

**CITY OF SACRAMENTO**  
1231 I Street, Sacramento, CA 95814

**Permit No: 0104690**  
**Insp Area: 3**

**Site Address: 2641 7TH AV SAC**  
Parcel No: 013-0271-031

Sub-Type: NOTHR  
Housing (Y/N): N

CONTRACTOR  
MILLS BUILDERS INC  
3959 H STREET  
SACRAMENTO CA 95819

OWNER  
T OKKE KARI E  
2641 7TH AV  
SACRAMENTO CA 95818

ARCHITECT

**Nature of Work: TEAR DOWN DETACHED GARAGE AND REBUILD AS OFFICE /WORKSHOP**  
(400 SF)

**CONSTRUCTION LENDING AGENCY:** I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

**LICENSED CONTRACTORS DECLARATION:** I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

> License Class B License Number 782869 Date 6/25/01 Contractor Signature [Signature]

**OWNER-BUILDER DECLARATION:** I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code, any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: \_\_\_\_\_  
Date \_\_\_\_\_ Owner Signature \_\_\_\_\_

**IN ISSUING THIS BUILDING PERMIT,** the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

> Date 6/25/01 Applicant/Agent Signature [Signature]

**WORKER'S COMPENSATION DECLARATION:** I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued

M I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier STATE COMPENSATION INS FUND Policy Number 713-0006158-00 Exp Date 10/01/2001

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

x Date 6/25/01 Applicant Signature [Signature]

**WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.**

**THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.**

2641 7TH AVE

CITY OF SACRAMENTO  
PERMIT ASSISTANCE

MAY 31 2001

**RECEIVED**

0104690

PROPOSED GARAGE CONVERSION  
TO THE RESIDENCE OF:

KARI LOKKE & PAUL WURST  
2641 7TH AVE.  
SACRAMENTO, CA.

SMOKE DETECTOR IS REQUIRED  
WHEN ALTERATIONS, REPAIRS OR ADDITIONS  
REQUIRING A PERMIT ARE IN EXCESS OF  
\$1,000 OR WHEN ONE OR MORE SLEEPING  
ROOMS ARE ADDED OR CREATED (GROUP R-3)

PERSONAL SAFETY BUILDING CODE  
SEE ATTACHED INSTRUCTIONS

*[Signature]*  
6/29/01

**ISSUED**

JUN 25 2001

Sacramento Building Division

The approval of all Plumbing  
Mechanical and Electrical  
is subject to field inspection

DRAFTING BY:  
JOHN SHEPHERD  
CROWNING TOUCHES

FINAL REVISION APRIL 19, 2001



This set of plans is to be kept on the job site to make any changes necessary.

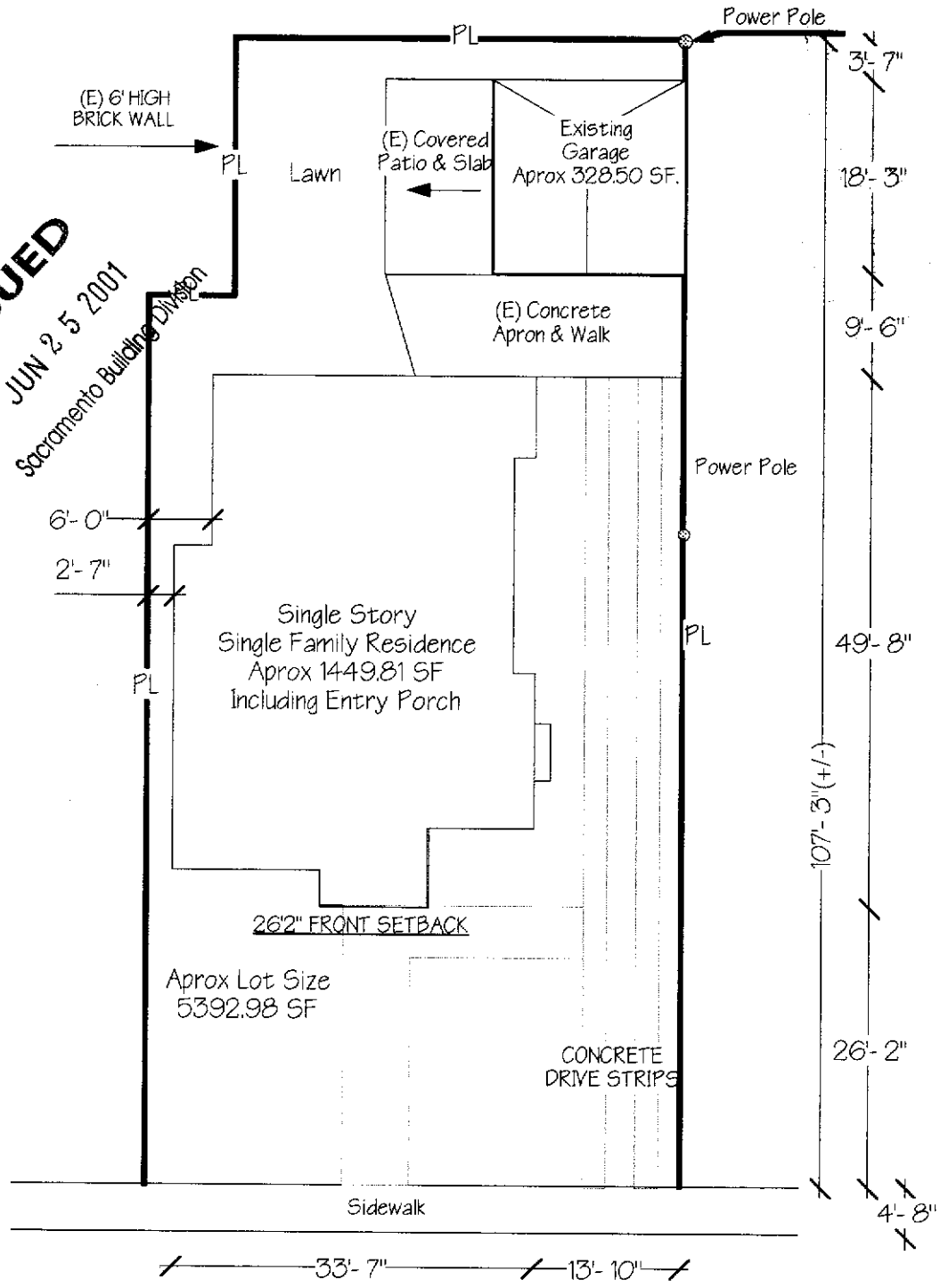
City of Sacramento Building Division  
enacted by any City Ordinance or State Law.

0104690 R 2641 7TH AVE



49'-11 3/4" (+/-)  
 8'-0"  
 42'-0"  
 18'-0"

**ISSUED**  
 JUN 2 5 2001  
 Sacramento Building Division

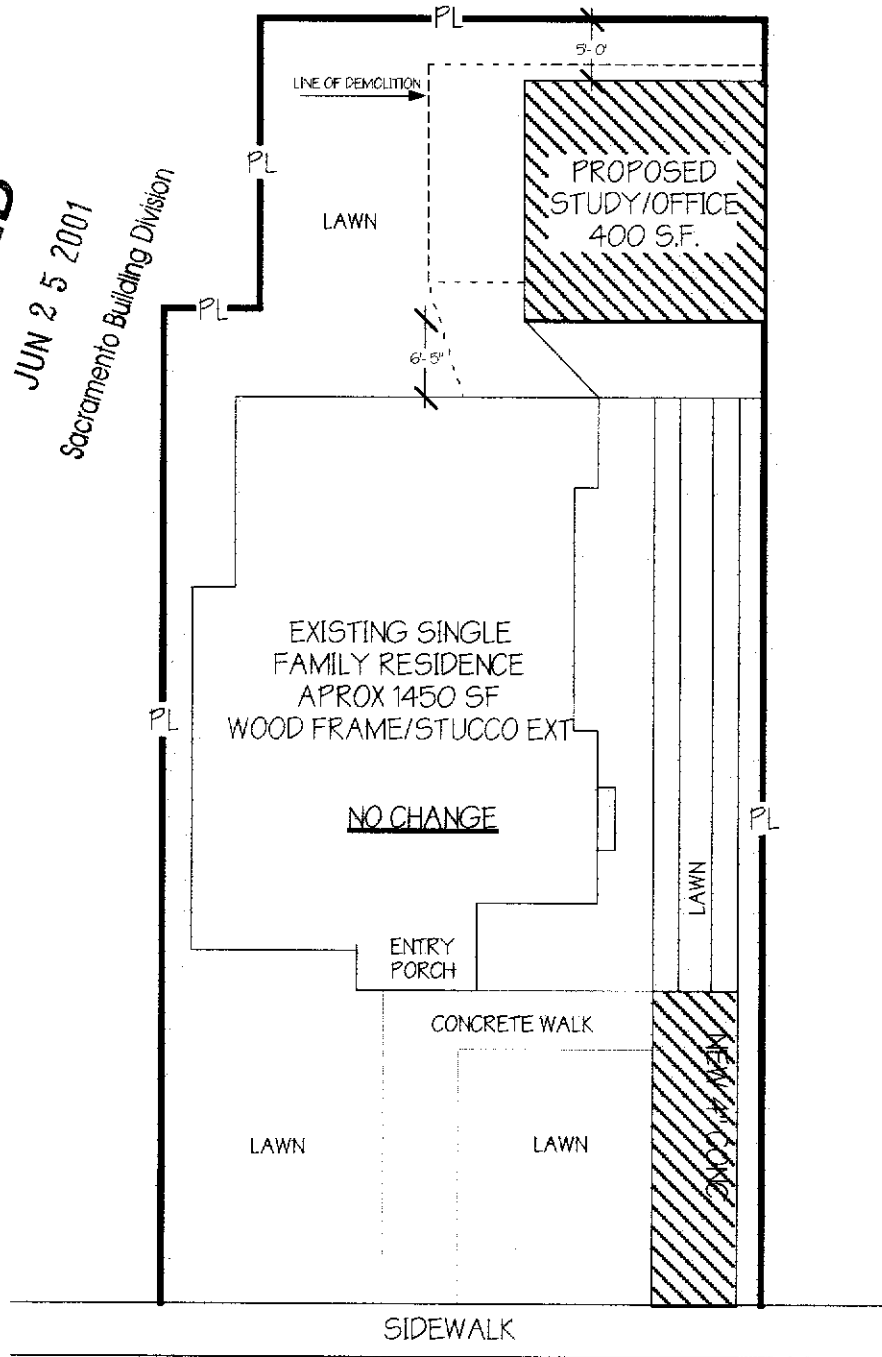


**SITE PLAN Scale 1/16"=1'**

REVISIONS	BY
MARCH 23, 2001	JMS
APRIL 19, 2001	JMS
JUNE 5, 2001	JMS

PROPOSED STRUCTURE MAY BE USED AS AN ACCESSORY BUILDING ONLY  
 IT WILL NOT BE USED AS A DWELLING UNIT  
 (SECOND RESIDENTIAL UNIT OR GUEST HOUSE)

**ISSUED**  
 JUN 25 2001  
 Sacramento Building Division



**PROPOSED SITE PLAN**  
**SCALE 1/16"=1'**

REVISIONS	BY
MARCH 23, 2001	JMS
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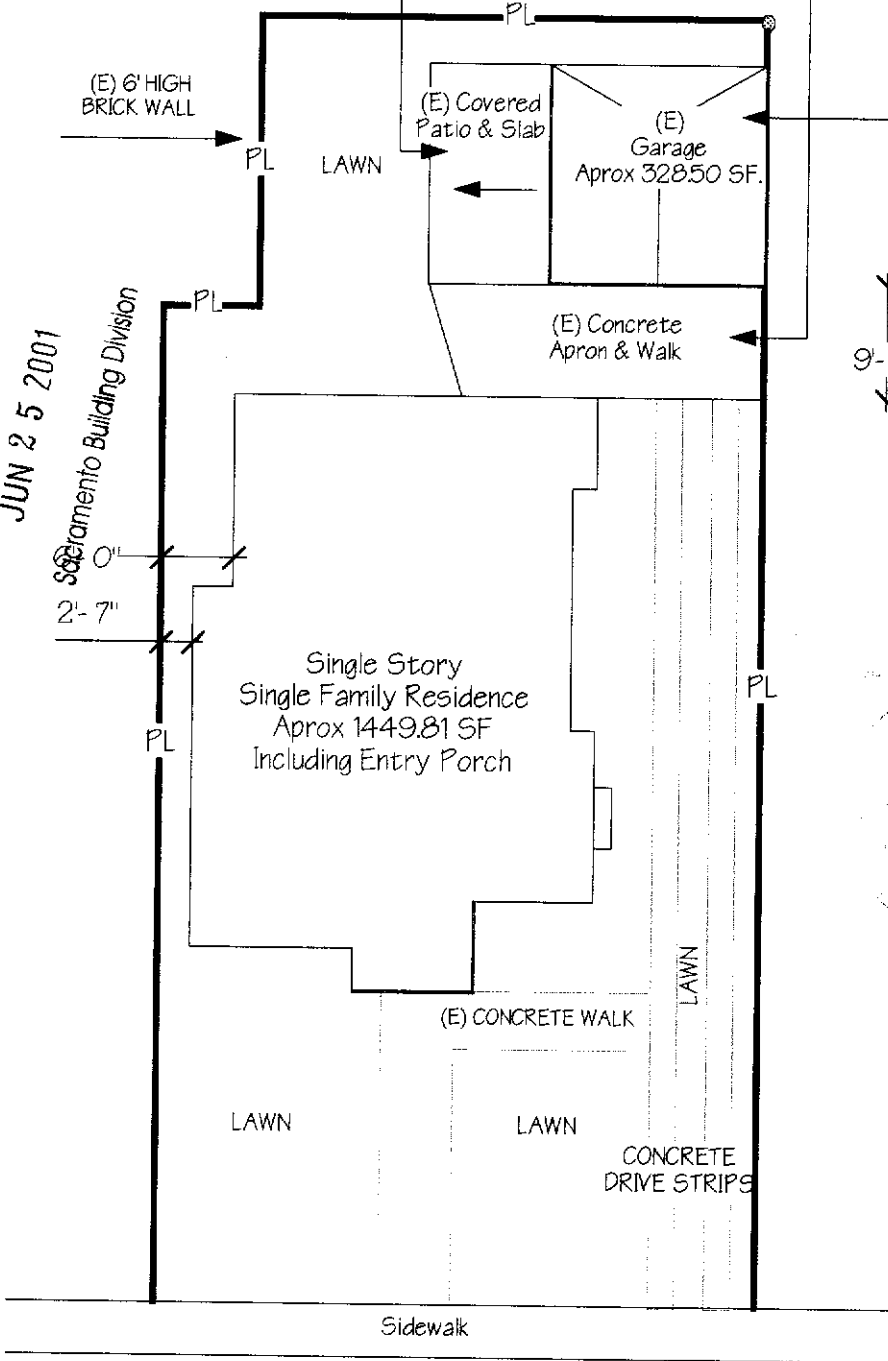
**ISSUED**

JUN 2 5 2001

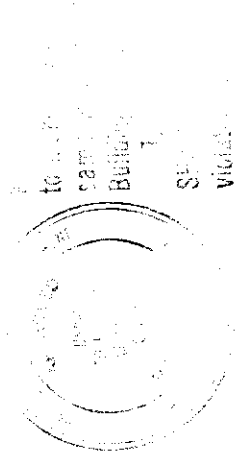
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107'-3"

0"  
2'-7"



9'-6"  
9'-6"



**DEMOLITION PLAN**  
Scale 1/16"=1'

Page  
**3**  
Of 11

DRAWN BY:  
JOHN SHEPHERD  
(916) 961-4001  
**CROWNING TOUCHES**

**Kari Lokke / Paul Wurst**  
GARAGE CONVERSION TO OFFICE  
26417TH AVE. SACRAMENTO, CA

REVISIONS	BY
MARCH 23, 2001	JMS
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5'-0"

HD2A HD2A

1/2" X 10" A.B. w/ 2" X 2" X 1/4" SQ WASHERS  
6" FROM CORNERS AND 6" O.C. THROUGHOUT TYP.

NEW 20' X 20' CONCRETE SLAB MIN. 2500 PSI  
4" THICK W/ 6X6 10/10 WWM  
OVER 2" SAND OVER 10 MIL POLY,  
OVER 4" GRAVEL

12" X 12" FOOTINGS  
W/ 2 #4 DEFORMED REBAR  
CONTINUOUS THROUGHOUT  
FOOTINGS

SHALL NOT BE CONSIDERED  
VIOLATION

"ALL BRACED WALL PANELS"  
MIN. 2'8" HD2 HOLD DOWNS BOTH ENDS WITH  
2-1/2" DIAMETER SILL PLATE ANCHOR BOLTS  
AND MAXIMUM TO HEIGHT

4 X 6 #2 OR BTR DF POST TYP.  
4 X 4 #2 OR BTR DF POST TYP.

BRACED PANELS MIN. 2'8"

HD2A HD2A

HD2A HD2A

<b>HOLDOWN SCHEDULE</b>	INDICATES "SIMPSON" HDXA HOLDOWN • DBL 2X (OR 4X) W/FULL HT. EDGE HD2, NAILING. NUMBER DENOTES SIZE
<b>BRACED WALL PANEL</b>	"BRACED WALL PANELS" MIN. 2'8" TYP. 3/8" CDX PLYWOOD W/ 6X SINKERS 6" O.C. EDGE & 12" O.C. FIELD TYP.
<b>STRUCTURAL SYMBOLS</b>	
<b>FND. &amp; FRMG. NOTES</b>	1. PROVIDE ATTIC VENTILATION AS REQUIRED PER CODE

w/ 65 TR 16 ANCHOR BOLT 1" X 10" A.B. (2) 1/2" Ø

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JUN 25 2001

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**FOUNDATION PLAN**

SCALE 1/4" = 1'

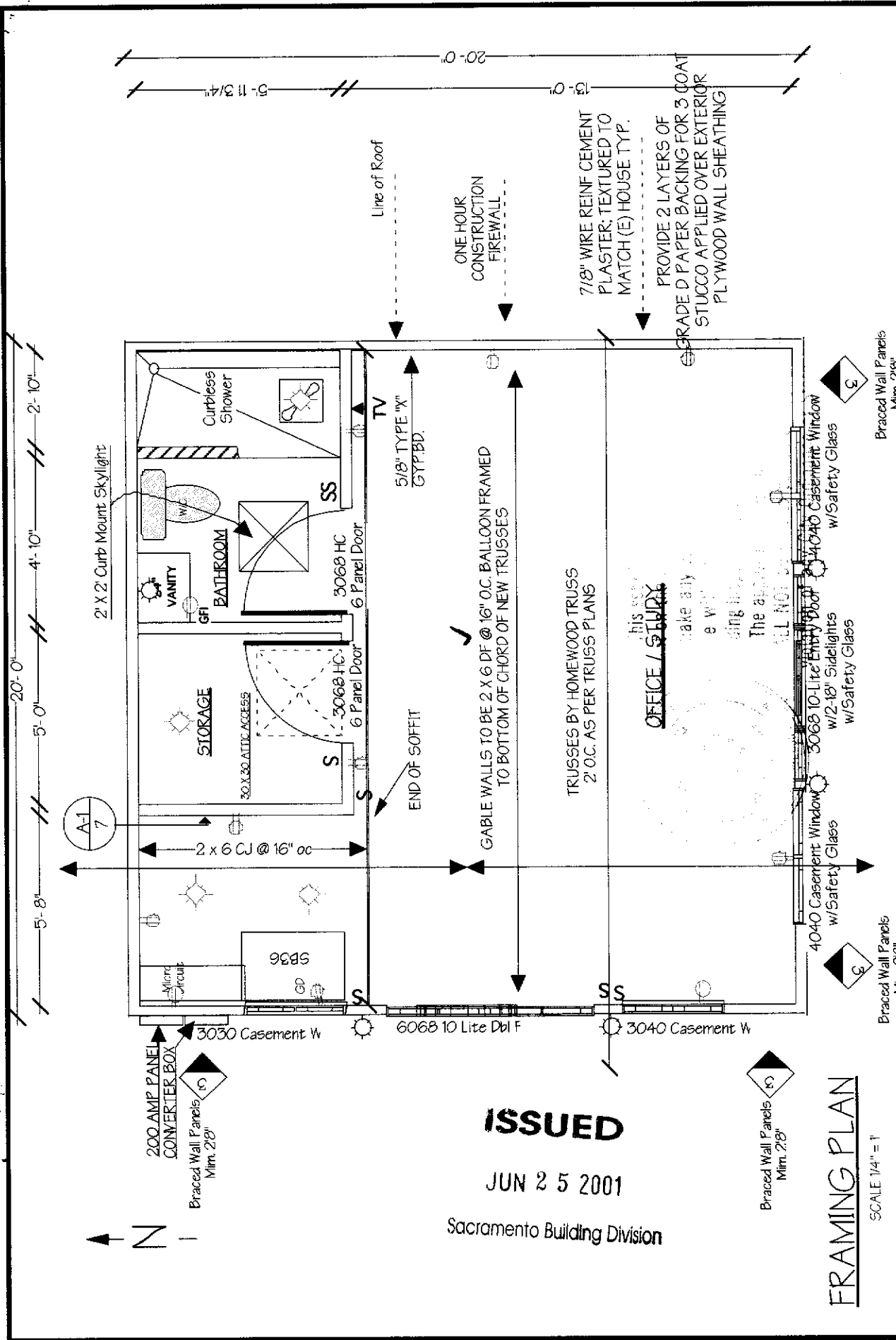
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(916) 961-4001

**CROWNING TOUCHES**

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GARAGE CONVERSION TO OFFICE  
2641 7TH AVE, SACRAMENTO, CA

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June 5, 2001 - Plan Check	JMS



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**FRAMING PLAN**

SCALE 1/4" = 1'

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DRAWN BY:  
 JOHN SHEPHERD  
 (916) 961-4001

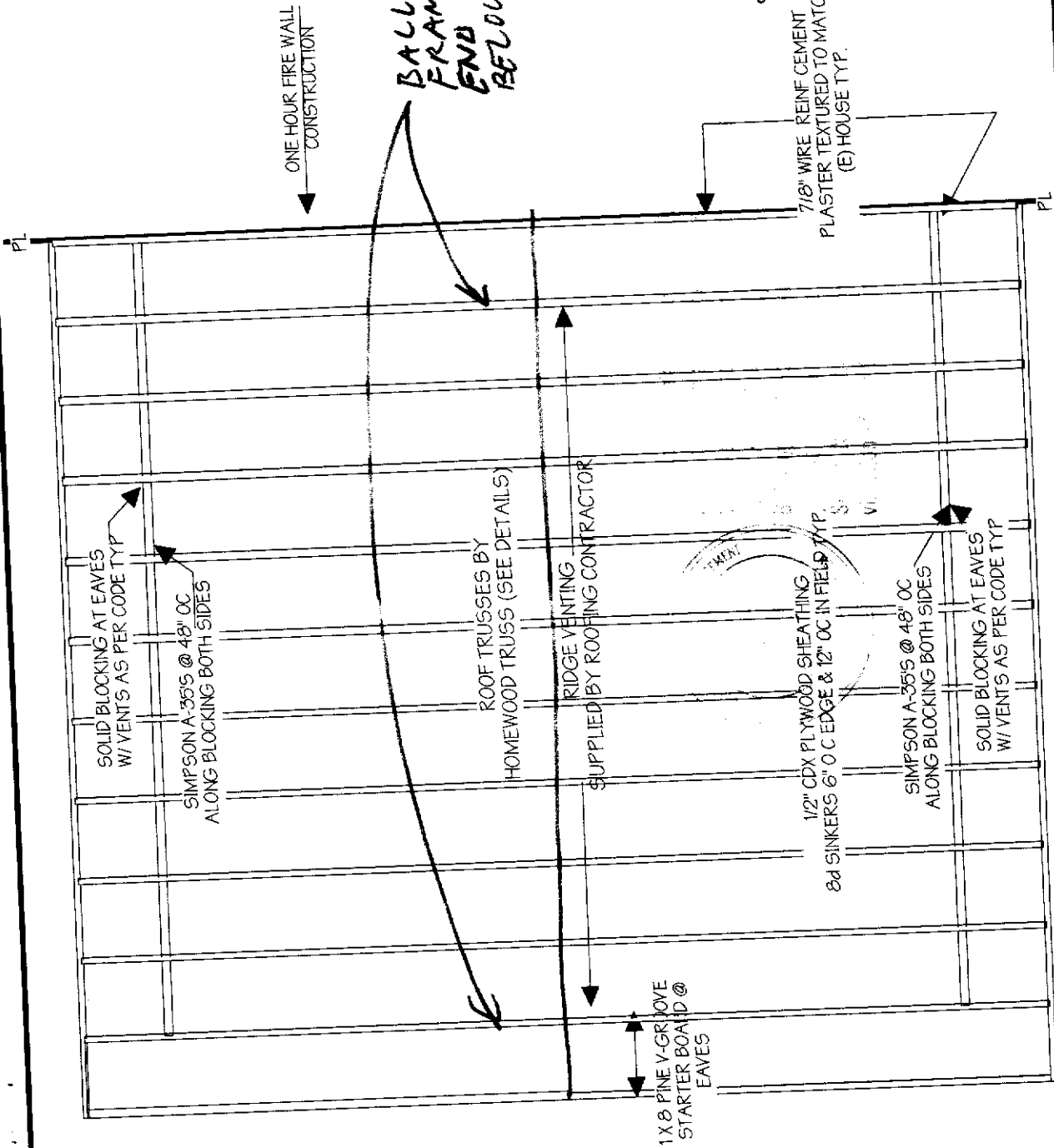
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ROOF PLAN  
SCALE 1/4" = 1'

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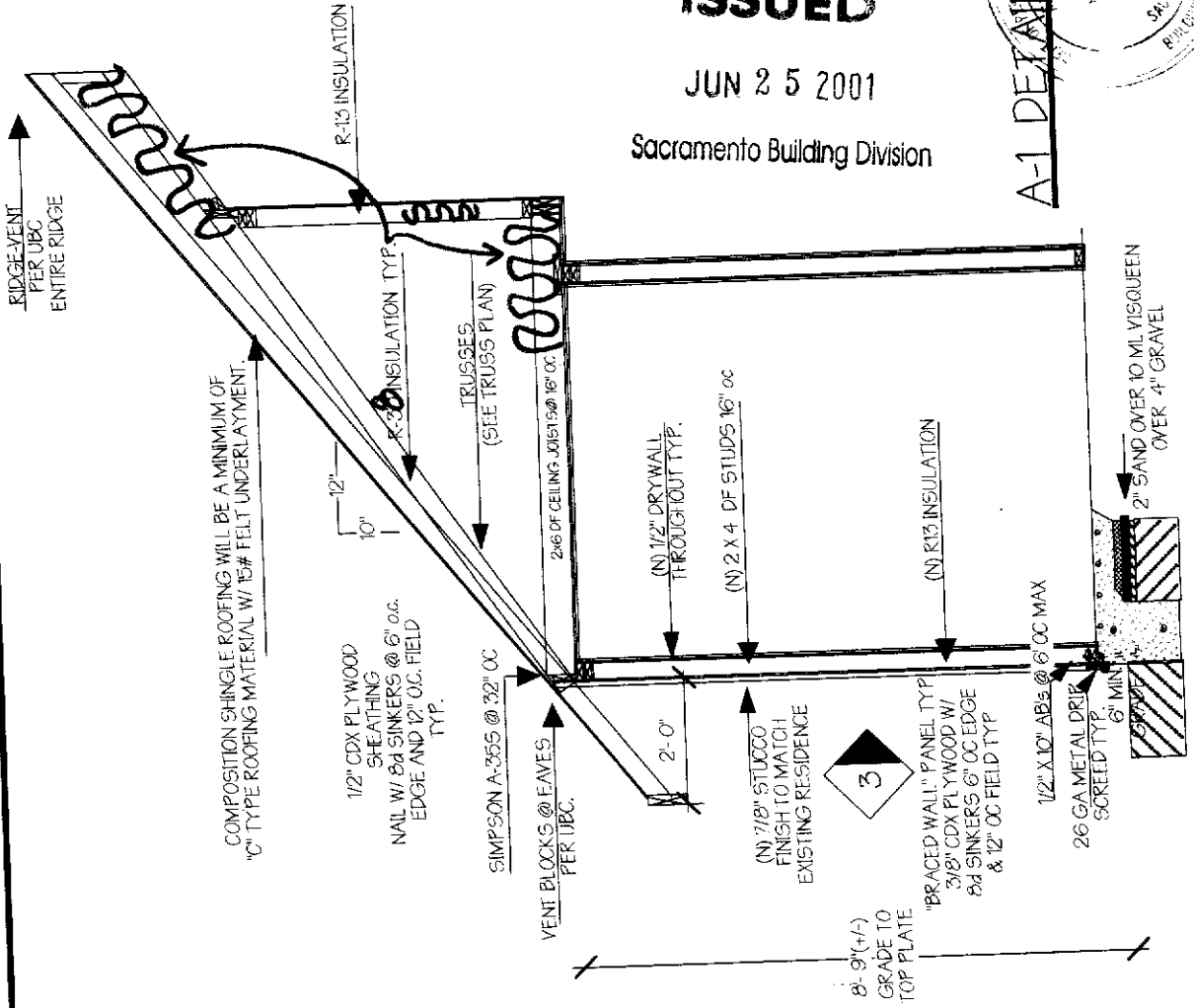
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**CROWNING TOUCHES**

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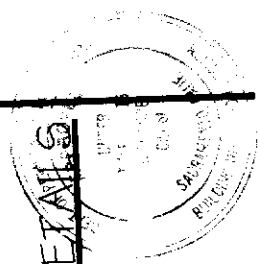


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A-1 DETAILS



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**GENERAL NOTES:**

1. CONSULT W/ OWNER REGARDING ALL INTERIOR FINISHES
2. SHEETROCK INTERIOR COMPLETE. ALL WALLS TO BE 1/2" EXCEPT FOR FIRE WALL WHERE 5/8" TYPE X IS REQUIRED.
3. OWNER TO CONFIRM ALL WINDOW STYLES W/ CONTRACTOR
4. WINDOW NOTES:
  - ALL WINDOW SIZES SHOWN ARE NOMINAL
  - ALL WINDOW SHALL BE WOOD TYP. TO MATCH (E) RESIDENCE - MARVIN OR EQ.
  - ALL WINDOWS TO BE DUAL GLAZED, TYP
  - HEAD HEIGHT SHALL BE 68" UNLESS OTHERWISE NOTED
  - WINDOW SUPPLIER MUST VERIFY COMPLIANCE WITH ALL CODE REQUIREMENTS FOR TEMPERING
5. DOOR NOTES:
  - CONSULT WITH OWNERS REGARDING DOOR MANUFACTURER
  - ALL DOOR SIZES SHOWN ARE NOMINAL
  - CONSULT WITH OWNER REGARDING DOOR PATTERN
  - TYPICAL DOOR HARDWARE
  - EXTERIOR DOORS: ENTRY LOCKSET, DEADBOLT, WEATHERSTRIPPING & THRESHOLD
  - MATCH EXISTING HOUSE
6. PROVIDE LIGHT AND POWER AT EACH ACCESSIBLE ATTIC SPACE AS REQ'D.
7. ELECTRICAL/MECHANICAL LAYOUT SHOWN IS DIAGRAMATIC ONLY. VERIFY EXACT LAYOUT IN FIELD WITH OWNER AND HVAC CONTRACTOR, PRIOR TO PROCEEDING.

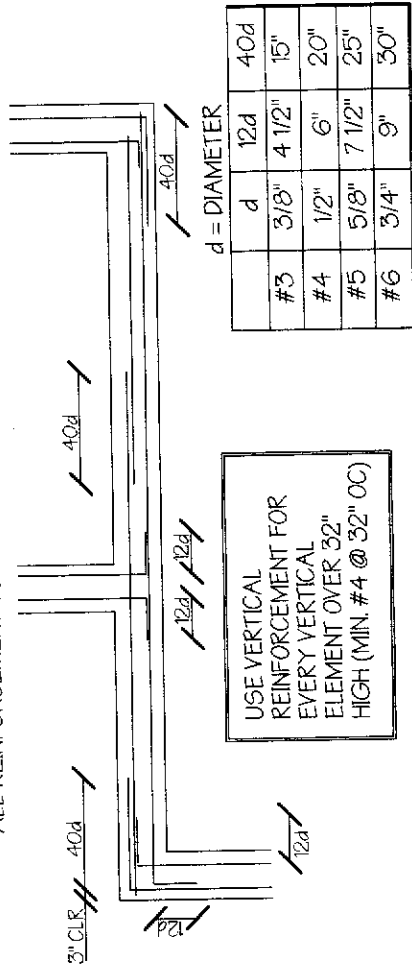
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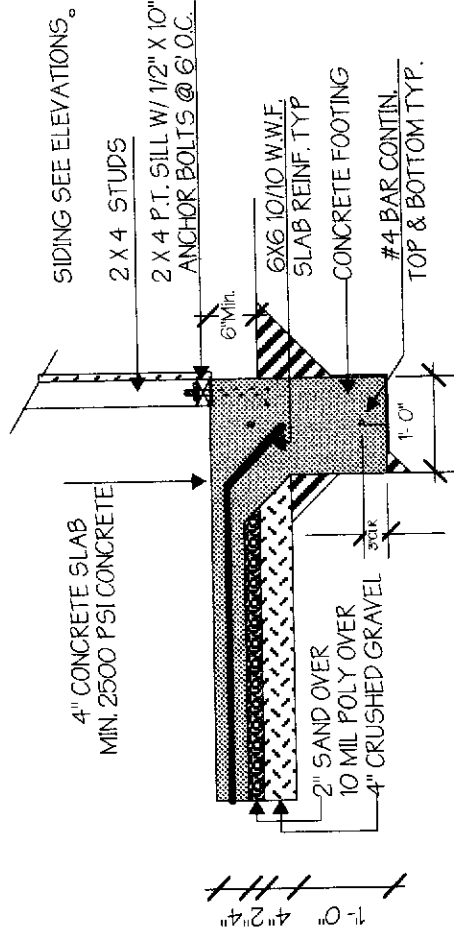
**CROWNING TOUCHES**

ALL REINFORCEMENT TO BE 3" FROM SOIL TYP.



### REINFORCING BAR SPLICES

NO SCALE



1 FOOTING DETAIL  
8 SCALE 1/2" = 1'

### CONCRETE

Concrete: 2500 psi minimum at 28 days, 5.5 sacks of cement per cubic yard minimum, 7 gallons of water per sack maximum, 4" slump maximum. Concrete must be "ready mixed" and supplied by recognized local company.  
Aggregate size: 3/4" maximum. No additions of water allowed at site. No use of additives is permitted unless approved in writing. Provide a mix certificate to the Architect and owner.

Formwork: Smooth boards or plywood

Reinforcing: Grade 40 bars for bars to No-6, Grade 60 for larger. 6"x6" #10/#10 mesh. All concrete shall be reinforced: mesh at slabs, minimum 2 continuous bars at footings, and minimum No. 4 at 32" oc at vertical elements over 18" high, unco.

### EXECUTION

- Conform to ACI recommended practices including ACI 301. All surfaces must drain away from building and be free of significant defects. Exterior flat work shall be accurate to within 1/2" in 10'-0".
- Keep reinf. min 3" from soil. Lap bars min. 40 diameters.
- Finish exterior surfaces with light broom texture, and interior slabs with steel trowel unless noted on the drawings otherwise. Apply sealer at all slabs that will be exposed.
- Provide mix certification to the owner. Failure to provide certificate shall be construed against the supplier in the event of question as to the mix.
- Locate control joints so that concrete panels are of a proportion of 15:1 length to width, to a maximum of 20'-0". (Example: 5'-0" wide walk, max. 7'-6" oc)
- Keep reinf. min. 3" from soil. Lap bars min. 40 diameters.
- Verify locations of all inserts and utilities. Notify architect before pouring any concrete.
- Saturate soil 18" deep before pouring on clay soils.
- Concrete shall be between 50F and 90F when placed.
- Wet cure, typical, 7 days minimum.

### CARPENTRY

### GENERAL

Conform to all UBC Chapter 23 provisions and recommendations of American Wood Association, Western Wood Products Association, American Institute of Timber Construction, National Forest Products Association.

### MATERIALS

- Joints and Rafters: D Fir/Larch S4S No. 2 and Better.
- Studs & Plates: D Fir/Larch Std and better.
- Slits: Pressure Treated D Fir
- Posts, Beams and Main Horizontal Members: D Fir No. 1, F.O.H.C. if exposed.
- Sill Plates: Pressure preservative treated D Fir Bed in mastic or seal at edges if exterior, typical. Use grout bed for full bedding as required.

Plywood Sheathing:

- 3/8" Structural Plywood CDX APA span rated at 16" oc
- Shear Purling: 1/2" Structural Plywood CDX APA span rated at 16" oc, 5/8" at 24" oc framing. No 3 ply material. OSB not permitted unless it will be weather protected within 1 week.
- Roof Sheathing:

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JUN 25 2001

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BY	REVISIONS
JMS	March 23, 2001
JMS	April 19, 2001 - Plan Check Revisions
JMS	June 5, 2001 - Plan Check

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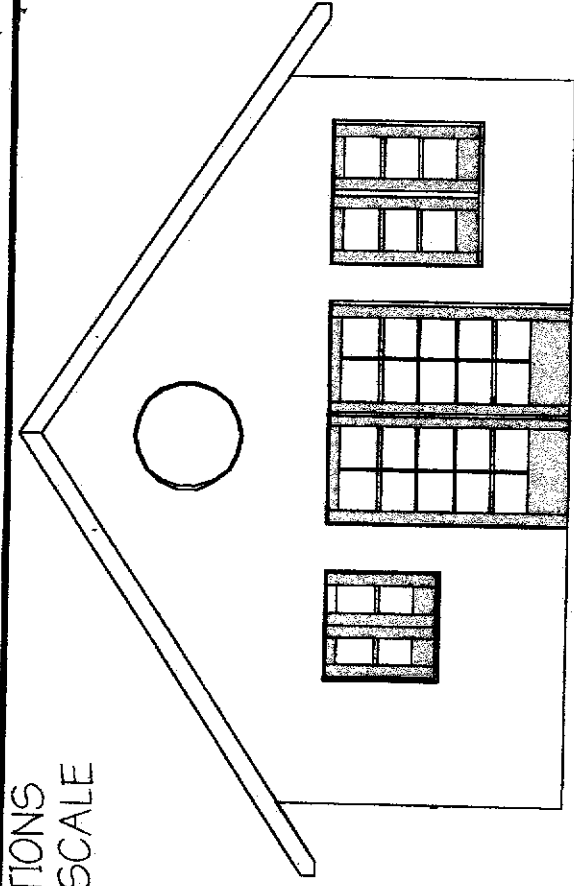
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2641 7TH AVE, SACRAMENTO, CA

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JOHN SHEPHERD  
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**CR**  
**ROWNING**  
**TOUCHES**

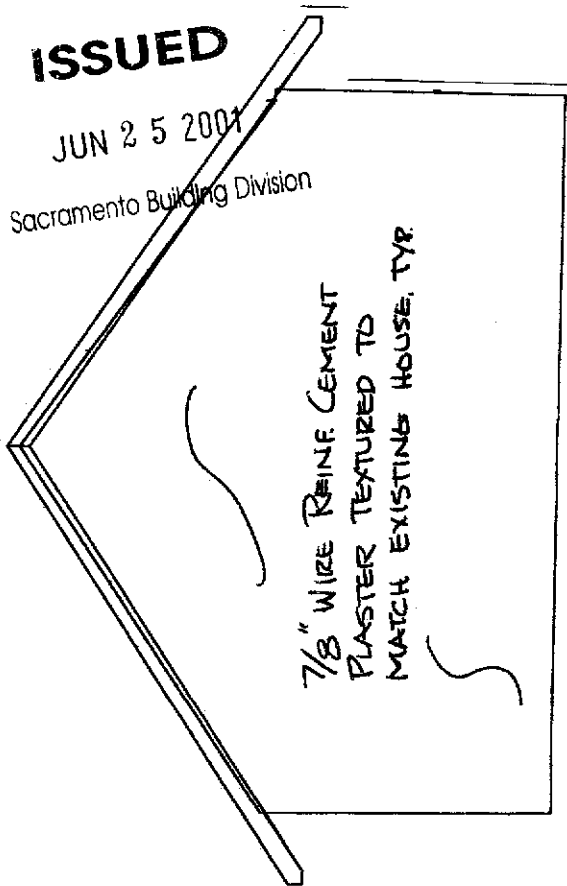
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ELEVATIONS  
NOT TO SCALE



RIGHT ELEVATION

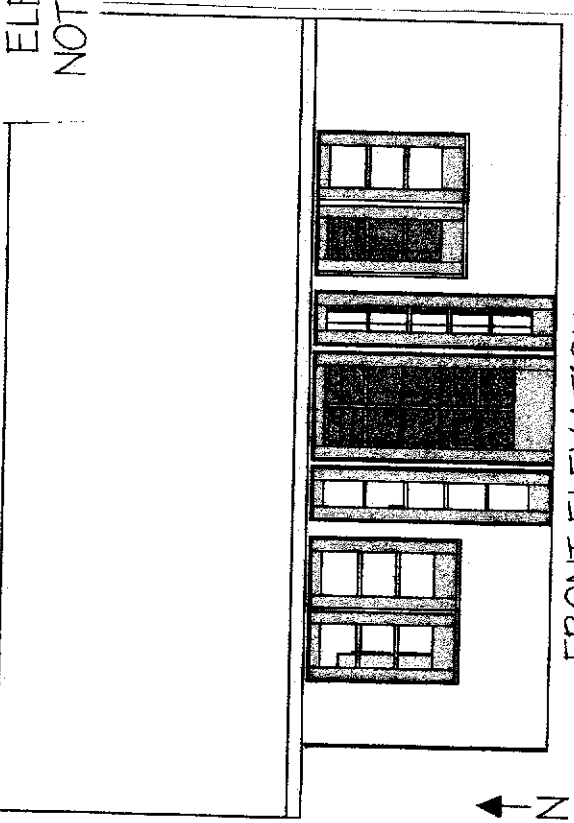
LEFT ELEVATION



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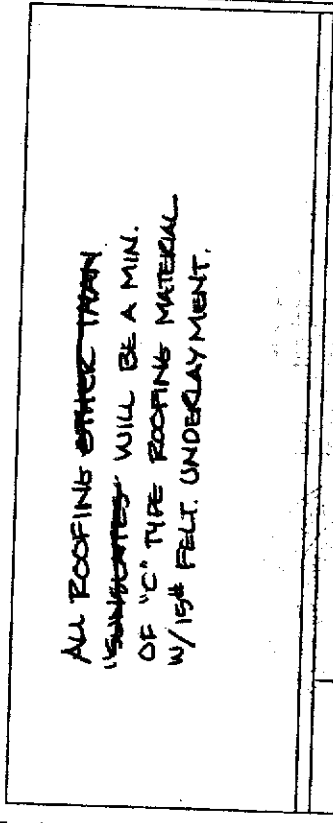
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7/8" WIRE REINFC CEMENT  
PLASTER TEXTURED TO  
MATCH EXISTING HOUSE. TYP.



FRONT ELEVATION

BACK ELEVATION



ALL ROOFING OTHER THAN  
'SUBSTITUTES' WILL BE A MIN.  
OF 'C' TYPE ROOFING MATERIAL  
W/ 15# FELT UNDERLAYMENT.

THE APPROVAL OF THIS PLAN AND THE  
SHALL NOT BE CONSIDERED AS A  
VIOLATION OF ANY CITY ORDINANCES.

REVISIONS	BY	DATE
	JMS	MARCH 23, 2001
	JMS	APRIL 19, 2001 - PLAN CHECK REVISIONS

**Kari Lokke / Paul Wurst**  
GARAGE CONVERSION TO OFFICE  
2641 7TH AVE, SACRAMENTO, CA

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**CROWNING TOUCHES**

Decking: 2 x 6 T&G Std. and better D.Fir. Consult an Architect if No3 is proposed for allowable spans.

Wood Furring: D.Fir standard and better

Caulk: DAP acrylic latex.

Mastic: Henry's Plastic Cement; or approved equivalent.

Foam Sealant: Polycell One; or approved equivalent.

Sealant: GE Silicone; or approved equivalent.

Subfloor Adhesive: DAP Construction Adhesive or equal AFG-01 rated.

Nails: Common only for framing unless approved in writing.

Aluminum or stainless steel only at exterior wood to be stained or unfinished.

Galvanized at all other exterior locations.

Metal Connectors: Simpson or equal.

Particle Board: "Redex" by Louisiana Pacific low formaldehyde type.

Building Wrap: Dupont "Tyvek" <sup>Seigniorite Building Division 8</sup> 2001

Glue Lams: D.Fir 2400F V4 architectural grade. <sup>Seigniorite Building Division 8</sup> Provide certificate of conformance. Wet use glue.

LVL (Laminate Veneer Lumber, 1/2, Microlam, ect.):

FL = 2850 psi min, FV = 285 psi min,  
E = 2.0 x 10 psi

PSL: "Parallam" as by Trusjoist MacMillan NER 481

ISL: "Timberstrand" Trusjoist MacMillan ICBO 4979

HEM FIR SUBSTITUTE NOT PERMITTED

UNLESS APPROVED IN WRITING

#### EXECUTION:

- Note apply to seismic zone III. For projects in zone IV, see structural plans.
- Bearing walls and partitions shall have double top plates lapped at wall and partition intersections. Block at all ceiling levels and at all supports.

#### CARPENTRY (continued)

- Where partitions rest on wood joists: Joists shall be at least doubled under parallel partitions. Provide 2" solid blocking between joists under perpendicular partitions @ 16" o.c.
- Where stud walls or partitions join masonry walls, the end stud shall be anchored with 1/2" x 10" bolts near the top and bottom and at 32" o.c. vertically, with cut plate washers.
- All framing shall be true and straight. Openings shall be square and level and center on or align with elements as shown. Provide blocking at all locations of fixtures or accessories. Run a continuous bead of sealant at plate, and inject foam sealant around door and window openings. Verify all rough opening requirements.
- Cutting of wood joists shall be limited to cuts and bored holes not deeper than 1/5 the joist depth from the top, and located not farther from end than three times the joist depth. Brace all exterior walls 25'-0" o.c. max., or as noted. Provide 1/2" clear space above plate at non-bearing partitions. If floor framing changes direction, no plywood joints may be within 2 feet of change, and the bearing wall at change in direction shall have height adjustment to prevent floor unevenness over 1/4 inch in ten feet.
- All connectors shall be galvanized and have ICBO listing. Simpson brand typical.
- Structural members shall not be cut for pipes, ect., unless specifically shown or noted on plan.
- Pipes exceeding 1/3 of the plate width shall not be placed in partitions used as bearing or lateral force resisting walls, unless furred entirely clear of studs. Where allowed, pipes shall be placed in the center of plates, using a neat hole. No notching allowed. 2" dia. max. holes allowed in center of 2 x 6 nominal plate. Fastener alternatives for non-bearing and non-shear walls: Two minimum per member and at 9" from ends; 1/8" dia Powder driven anchors with 1" min. penetration @ 24" o.c. max.

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Of 11

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JOHN SHEPHERD  
(916) 961-4001

**CROWNING**  
**CTOUCHES**

**Kari Lokke / Paul Wurst**

GARAGE CONVERSION TO OFFICE  
2641 7TH AVE, SACRAMENTO, CA

REVISIONS

March 23, 2001

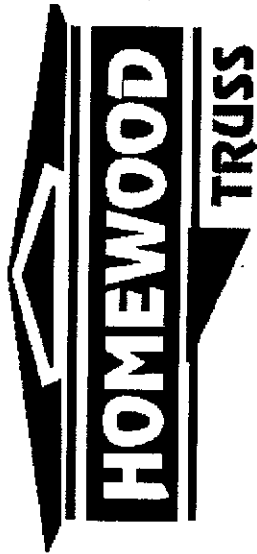
April 19, 2001 - Plan Check Revisions

BY

JMS

JMS

April 19, 2001 - Plan Check Revisions



**LOOMIS OFFICE**

3243 Rippey Road  
Loomis, CA 95650  
Phone: (916) 652-4655  
Fax: (916) 652-3860

**MARYSVILLE PLANT**

5033 Feather River Blvd.  
Marysville, CA 95901  
Phone: (530) 743-8855  
Fax: (530) 743-8856

# Truss Design Submittal

Designed By:

Bryan Wagner

Date:

May 21, 2001

Technical Representative:

Doug Koch

\* All enclosed drawings are in alpha-numerical order \*

Client

Mills Builders

Office Phone:

Office Fax:

Project

2641 7th Ave.

Scaramento, Ca.

Site Phone:

Site Contact:

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JUN 25 2001

Sacramento Building Division

Plan/Elevation:	Floor System: <input type="radio"/>
	Roof System: <input checked="" type="radio"/>

- Original Submittal
- Complete Revision

- Partial Revision: Replaces individual drawings
- Addition: Add to Original Submittal

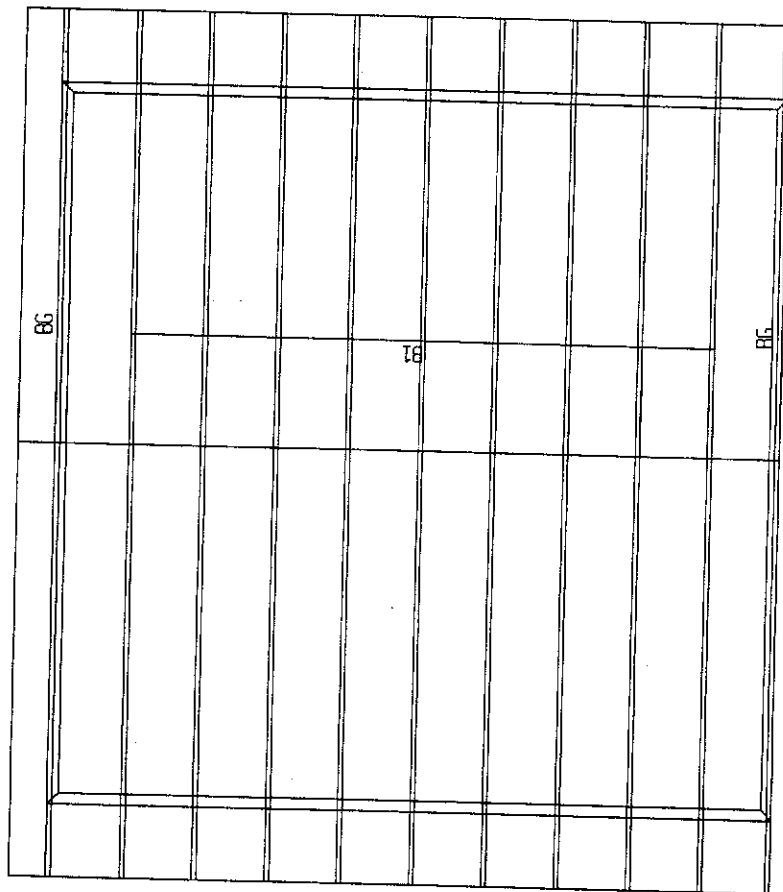
Work Order # K965

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20-0-0



20-0-0

20-0-0

20-0-0

Roofline 3D Layout



**HOMEWOD TRUSS**

5033 FEATHER RIVER BLVD  
PO BOX 5010  
MARYSVILLE CA. 95901  
(530)743-8855 FAX 743-8856

Jobname: OFFICE 20' X 20'  
Customer: MILLS BUILDERS  
Dsgnr: BW Chk: BW

WO: K965

Scale: 3/16" = 1'

Date : 5/17/\*\*

DurFac - Lbr: 1.25  
DurFac - Plt: 1.25  
O.C. Spacing: 24.0"  
Design Criteria: UBC  
# Components : 11

TC Live 16.0 psf  
TC Dead 9.0 psf  
BC Live .0 psf  
BC Dead 8.0 psf

TOTAL 33.0 psf

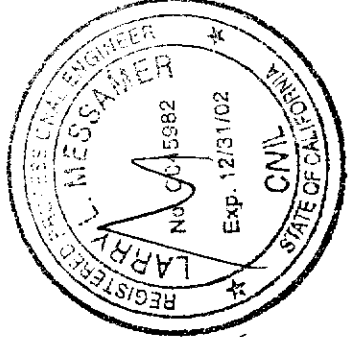
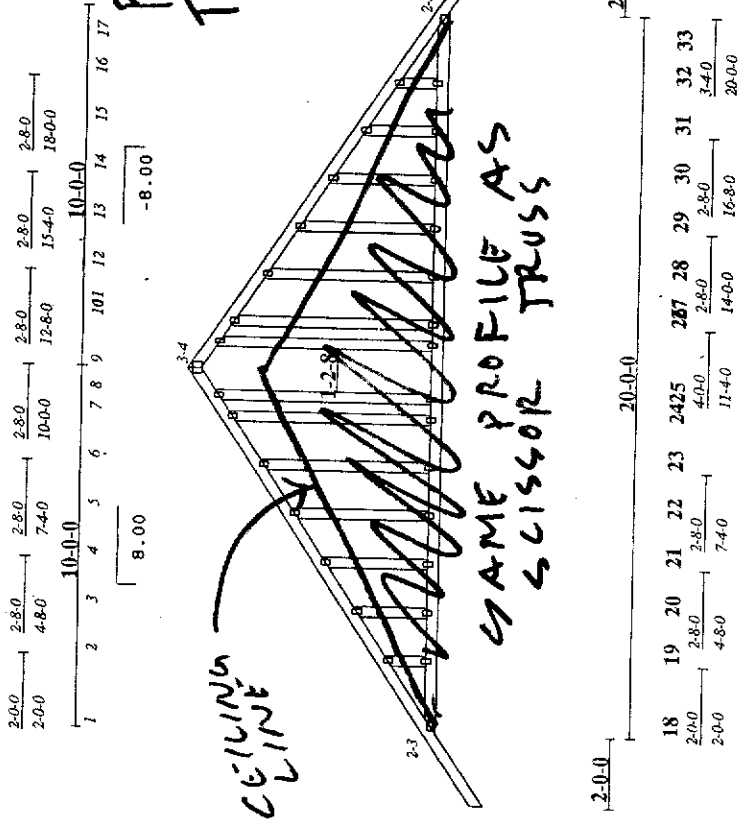


Plating Spec: ANSI/TPI - 1995  
THIS DESIGN IS THE COMPOSITE RESULT OF MULTIPLE LOAD CASES.  
BEARING REQUIREMENTS shown are based ONLY on the truss material at each bearing.  
HEATING BASED ON GREEN LUMBER VALUES.

TC 2x4 DEL #1  
BC 2x4 DEL #1  
CEL BLK 2x4 DEL STANWAD  
HAVE VALUES PER ICHO RESEARCH REPORT #1607.  
z/t is assumed that one face of this truss is sheathed with plywood, OSB, wood board < sliding or hardwood siding. If not, additional loads must be considered on < non-continuous bearing gables.  
May use adequate staples for gable blocks. Cable studs may require lateral bracing. See Trusswaj's suggested gable bracing detail (s). Lateral loads in line with the chords have not been considered unless noted otherwise. These loads and their connections are the responsibility of the building designer.

Joint	Locations
1	0-0-0
2	0-0-0
3	2-0-0
4	2-0-0
5	4-8-0
6	4-8-0
7	7-4-0
8	7-4-0
9	10-0-0
10	10-0-0
11	10-0-0
12	12-8-0
13	12-8-0
14	14-0-0
15	14-0-0
16	16-8-0
17	16-8-0

REVISER  
PROVIDE DETAIL INVAL  
TRUSS DETAIL INVAL  
TRUSSE APPROVAL  
IN FOR



ISSUED  
JUN 25 2001  
SOGREMO BUILDING DIVISION

Trusswaj Systems Plates are 20 ga. unless shown by "18" (18 ga.) or "H" (16 ga.), positioned per Joint Report. Circled plates and false frame plates are positioned as shown above.

5/18/2001  
Scale: 3/16" = 1'

Job Name: MILLS BUILDERS - 20' X 20' OFFICE Truss ID: BG Qty: 2 Drwg: CO01138046-002

**WARNING** Read all notes on this sheet and give a copy of it to the Erecting Contractor.  
This design is for an individual building component not truss system. It has been based on specifications provided by the component manufacturer and done in accordance with the current versions of TPI and AFPA design standards. No responsibility is assumed for dimensional accuracy. Dimensions are to be verified by the component manufacturer and/or building designer prior to fabrication. The building designer must ascertain that the loads utilized on this design meet or exceed the loading imposed by the roof or floor sheathing and the bottom chord is laterally braced by a rigid sheathing material directly attached, unless otherwise noted. Bracing shown is for lateral support of components members only to reduce buckling length. This component shall not be placed in any environment that will cause the moisture content of the wood to exceed 19% and/or cause connector plate corrosion. Fabricate, handle, install and brace this truss in accordance with the following standards: 'JOINT DETAILS', by Trusswaj, 'ANSI/TPI 1', 'WTCA 1' - Wood Truss Council of America Standard Design Responsibilities, 'HANDLING INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES' - (HIB-91) and 'HIB-91 SUMMARY SHEET' by TPI. The Truss Plate Institute (TPI) is located at 583 D'Oonofrio Drive, Madison, Wisconsin 53719. The American Forest and Paper Association (AFPA) is located at 1111 19th Street, NW, Ste 800, Washington, DC 20006.

**HOMWOOD TRUSS**  
Trusswaj Systems - Colorado  
4445 Northpark Dr., Colo Springs, CO 80907  
Tps 5.0 Version T6.2.3

TC Live	16.0 psf	#IC = 10	WO: K965
TC Dead	16.0 psf	Customer Name:	MILLS BUILDERS
BC Live	.0 psf	TC Live	16.0 psf
BC Dead	8.0 psf	TC Dead	16.0 psf
TOTAL	40.0 psf	BC Live	.0 psf
		BC Dead	8.0 psf



Date of Request: \_\_\_\_\_

By: \_\_\_\_\_

**CITY OF SACRAMENTO DEVELOPMENT SERVICES DIVISION  
PLANNING AND ZONING INFORMATION REQUEST**

Project Address: 2641 7th Avenue

Assessor's Parcel Number: \_\_\_\_\_

Previous Use: Garage

Description of Request/Proposed Use: Home office

Is This a Change of Use? yes, I think?

Prior Applications for Project Site(P#, Z#, DRPB#): NONE Zoning Designation: R-1

Comments: We want to tear down and rebuild a detached garage.

LOT COVERAGES + SETBACKS ARE OKAY

CAN NOT BE USED AS ANY TYPE OF DWELLING UNIT

(SECOND RESIDENTIAL UNIT OR GUEST HOUSE)

NOT IN DESIGN REVIEW AREA

Are There Any Planning Issues?: (circle one) YES  NO

\* Staff Site Plan Check Required? (Circle one) YES  NO

\* Field Inspection Required? (Circle one) YES  NO

\* Design Review/Preservation Required?: (Circle one) YES  NO

Planning Review by/Date: Michael York 4-16-01

A list of items that must be reviewed by Planning is provided on the reverse side of this form.

MICROFILM AFTER FINAL