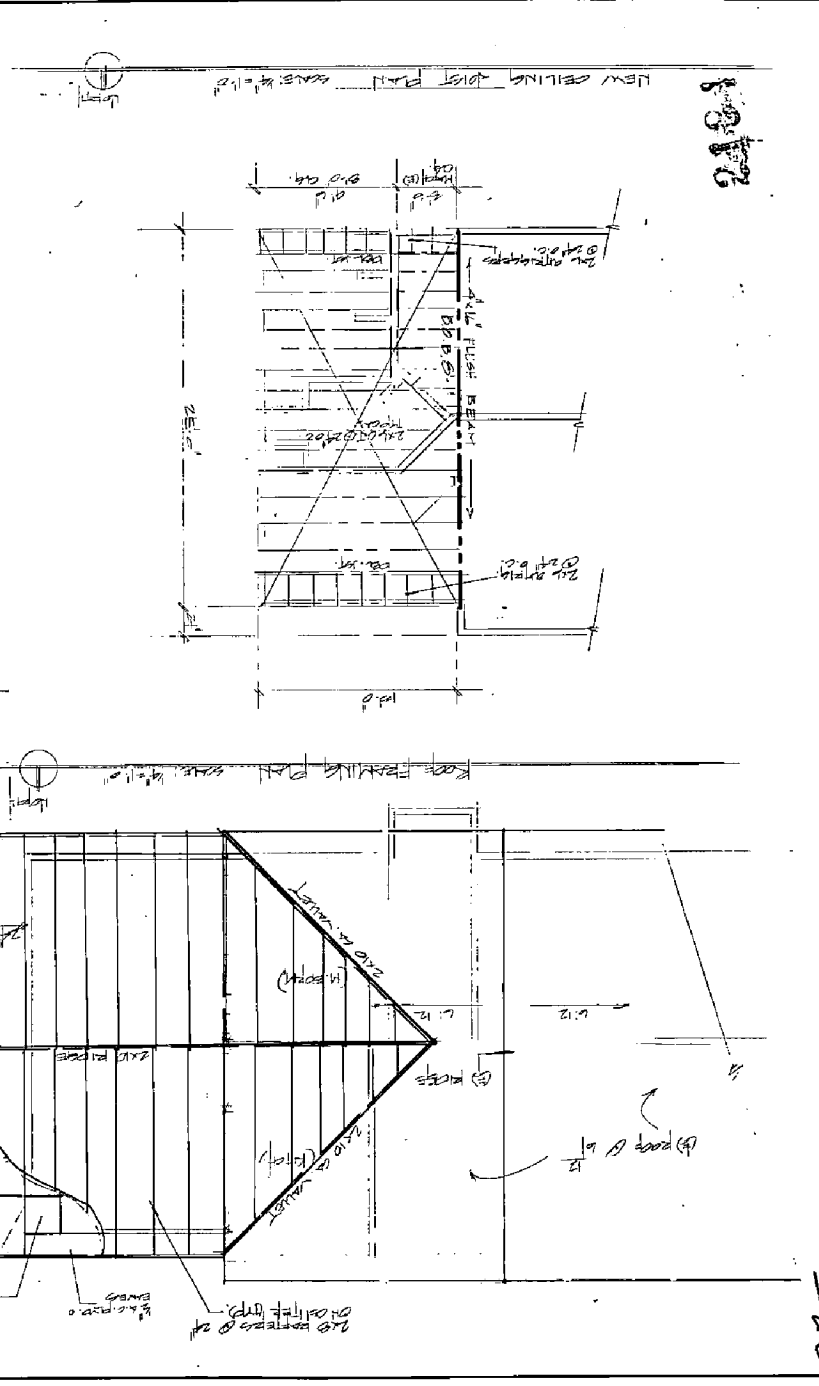
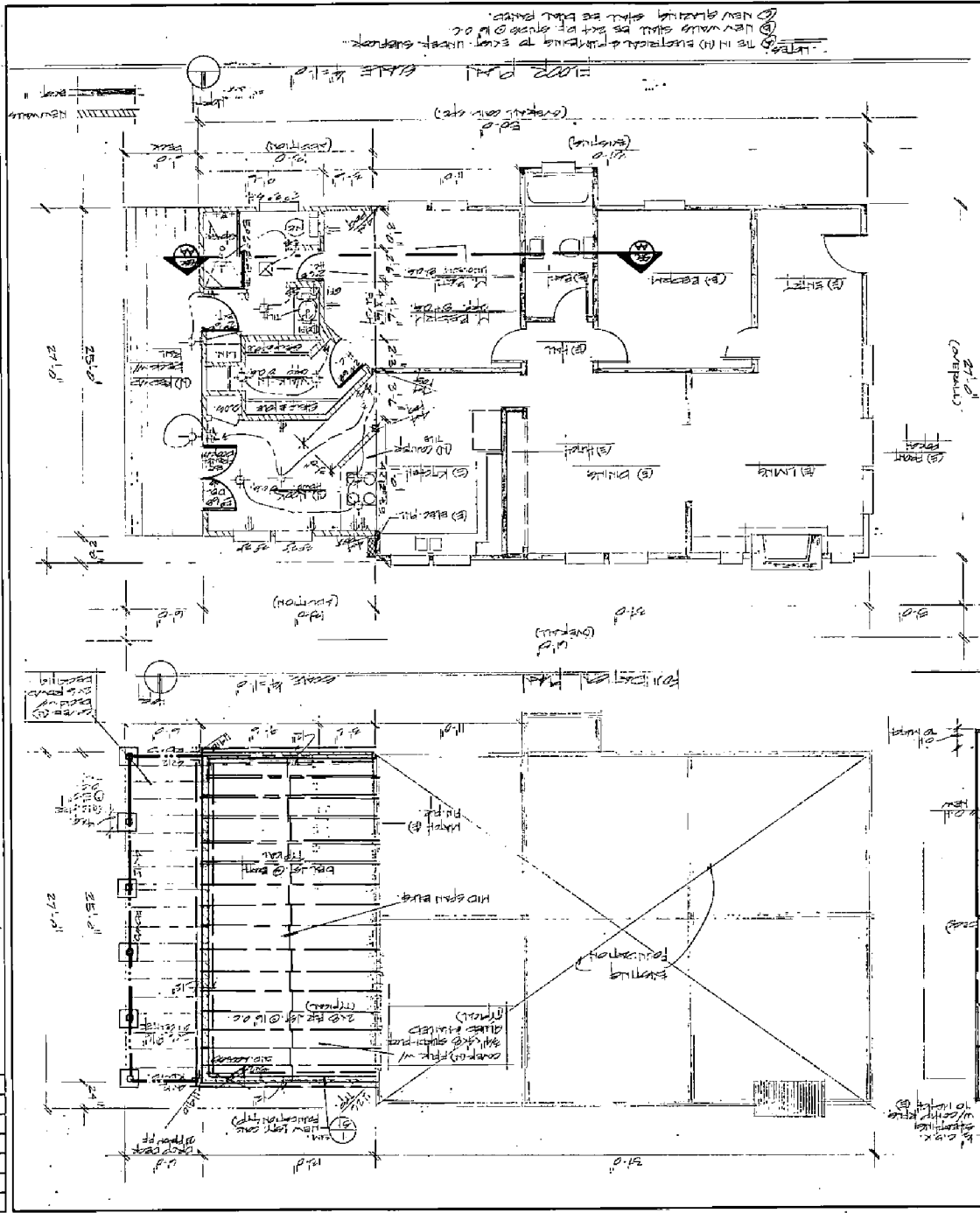
2407 41 STREET / AD-1101
 SACRAMENTO, CA. 95817
 WENDEL WHITMORE: OWNER

EXHIBIT A
 A-1
 SHEETS

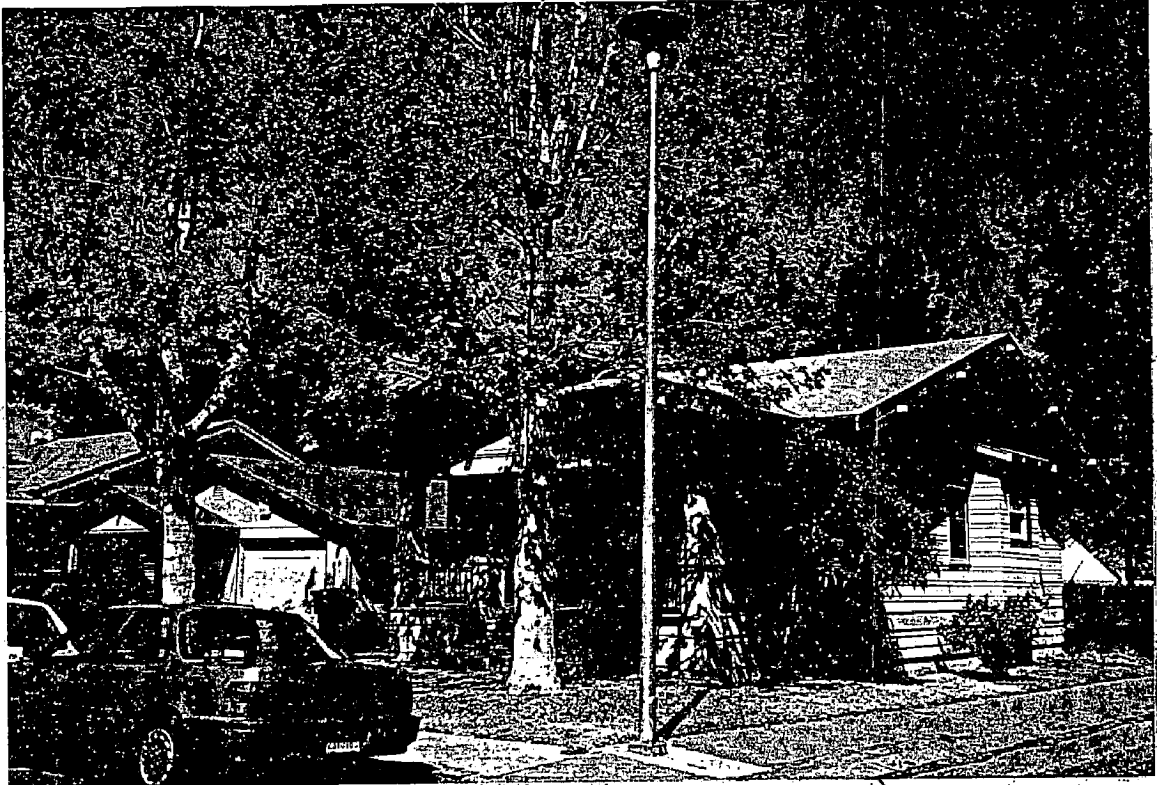
EXHIBIT B

2407 4 STREET/ABORTION
EXPERIMENTO CA 95817

NO.	REVISIONS
1	26
2	
3	
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9	
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FR-235



STREET SIDE YARD (SOUTH)



FRONT (WEST)

EXISTING ELEVATIONS



REAR (EAST)