

June 12, 1986

City Planning Commission
Sacramento, California

Members in Session:

SUBJECT: LAND USE DESIGNATIONS FOR THE MATZ' LAGUNA CREEK PROPERTIES
PROPOSAL (M83-003)

SUMMARY

The previously submitted Matz' Laguna Creek proposal contains a generalized land use schematic that is being heard as a part of the South Sacramento Community Plan. Only suggested changes in the land use designations can be considered since it is not the City's policy to prezone "A" agriculture land in the absence of an application for actual development. A recommendation is being made to the Planning Commission on the land use designations that should be reflected on the adopted South Sacramento Community Plan.

BACKGROUND INFORMATION

The Robert M. Matz and Associates proposal was submitted to the Planning Commission hearing on May 1, 1986. The property comprises eight parcels totaling 170 acres in the southern most part of the City (see Figure 1). It is currently zoned "A" agriculture.

The proposed land uses in the Matz proposal and those of the South Sacramento Community Plan differ slightly (see Figures 2 and 3). Below is a comparison of the Matz proposal and the South Sacramento Community Plan:

<u>LAND USE</u>	<u>PROPOSED SSCP</u>	<u>PROPOSED MATZ</u>
Res 4-8	73.4 acres	51.2 acres
Res 7-15	28.8 acres	28.0 acres
Res 11-21	21.3 acres	30.3 acres
Shopping Center	10.0 acres	16.0 acres
Office	0.0 acres	8.0 acres

The concerns of planning staff involve the office and shopping center land use designations. The slight increase in residential densities is not considered to be a problem.

Traffic problems associated with office uses were a factor used in originally designating no acres for office use in this area of the SSCP. A recent analysis by the Traffic Engineer of traffic impacts associated with the eight acres of office in the Matz proposal reveals

that although traffic volumes would indeed increase, the overall negative effect would not be significant.

A shopping center and strip commercial analysis was also done. It was determined that there is sufficient City planned commercial land to meet the South Sacramento Community's present and future needs to buildout (year 2000). Using the City's shopping center standards, the two separate ten acre neighborhood shopping centers set aside in the proposed SSCP are sufficient to serve the projected population of the City portion of Laguna. For the anticipated urbanization in the adjoining County portion of Laguna, the County has approved an approximately 35 acre shopping center at the intersection of Bruceville Road and Laguna Boulevard. The size would indicate that this is designated as a large community or small regional shopping center. This site is approximately one mile south of the Matz proposed shopping center. Additionally, the roughly four acre parcel of land created immediately west of the Matz 16-acre proposed shopping center would be susceptible to commercial development pressures for a total 20-acre complex.

RECOMMENDATION

Based on analysis by staff and the policies of the South Sacramento Community Plan, it is recommended that the Planning Commission support changing the Proposed Land Use Plan, revision of January 1986, to reflect those land uses submitted by Robert M. Matz and Associates, with the exception that the shopping center designated for the northwest corner of Sheldon and Bruceville Roads should be 10 acres in size as per the proposed South Sacramento Community Plan, instead of 16 acres in size.

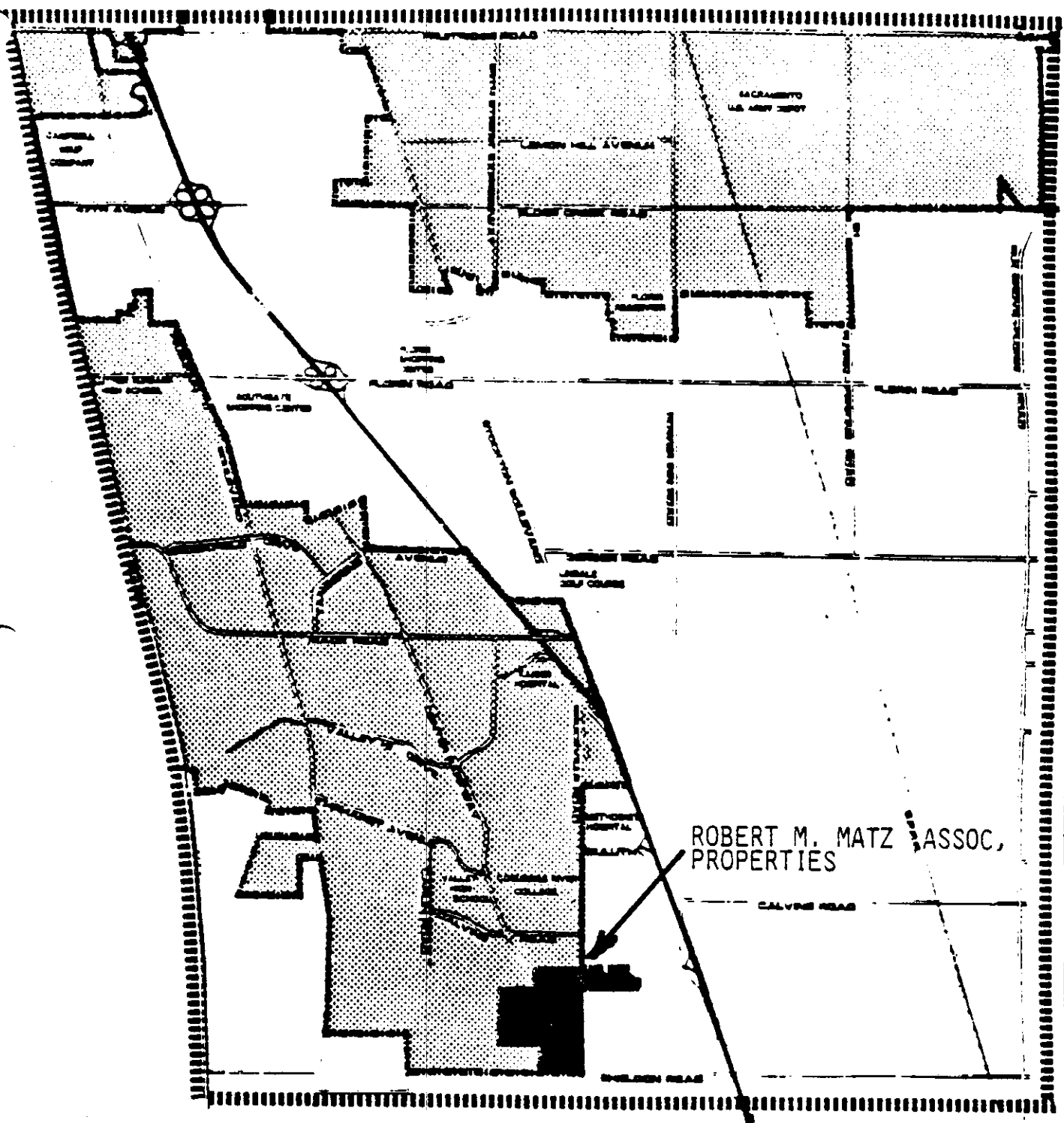
Respectfully submitted,





Gary W. Stonehouse
Principal Planner

GLS:PW:lr
Attachments

South Sacramento Community Plan



STUDY AREA

 CITY OF SACRAMENTO  UNINCORPORATED AREA


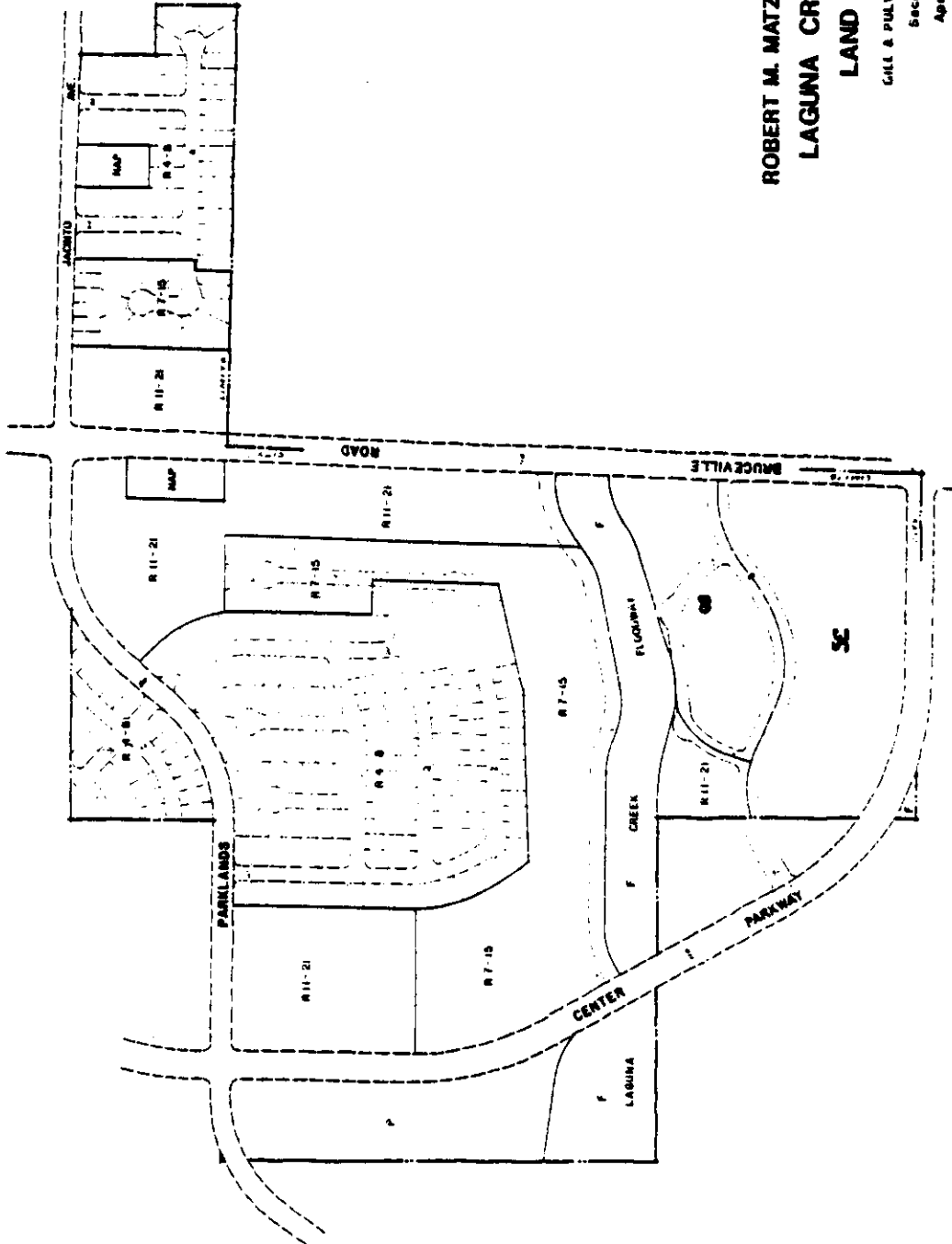
 STUDY AREA BOUNDARY

FIGURE 1



RESIDENTIAL	52.2 ac
R 9-1	28.0 ac
R 7-15	30.3 ac
R 11-21	14.0 ac
SHOPPING (SC)	8.3 ac
OFFICE (OB)	14.0 ac
MAJOR STREETS (100' & 80')	9.0 ac
CITY PARK (P)	13.5 ac
FLOODWAY (F)	
NOT A PART (MAP)	
TOTAL	170.0 ac

ROBERT M. MATZ & ASSOCIATES, INC.
LAGUNA CREEK PROPERTIES
LAND USE PLAN

GILL & PULVER ENGINEERS INC.
 Sacramento, Ca.
 April, 1988

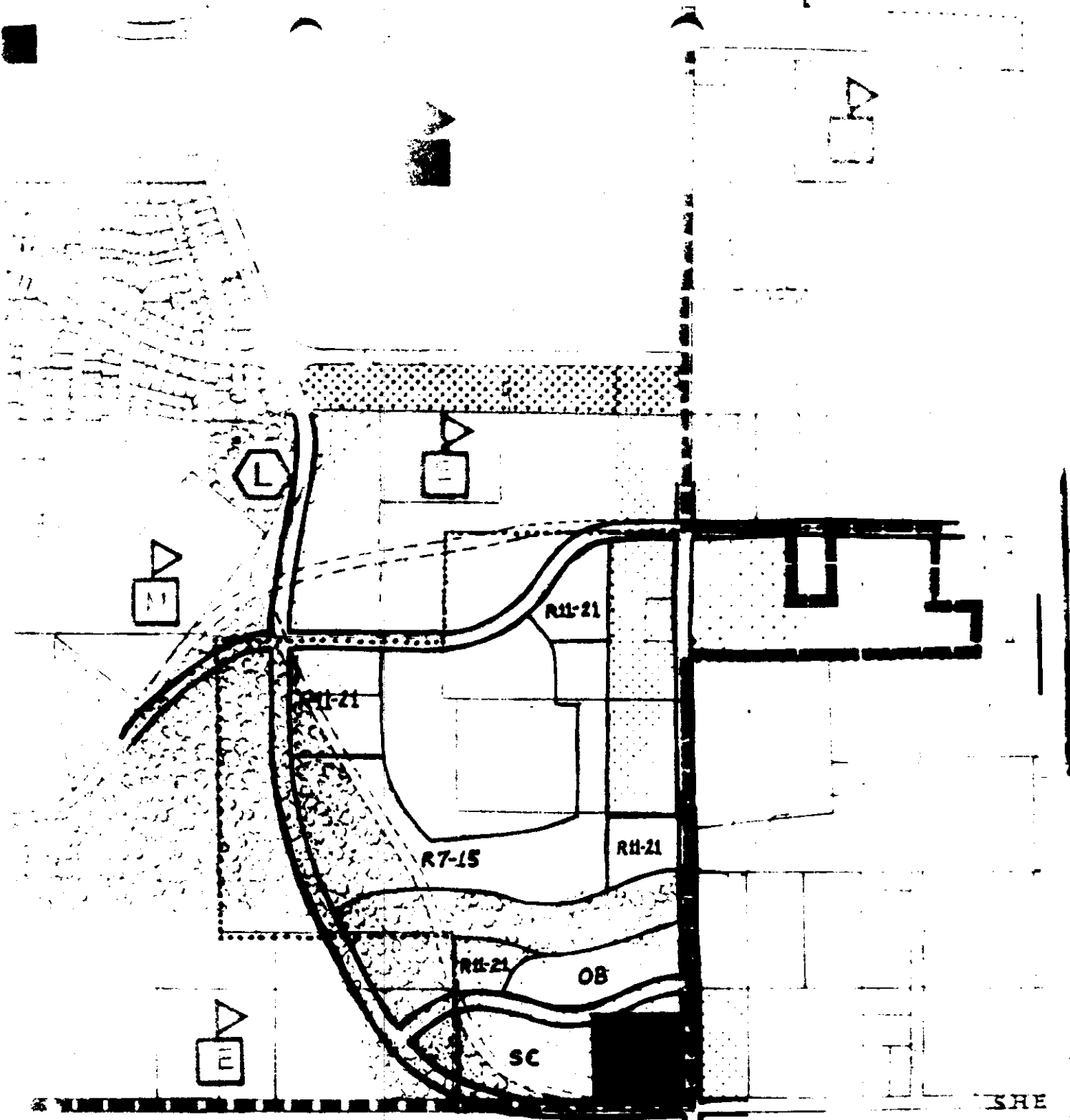


FIGURE 3 Matz Proposed Land Uses indicating underlying South Sacramento Community Plan proposed uses and those Matz proposed changes