

REPORT AMENDED BY STAFF 8-27-87
CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	Fox Engineering Group, 560 Wall St. Ste. G, Auburn CA 95603
OWNER	Johan Lindstrom, 80 Lynwood Place, Moraga CA 94556
PLANS BY	Fox Engineering Group, 560 Wall St. Ste. G, Auburn CA 95603
FILING DATE	7-24-87
ENVIR. DET.	Neg. Dec.
REPORT BY	CV:tc
ASSESSOR'S-PCL. NO.	117-0012-022

- APPLICATION:**
- A. Negative Declaration
 - B. Special Permit to develop a drive-through restaurant in Valley Hi Centrum PUD
 - C. Variance to waive the required six foot high solid masonry wall
 - D. Schematic Plan Amendment to allow access off of Valley Hi Drive

LOCATION: 300+ feet northwest of the intersection of Valley Hi Drive/Banford Street

PROPOSAL: The applicant is requesting the necessary entitlements to construct a fast food restaurant with a drive-up window

PROJECT INFORMATION:

1974 General Plan Designation: Commercial
 1986 South Sacramento Community Plan Designation: General Commercial
 Existing Zoning of Site: C-2 (PUD)
 Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Shopping Center; C-2	Front:	25 ft.	48+ ft.
South: Parking lot; R-3 (PUD)	Side(Int):	25 ft.	75+ ft.
East: Shopping Center; C-2			
West: Multiple family residential; R-3(PUD)	Rear:	15 ft.	86+ ft.

Parking Required: 35 spaces
 Parking Provided: 37 spaces
 Property Dimensions: 203+ ft. x 211+ ft.
 Property Area: 0.98+ acres
 Square Footage of Building: 2,650
 Height of Building: One story
 Topography: Flat
 Street Improvements: Existing
 Utilities: Existing
 Exterior Building Materials: Wood trim, stucco walls
 Roof Material: Single ply fully adhered roof membrane
 Color: Brown, tan

PROJECT EVALUATION: Staff has the following comments:

- A. Land Use/Zoning

The project site is zoned General Commercial (C-2) and is located in the Valley Hi Centrum Planned Unit Development. The Schematic Plan for this PUD designates the subject site for restaurant use. Surrounding land uses include shopping centers to the north and east, parking lot to the south and multiple family residential to the west.

B. Proposal

The applicant proposes to construct a 2,650 square foot drive through restaurant. Elevations submitted show a stucco building with wood trim and awnings along the east, south and west elevations.

The proposed hours of operation are tentatively from 10:00 a.m. to 10:00 p.m. There will be a total of 9-12 employees per shift. In addition, a total of 104 seats and 37 parking spaces will be provided. (1:3 seat ratio requires 35 spaces)

C. Valley Hi Centrum PUD Guidelines

Staff recommends the applicant comply with the applicable Valley Hi Centrum PUD Guidelines (see exhibit A)

D. Site Plan Design

Staff's major concern with this project is the potential noise impact generated by the proposed drive-up window. The subject property is located adjacent to an existing apartment complex which is two and three stories in height. The new restaurant structure would be located approximately 130 feet from the apartments. The County Health Noise specialist reviewed this site plan and suggested that an eight foot high masonry wall be installed between the two uses and that the site plan be redesigned by locating the primary noise source (automobile) closer to the new wall. This would mitigate a large portion of the potential noise onto the adjacent apartments. The applicant has revised the site plan to address this concern.

To further mitigate the potential noise impact, staff suggests the drive-up window of this restaurant be closed at 10 p.m. The applicant has indicated the tentative hours of operation will be 10 a.m. to 10 p.m.

In addition, the applicant has worked with Planning staff and Traffic Engineering staff to redesign the previous site plans proposed to incorporate Traffic Engineering concerns regarding internal circulation proper access and adequate vehicle stacking distance. The attached site plan incorporates these concerns.

E. Building Design

Staff has reviewed the proposed building elevations and recommends a design change in the proposed roof to a gable roof with overhang. This revision would be more compatible with the adjacent new apartment complex and medical building location on the corner of Valley Hi Drive and Bamford Street.

F. Sign Regulations

One detached monument sign is allowed. This sign must be setback more than 10 feet from the public right-of-way and any driveway. The height of the sign shall not exceed six feet as measured from the sidewalk. The maximum sign area shall be 48 square feet. The applicant has not submitted plans for a proposed monument sign.

One attached sign is permitted. Signs shall be individual letters (no canned plastic) and the width of the sign shall not exceed 70 percent of the building width. Total vertical sign height shall not exceed 28 inches.

The east (front) elevation shows a Wendy's sign. The total vertical sign height proposed is 36 inches exceeding the allowable 28 inch vertical sign height. Staff recommends this sign be revised to comply with the sign regulations in the PUD guidelines. A sign program shall be submitted to the Planning Director for review and approval prior to the issuance of a sign permit.

G. Variance - Masonry Wall

The Zoning Ordinance requires a six foot high solid masonry wall along the south and west property lines. The applicant requests a variance to waive the wall along the south property line. Staff supports this variance request because the adjacent land use to the south is an existing parking lot, driveway access and lawn area. South of the lawn area are several retail buildings. Locating a masonry wall here would serve no useful purpose.

An eight foot high solid masonry wall is proposed near the drive through lane (see site plan). This wall will be stepped down to three feet as shown on the site plan. This wall, located within 10 feet of the drive-through lane, was determined to be necessary by the County's noise specialist to reduce automobile noise in the drive-through lane. The eight foot high wall shall be decorative in design. Final design of the wall shall be reviewed and approved by staff prior to the issuance of a building permit.

H. Schematic Plan Amendment - Access off Valley Hi Drive

A Schematic Plan Amendment is also requested to allow an access from Valley Hi Drive not shown on the Valley Hi Centrum PUD Schematic Plan (see Schematic Plan and site plan). Traffic Engineering has evaluated this request and has no objection to providing another access off of Valley Hi Drive to the subject site as shown on the site plan. Staff concurs with Traffic Engineering and recommends approval of the proposed Schematic Plan Amendment.

I. Interdepartmental Review

This proposal was reviewed by the City departments of Traffic Engineering, Engineering, Police, Valley Hi Community Association, the County Public Health Division, the Fire Department and the following comments were received:

Traffic Engineering

2. The variance is not a use variance in that masonry walls are allowed in the C-2 zone.
3. Granting the variance will not constitute a disservice to surrounding property in that a parking lot and commercial uses are located to the south of the project site.
4. The proposed project is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for commercial use by the 1986 South Sacramento Community Plan and the proposed restaurant conforms with the plan designation.

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I. Interdepartmental Review

This proposal was reviewed by the City departments of Traffic Engineering, Engineering, Police, Valley Hi Community Association, the County Public Health Division, the Fire Department and the following comments were received:

Traffic Engineering

The proposed site plan is adequate, proposed stacking distance for drive-through lane is adequate. Proposed access off Valley Hi Drive is acceptable.

Public Health Division - County

An eight foot high sound wall is required. This wall shall be located within 10 feet of the drive-through land wherever possible.

Fire Department

1. Requires a double pumper fire hydrant within 300 vehicular feet of the building. If none existing, add one on-site.
2. A separate permit from the building permit is required for the hood extinguishing system.

ENVIRONMENTAL DETERMINATION:

The Environmental Coordinator has determined this project will not have a significant impact and has issued a Negative Declaration.

RECOMMENDATION: Staff recommends the Commission take the following actions:

- A. Ratify the Negative Declaration;
- B. Approval of the Special Permit subject to conditions and based upon findings of fact which follow;
- C. Approval of the Variance to waive the required six foot high masonry wall based upon findings of fact which follow;
- D. Amend the Schematic Plan to allow access off Valley Hi Drive.

Special Permit - Conditions

1. Landscaped and irrigation plans shall be submitted for review and approval by the Planning Director prior to the issuance of a building permit.
2. The applicant shall comply with the Valley Hi Centrum PUD Guidelines (Exhibit A).
3. Revised building elevations shall be submitted to staff for review and approval prior to the issuance of a building permit. These revised elevations shall include a gable roof with an overhang.
4. A sign program shall be submitted to staff for review and approval prior to the issuance of sign permits.
5. An eight foot high decorative masonry wall shall be located on the west portion

of the project site as per the site plan. This wall shall be tapered down to three feet as shown on the site plan. The design of the wall shall be reviewed and approved by the Planning Director.

6. The proposed trash enclosure shall be concealed by means of a masonry wall as required by the regulations of the Zoning Ordinance
7. Final approval of the building inspection shall not be given until inspected by the Planning Director for compliance with all conditions of the Special Permit.
8. Applicant shall comply with the requirements of the Fire Department.
9. The drive-up window of the restaurant shall be closed at 10 p.m. (Monday through Sunday).

Findings of Fact - Special Permit

1. The project is based upon sound principles of land use in that:
 - a. a drive through restaurant with a special permit is allowed in the PUD;
 - b. the project will not significantly alter the character of the neighborhood.
2. The project as conditioned will not be detrimental to public health, safety or welfare or result in a nuisance in that:
 - a. adequate on-site parking is provided;
 - b. the proposed eight foot high masonry wall will adequately mitigate automobile noise resulting from the drive through window;
 - c. adequate landscaping is required.
3. The proposed project is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for commercial use by the 1986 South Sacramento Community Plan and the restaurant conforms with the land use designation.

Variance - Condition

A eight foot high wall shall be installed as shown on the attached site plan. The wall shall be deleted on the south property line.

Findings of Fact Variance

1. Granting the variance does not constitute a special privilege extended an individual applicant in that variances have been granted for similar circumstances.

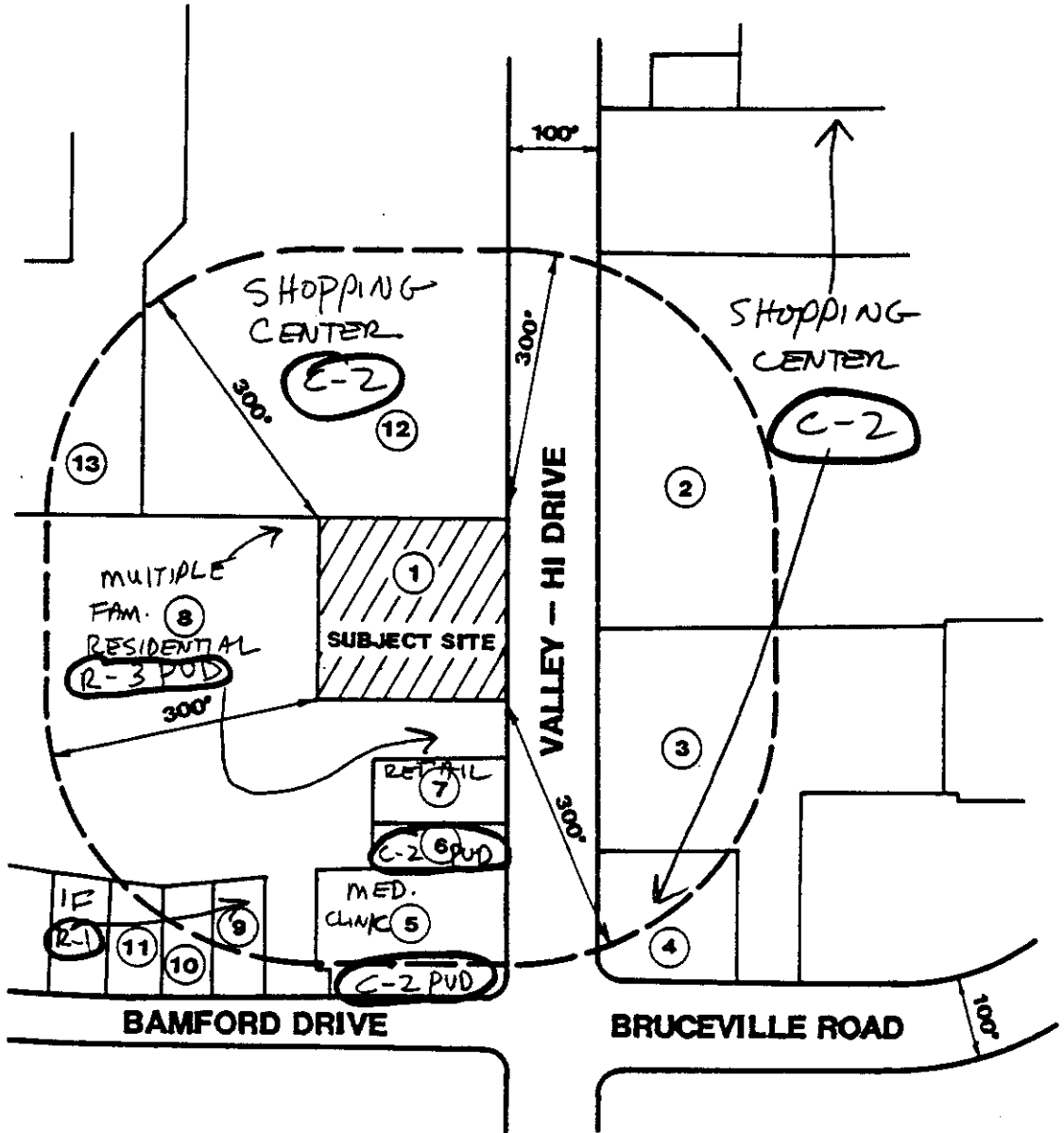
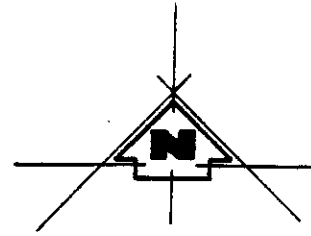
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3. Granting the variance will not constitute a disservice to surrounding property in that a parking lot and commercial uses are located to the south of the project site.
4. The proposed project is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for commercial use by the 1986 South Sacramento Community Plan and the proposed restaurant conforms with the plan designation.

P87337

11.) 117-0231-003

12.) 117-0012-19

13.) 117-0012-15



LAND USE & ZONING MAP

P87-337

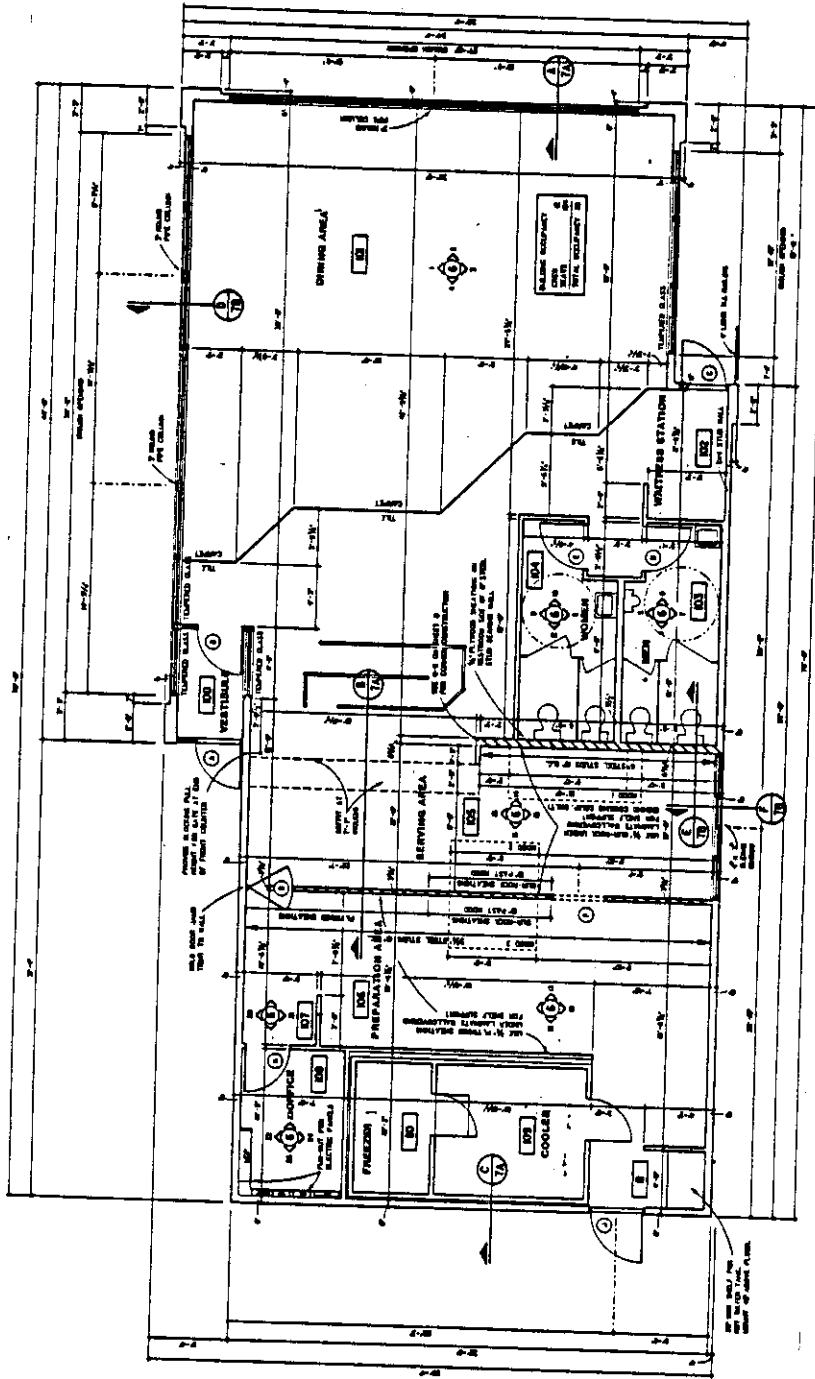
8-27-87

ITEM 17

FLOOR PLANS



FRONT
↓



FLOOR PLAN
1/4" = 1'-0"

SCALE IN FEET

WENDY'S
VALLEY - HI DRIVE
SACRAMENTO, CALIFORNIA

BUILDING FLOOR PLAN

FOX ENGINEERING GROUP
1400 R Street, Suite G
Sacramento, CA 95811
1 - Civil/Arch. Planning & Construction
2 - Mechanical/Electrical
3 - Structural
4 - Other

NO.	DATE	DESCRIPTION
1	8-27-87	ISSUED FOR PERMITS
2		
3		
4		
5		
6		
7		
8		
9		
10		

DATE: 8/27/87
DRAWN BY: [Name]
CHECKED BY: [Name]

P87-337

8-27-87

ITEM 17

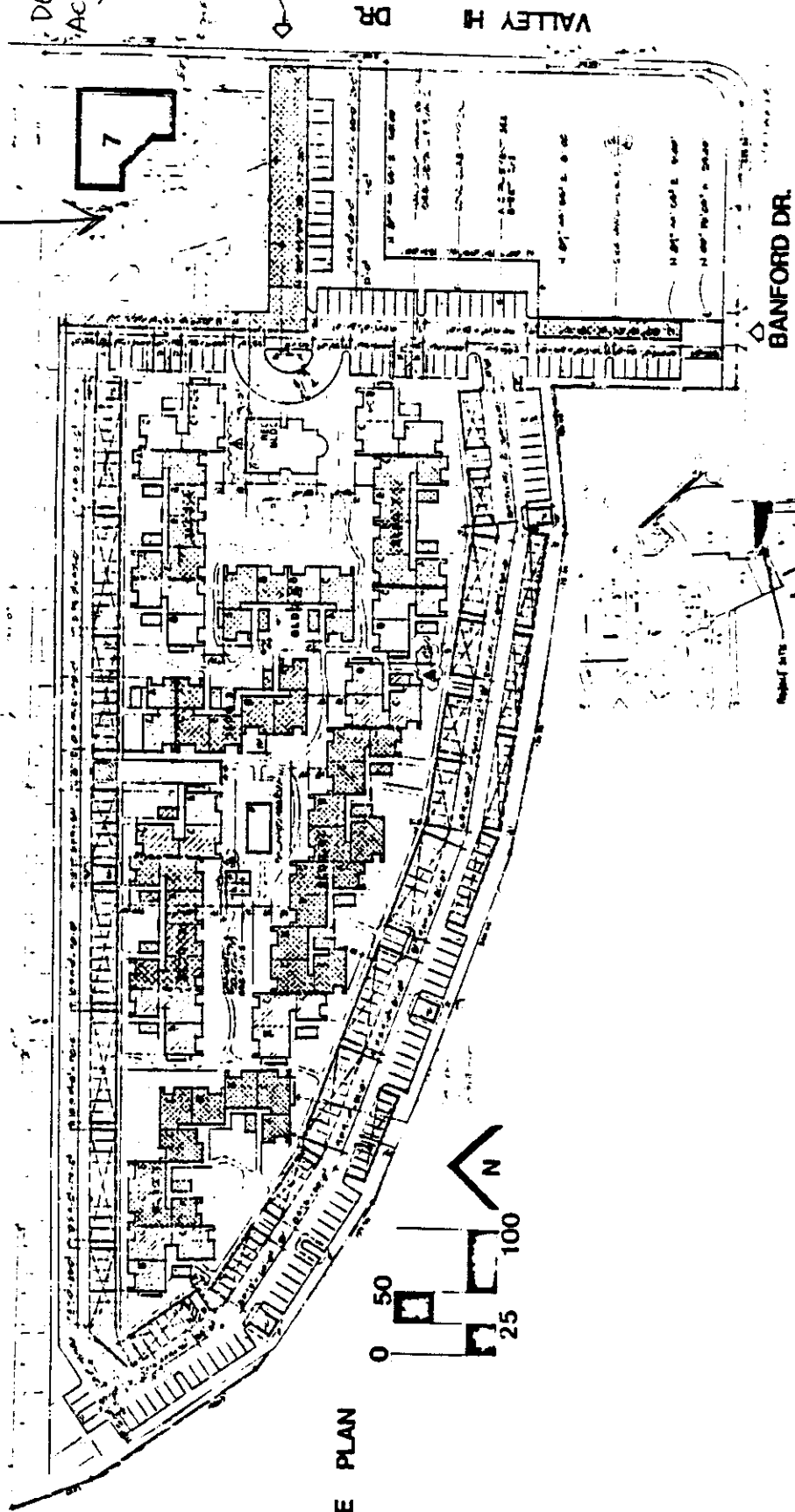


THE SPRINGFIELD COUNTY PLANNING COMMISSION

DESIGNATED ACCESS
OFFICE COMPLEX
VALLEY HI DR

SCHMATIC PLAN

PROJECT SITE



VALLEY HI CENTRUM™

SITE PLAN

P87-337

8-27-87

ITEM 17

1. Landscaping

- a. A landscaping plan shall be submitted for staff review and approval prior to the issuance of the first building permit.
- b. Landscaping shall consist primarily of drought resistant material. Trees shall be planted and maintained throughout the surfaced parking lot to insure that within 15 years, 50 percent of the parking area will be shaded. Each Building Permit for the development of a structure within the P.U.D. shall be accompanied with a shading diagram for the review and approval of the Planning Department.
- c. For the purpose of providing year round screening of parking lots from the streets, the abutting frontages shall include predominantly evergreen trees, shrubs and natural ground cover. Said planter area shall be 25 feet in width. Landscaping treatment in these planters shall include four foot high undulating berming. Undeveloped areas proposed for future expansion shall be maintained in a reasonably weed free condition but need not be landscaped.

~~Staff notes the applicant proposes a five foot wide planter along Valley Hi Drive. Staff recommends the applicant comply with the required 25 foot wide planter as required in c above.~~

- d. All landscaping shall be maintained in a neat and orderly fashion.
- e. Minimum landscape coverage percentage for property within the P.U.D. shall be 35 percent.

2. Parking Area Standards

- a. Adequate off-street parking shall be provided to accommodate all parking needs of the site. The intent is to eliminate the need for any on-street parking.
- b. Required off-street parking shall be provided contiguous to the structure to be served.

~~The zoning ordinance requires one parking space per three seats. The applicant has indicate a total of 104 seats to be provided. The proposed site plan indicates 35 parking spaces, permitting a total of 104 seats.~~

- c. Minimum parking lot dimensions shall correspond to standards provided in the City Zoning Ordinance with the front two feet of all stalls, the area into which the vehicles bumper overhangs, being incorporated into adjacent landscape or walkway improvements resulting in a 16 foot long surfaced depth of the parking stall. No individual prefabricated wheel stop will be permitted. A continuous six-inch raised concrete curb shall be provided along all landscaped areas abutting parking or drives.

- d. Curbs and drives shall be constructed in accordance with the latest requirements of the City of Sacramento.

3. Exterior Lighting

- a. Lighting shall be designed in such a manner as to provide safety and comfort for occupants of the development and the general public.
- b. Lighting design shall be such as not to produce hazardous and annoying glare to motorists and building occupants, adjacent residents, or the general public.
- c. Lighting is to be oriented away from the properties adjacent to the P.U.D.
- d. Lighting intensities in foot candles shall be:
 - 1) Parking lots - 1 F.C. Minimum
 - 2) Entrance driveways - 2 F.C. Minimum
 - 3) Pathway corridors - 0.25 F.C. Minimum

4. Building Standards

- a. One story structures shall be located adjacent to the adjoining residential uses ~~as shown on Schematic Plan (P1)~~.
- b. One story structures shall not exceed 16 feet in height.
- c. Two story structures shall not exceed 32 feet in height.
- d. Building coverage shall not exceed 20 percent of the site.
- e. Building height and setbacks shall be in conformance with the adopted Schematic Plan, ~~Exhibit P1 and P2~~. The proposed building shall be setback a minimum of 25 feet from the east and north property lines.
- f. Exterior building colors shall consist of earth tones.
- g. All exterior building materials shall consist of wood, stucco and glass in conformance with the Schematic Plan, ~~Exhibit P2~~.

- h. Large roof projections such as air conditioning, ventilating, or other mechanical equipment shall be screened, enclosed or integrated in such a manner as to hide such equipment. The design and material of such screening shall be compatible with the building. Projections shall be painted to match roof or building.

~~Staff has reviewed the proposed building elevations and recommends a design change in the existing roof to a gable roof with overhang.~~

6.5. Mechanical Equipment

- a. All mechanical equipment, utility meters and storage tanks shall be located in such a manner so as not to be visible to the general public.
- b. If concealment within the building is not possible, then such utility elements shall be concealed by screen.
- c. Penthouses and mechanical equipment screening shall be of a design and materials similar to and compatible with those used in the related buildings.
- d. Underground utility lines throughout the project shall be required.
- e. All mechanical equipment shall be located in such a manner so as not to cause nuisance or discomfort from noise, fumes, odors, etc.

6.6. Exterior Fire Stairs

In no case, shall nonenclosed exterior fire stairs be permitted.

6.7. Temporary Structures

- a. The only temporary structures permitted shall be those attendant to the construction of a permanent building.
- b. Such structures shall be placed as inconspicuously as possible and cause no inconvenience to the general public.

6.8. Walks and Plaza Materials

Materials selected for walks and plazas shall be related to the materials of the buildings and compatible with walk and path system standards. Surface shall be non-skid finish. Layout and design shall provide maximum comfort and safety to pedestrians.

9. Sign Regulations

This criteria will aid in eliminating excessive and confusing sign displays, preserve and enhance the appearance of Valley Hi Centrum Planned Unit Development, safeguard and enhance property values, and will encourage signs which by their good design are integrated with and are harmonious to the building and sites which they occupy.

These sign regulations are intended to compliment the City of Sacramento Sign Ordinance No. 2868, Fourth Series. In all cases, the most restrictive requirements will apply.

10. General Requirements for Signs

- a. A sign program shall be submitted for review and approval by the City Planning staff prior to issuance of sign permits.
- b. In no case shall flashing, moving or audible signs be permitted.
- c. No signs of any sort shall be permitted on building roofs or canopy roofs.
- d. In no case shall the wording of signs describe the products sold, prices, or any type of advertising except as part of the occupant's trade name or insignia.
- e. All conductors, transformers, and other equipment shall be concealed.
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- g. All signs, fastenings, bolts and clips shall be of hot dipped galvanized iron, stainless steel, aluminum, brass or black iron of any type will be permitted.
- h. All exterior letters or signs exposed to the weather shall be mounted at least three-fourths inch (3/4") from the building to permit proper dirt and water drainage.
- i. No signmaker labels or other identification will be permitted on exposed surface of signs, except those required by local ordinance which shall be located in an inconspicuous location.
- j. No individual occupant shall install signs or paint lettering on outside office windows.

2.1. Permitted Signs

A. Detached Signs - One detached monument sign is allowed for each parcel. The monument sign (s) shall meet the following requirements:

- 1) The monument sign(s) may be placed in the landscape setback area, however, it must be located farther than 10 feet from the public right-of-way and from any driveway.
- 2) The height of the monument sign(s) shall not exceed six (6) feet measured from the sidewalk.
- 3) ~~The maximum sign area for the monument sign on Lot B (medical office) shall not exceed 16 square feet.~~ The maximum sign area for the monument sign on ~~Loc C (restaurant site)~~ shall be 48 square feet. The sign shall indicate the name of the building or the major tenant; multiple tenants on the monument sign shall not be permitted.
- 4) The primary materials of the monument base or wall shall be decorative masonry, such as brick, split face concrete block, stucco, or similar material which compliment the design of the building on the subject site. Sign materials shall be compatible with the main building.

B. Attached Signs - One attached sign for each building tenant is permitted. Signs shall be individual letters (canned plastic signs are not permitted). Sign area shall be determined by the lineal frontage of each individual shop/occupancy as follows:

- 1) Width of sign, including any logo, shall not exceed seventy percent (70%) of the ~~shop's~~ width.
- 2) Total vertical sign height shall not exceed 28 inches.

All proposed signs in the Centrum P.U.D are subject to Planning Director review and approval prior to issuance of sign permits.

The proposed site plan indicates one detached drive up window sign, one detached pylon sign, several detached exit signs and one attached sign. As per the above Valley Hi Centrum P.U.D. sign guidelines, the proposed Wendy's pylon sign is not allowed. This sign must be a monument sign and meet the criteria as outlined in the above ~~lot C (restaurant site)~~ section of the P.U.D. sign guidelines.

~~Staff notes the attached Wendy's sign has a vertical height of approximately 36 inches. The total vertical height of attached signs in the Valley Hi P.U.D. is limited to 26 inches.~~

12
~~12.~~ Issuance of Building Permits

Except as otherwise provided in the Special Permit or in the Resolution, no building permit shall be issued for any building or structure in a Planned Unit Development Project or a land area covered by a Planned Unit Development Designation until the plans submitted for the building permit have been reviewed by the Planning Director and he has determined that said plans conform to a valid special permit issued for a Planned Unit Development under this Section.

13
~~13.~~ Building Occupancy

In accordance with Section 8 of the Zoning Ordinance, "no building or structure unit within a Planned Unit Development may be occupied until an inspection of the project has been made by the Planning Director to see that all conditions of the special permit have been complied with."

14
~~14.~~ Garbage, Loading Dock and Other Services Screening

- a. These elements shall be so located as to cause no nuisance to the general public, occupants of the same and other buildings.
- b. They shall be located in the most inconspicuous manner possible. The project applicant shall coordinate with the utility companies in the location of utility company equipment. Equipment shall be screened from street view. Access doors shall face away from the street.
- c. All garbage and refuse shall, if not contained and concealed within the building, be concealed by means of a screening wall of a material similar to and compatible with that of the building.
- d. These facilities shall be integral with the concept of the building planning and in no way attract attention because of their unplanned character.

~~16. Masonry Wall/Drive Through Restaurant/Access off Valley Hi Drive~~

~~The applicant requests a variance to waive the required six foot high solid masonry wall along the south and west property lines. Staff supports a variance to waive the wall along the south property line but not along the west property line.~~