

CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	<u>Chris Oliveira & Associates, 8395 Jackson Road, #E, Sacramento, CA 95826</u>		
OWNER	<u>Buzz Oates Enterprises - 8401 Jackson Road, Sacramento, CA 95826</u>		
PLANS BY	<u>Chris Oliveira & Associates, 8395 Jackson Road, #E, Sacramento, CA 95826</u>		
FILING DATE	<u>4/1/88</u>	ENVIR. DET.	<u>Neg. Dec. 5/20/88</u> REPORT BY <u>PW:</u>
ASSESSOR'S PCL. NO.	<u>031-0051-004</u>		

AMENDED REPORT - 6/23/88

- APPLICATION:**
- A. Negative Declaration
 - B. Tentative Map to subdivide 21.56+ vacant acres into three lots
 - C. Special Permit to allow the development of a 6,000 sq.ft. office building and a 62,000 sq.ft. office building in the Greenhaven Executive Park PUD
 - D. Variance to locate 25 required parking spaces off-site on the adjacent parcel.

LOCATION: Southeast corner of Greenhaven Drive and Park City Drive

PROPOSAL: The applicant is requesting the necessary entitlements to construct two office buildings totaling 68,000 sq.ft.

PROJECT INFORMATION:

General Plan Designation: Regional Commercial and Office
 1988 Pocket Community
 Plan Designation: Business/Professional Office
 Existing Zoning of Site: OB(PUD)EA-3
 Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Day care center, vacant; C-2(PUD), OB(PUD)
 South: Vacant; R-1, OB(PUD)
 East: Vacant; OB(PUD), I-5
 West: Vacant; OB(PUD)

Parking Required: 272 spaces (1:250 ratio per PUD guidelines)
 Parking Provided: 272 spaces
 Property Dimensions: Irregular
 Property Area: 21.56+ acres
 Square Footage of Building: 1 bldg. at 6,000 sq.ft.
 1 bldg. at 62,000 sq.ft.
 Height of Building: 32' at highest point

BACKGROUND INFORMATION: On January 25, 1983 the Sacramento City Council approved the necessary entitlements to create the Greenhaven Executive Park PUD (P82-039). The approved schematic plan for the 21.56+ acre subject site designates 10 office building sites totaling 282,000 square feet. This application is to develop two office buildings totaling 68,000 square feet.

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On April 13, 1988, by a vote of five ayes and four absent, the Subdivision Review Committee voted to recommend approval of the tentative map subject to conditions which are attached.

STAFF EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site consists of 21.65+ vacant acres in the OB(PUD)EA-3 Zone and within the Greenhaven Executive Park PUD. Surrounding land use is all vacant with OB(PUD) and C-2(PUD) Zoning. A day care center is located to the north of the site across Park City Drive. The Interstate 5 Freeway runs along the eastern boundary of the site.

B. Applicant's Proposal

The applicant is proposing to subdivide the 21.56+ acre site into three parcels and develop two office buildings on two of the parcels (see tentative map). A 62,000 square foot, two-story building is proposed for the 3.7+ acres on parcel 2, and a 6,000 square foot building is proposed for the 1.6 acres on parcel 1. The remaining 16.7+ acres on parcel 3 will be for future development and will require further Planning Commission approval for actual development. The applicant is therefore now requesting a special permit to develop the two office buildings which are 6,000 and 62,000 square feet, respectively.

Staff prepared preliminary reviews for this project and met with the applicant to satisfy staff's concerns. The submitted plans now conform to the Greenhaven Executive Park PUD Schematic Plan and Development Guidelines. The schematic plan indicates the size (square footage) and footprints of the proposed buildings as a one-story, 6,000 square foot building and a two-story 62,000 square foot building. One issue has surfaced that will require the applicant to make an adjustment to the proposed two-story building. The subject site lies within the Executive Airport Overlay (EA-3) Zone. The EA-3 Zone prohibits structures over 30 feet in height. However, roof top mechanical equipment shall not be included in this measurement. The submitted plans indicate the two-story building is proposed to be 32 feet in height. Staff has explained this EA-3 Zone height restriction to the applicant, and the applicant has indicated that the building plans will be re-designed to meet this concern.

C. Site Plan

The submitted site plans indicate two office buildings with parking along the periphery of the site. Landscaping is proposed around the buildings and between the public right-of-ways and the parking areas. The PUD Guidelines require 25% landscape coverage for the two-story building and 20% for the one-story. The proposal meets this requirement. The setback area adjacent to Greenhaven Drive must have an undulating berm 3½ feet in height. All

landscaping should be of natural living material and be fully automatically irrigated. All surface parking must meet the City's 50% shading requirement. Prior to the issuance of any temporary or final occupancy permits the projects landscaping shall be installed. Staff will make an on-site review of the irrigation and landscaping when completed. The remaining 16.7+ acres surrounding the two building site should be maintained in a reasonably weed-free condition but need not be landscaped.

The parcel adjacent to the subject site along Park City Drive is of some concern to staff (see site plan). Staff recommends that the applicant either purchase the property or reach an agreement with the present owner to allow landscaping of this area.

The PUD guidelines require one parking space per 250 square feet for office development. Based on the 1:250 ratio and the 68,000 square footage total, 272 on-site parking spaces are required. The proposed site plan and the applicant's project application state that 272 parking spaces have been provided. However, a count of the spaces drawn on the site plan reveals 271 spaces. This discrepancy of one space should be cleared up by a minor revision of the site plan adding the additional required space. The driveway off of Park City Drive requires access across parcel 031-0051-09. The applicant must obtain a reciprocal access agreement from the property owner. Also, the applicant should provide reciprocal access to parcel 031-0620-009. The Traffic Engineer recommends the applicant dedicate Corporate Way to a 54' right-of-way and extend street south through the Executive Park and intersect with Greenhaven Drive to the satisfaction of the Traffic Engineer. This is consistent with the PUD schematic plan.

D. Building Design

The submitted building elevations featuring brick with soldier courses and greenhouse-style windows are the result of several meetings with staff. The Design Review staff made various recommendations on design and building materials with specific modifications during the preliminary review for the project. The elevations now submitted conform to both the PUD guidelines and staff concerns with some minor exceptions. As previously mentioned, the building heights must be reduced from 32' to 30' in order to meet the requirements of the Executive Airport Overlay Zone. The applicant has indicated to staff that this modification can be achieved. The other revision refers to the one-story building. Staff recommends extending the width of the entrance area on the front elevation in order to give the entrance more definition. The entrance area should be extended from the proposed 12 foot width to 18 feet on the front elevation only.

E. Signage and Lighting

A sign program has not be submitted with this application. The applicant has indicated that a signage proposal will be submitted separately. Any signs for the project shall conform to the PUD guidelines and the City Sign Ordinance.

The applicant proposes both wall mounted lights and pole mounted in the parking areas. Staff recommends that lighting shall be oriented away from adjacent properties.

Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Exterior Building Materials:	Brick and tinted glass
Roof Material:	Built-up roofing, concealed from view
Exterior Building Colors:	Brick, earth tones

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equipment shall not be included in this measurement. The submitted plans indicate the two-story building is proposed to be 32 feet in height. Staff has explained this EA-3 Zone height restriction to the applicant, and the applicant has indicated that the building plans will be re-designed to meet this concern.

C. Site Plan

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The parcel adjacent to the subject site along Park City Drive is of some concern to staff (see site plan). Staff recommends that the applicant either purchase the property or reach an agreement with the present owner to allow landscaping of this area.

The PUD guidelines require one parking space per 250 square feet for office development. Based on the 1:250 ratio and the 68,000 square footage total, 272 on-site parking spaces are required. The proposed site plan and the applicant's project application state that 272 parking spaces have been provided. However, a count of the spaces drawn on the site plan reveals 271 spaces. This discrepancy of one space should be cleared up by a minor revision of the site plan adding the additional required space. The driveway off of Park City Drive requires access across parcel 031-0051-09. The applicant must obtain a reciprocal access agreement from the property owner. Also, the applicant should provide reciprocal access to parcel 031-0620-009. The Traffic Engineer recommends the applicant dedicate Corporate Way to a 54' right-of-way and extend street south through the Executive Park and intersect with Greenhaven Drive to the satisfaction of the Traffic Engineer. This is consistent with the PUD schematic plan.

Staff has determined after further review, that a variance to locate 25 parking spaces off-site, is required for the larger office building. Although the total combined number of required parking spaces for the entire project was satisfied on the original site plan, the building on parcel 2 is deficient 25 spaces on-site. The P.U.D. guidelines have no provision for using a parking access agreement rather than a variance,

var

var

- D. Air conditioning or other suitable means of ventilation must be provided to allow occupants to close doors and windows for the required acoustical isolation.
- E. Construction techniques must be consistent with the assumptions and minimum building practices cited in this report.
- F. Outdoor activity areas, such as employee lunch areas, shall be located on building sides not facing the freeway, so that the building structure will form a barrier between the activity area and the freeway.
- G. No structure on the project site shall exceed 30 feet in height.

STAFF RECOMMENDATION: Staff recommends the Commission take the following actions:

- A. Ratify the Negative Declaration;
- B. Recommend approval of the Tentative Map subject to conditions that follow; and
- C. Approval of the Special Permit subject to conditions and based upon findings of fact which follow.
- D. *Approval of the variance to locate 25 parking spaces off-site subject to conditions and based upon findings of fact which follow.*

Conditions - Tentative Map

The Subdivision Review Committee recommends approval of the tentative map. The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code;
2. Prepare a sewer and drainage study for the review and approval of the City Engineer;
3. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments;
4. Submit a soils test prepared by a registered engineer to be used in street design;

5. Submit a soils test prepared by a registered engineer which identifies and recommends solutions for ground water related problems which may occur in both the subdivision lots and the public right-of-way; appropriate facilities shall be constructed to alleviate these problems.
6. Street sections shall be designed to provide for stabilized subgrades and pavement under high ground water conditions.
7. Pay Pocket Bridge fees;
8. Dedicate right-of-way along Corporate Way to 54' per study on file with the City.
9. Show reciprocal access easements on final map to land-locked parcels adjacent to I-5.
10. Improvements shall include improvements at intersection of South Land Park Drive to existing improvements and Corporate Way to Greenhaven Drive. Greenhaven shall be a 90° right-of-way expanded to 110 foot intersection at South Land Park Drive.

Abandon the well on Parcel 3 and any other well which may be on site under permit from the City/County Health.

11. *Map shall have a reciprocal access for maneuvering and parking between parcels 1 and 2.*
12. *The applicant shall provide a reciprocal access agreement from subject site to APN: 031-0620-009.*
13. *The applicant shall obtain a reciprocal access agreement from APN: 031-0051-009 to subject site.*

Note: A portion or all of the property may be in zone "x" of FEMA (FIRM) Flood Maps. Comply with Resolution 83-070 Greenhaven Executive Park and existing P.U.D. guidelines.

of building permits. The revisions shall meet the following concerns of the Design Review staff:

- a. corner support columns are too thin;
 - b. entry stairway looks too industrial in design, quality should be improved for the office use;
 - c. stairway railing suitable for post-modern design rather than this building;
 - d. windows need more movement - either in or out.
15. A revised site plan and landscape plan shall be submitted for review and approval by the Planning Director prior to issuance of building permits.
- *16. The applicant shall relocate the west property line so as to eliminate the need for a parking variance. (CPC amended 6-23-88)

Findings of Fact - Special Permit

1. The special permit, as conditioned, is based upon sound principles of land use in that:
 - a. the project provides adequate parking and landscaping; and
 - b. the project is compatible with the proposed surrounding land uses.
2. The special permit, as conditioned, will not be detrimental to the public health, safety or welfare, nor result in the creation of a nuisance in that the project complies with setback, lot coverage and other requirements of the Greenhaven Executive Park PUD.
3. The proposed project is consistent with both the General Plan and 1988 Pocket Plan in that the site is designated for office uses and the proposed office buildings conform to the plans.

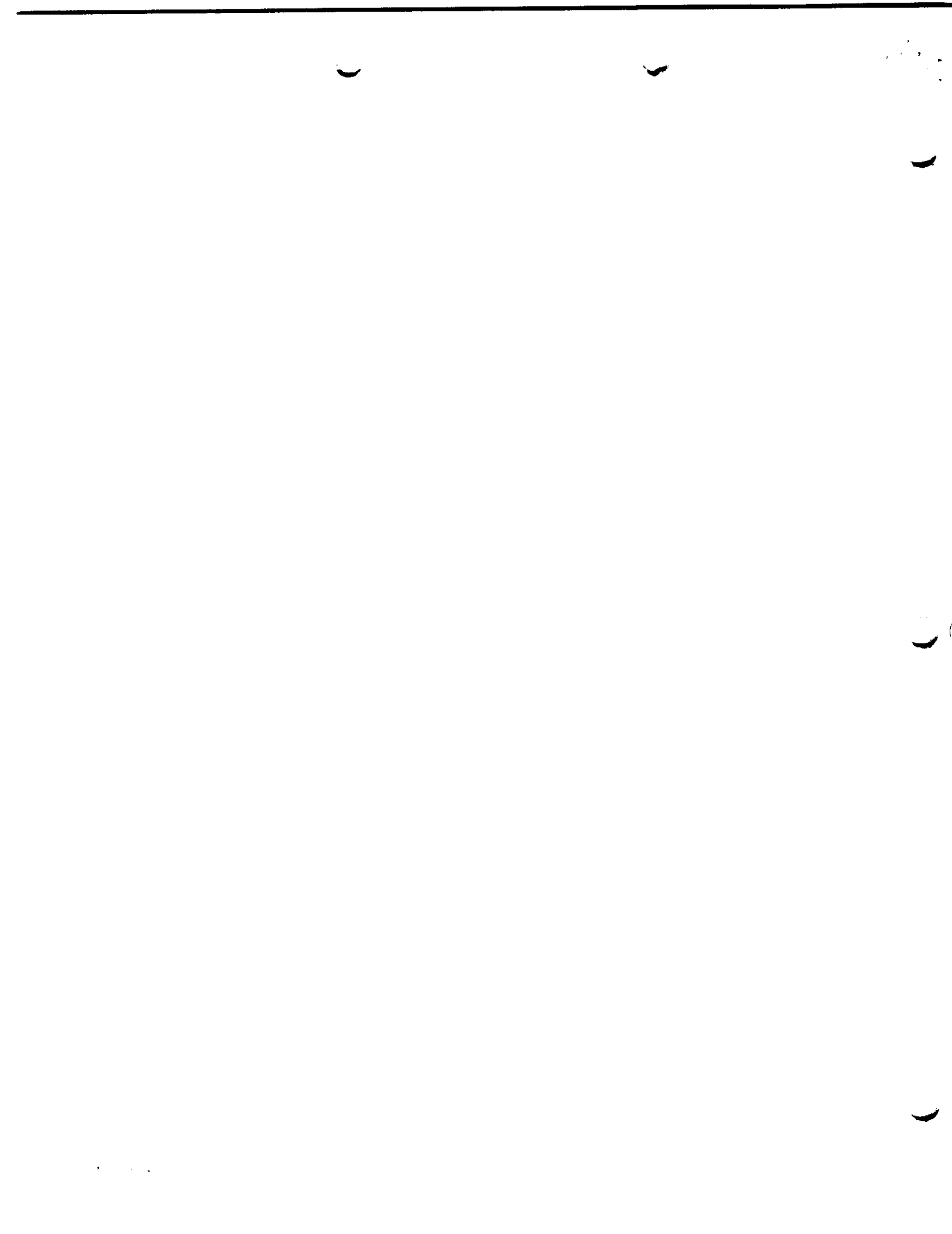
* Conditions - Variance

Applicant shall designate and label the 25 spaces on parcel 1 for the exclusive use of the building on parcel 2.

* Findings of Fact - Variance

1. The requested variance does not constitute a special privilege extended to one individual property owner in that a variance would be appropriate for any property owner facing similar circumstances.
2. The granting of this variance will not be detrimental to the public health or welfare, nor to surrounding properties in that:
 - a. adequate landscaping will be provided; and
 - b. the spaces will be exclusively designated and labeled for use by the office building on parcel 2.
3. The requested variance does not constitute a use variance in that the proposed office building is permitted in the OB P.U.D. zone.
4. The proposed project is consistent with both the General Plan and 1988 Pocket Plan in that the site is designated for office use and the proposed office buildings conform to the plans.

*No longer applies. The Planning Commission required adjustment of the lot line to locate parking on the same lot.



City Planning Commission
Sacramento, California

Members in Session:

- Subject: A. Tentative Map to divide 21.56+ acres into three lots.
- B. Special Permit to develop a 6,000 sq. ft. office building and a 62,000 sq. ft. office building in the Greenhaven Executive Park P.U.D.

SUMMARY: After Hearing testimony at the June 9, 1988 hearing, the Planning Commission continued the item (P88-164) and requested staff to further evaluate the proposed project and focus on the following concerns:

1. Parking/building configuration of the corner site.
2. Building design of the corner site.
3. Parking requirements for each site.

BACKGROUND: At the June 9, 1988 Commission Hearing, a property owner in the area had concerns regarding the design of the one-story building and parking layout. Since the applicant was not present at this hearing, the Commission continued this item.

Staff has re-evaluated the project to address the design and parking concerns and recommends the following revisions to the Special Permit and map (the attached amended report will have all added and revised conditions noted).

1. The corner building shall be relocated closer to Greenhaven Drive with the parking moved to the rear of the building (see Exhibit A); this will be consistent with the Schematic Plan and provide a better landscape solution.
2. A revised site plan shall be submitted to the Planning Director for review and approval prior to issuance of building permits.
3. A revised landscape plan shall be submitted to the Planning Director for review and approval prior to issuance of building permits.
4. The elevations for the small corner building shall be revised to meet the following concerns.
 - a. corner support columns are too thin (out of proportion);
 - b. entry stairway looks too industrial in design; quality should be improved for the office use;
 - c. stairway railing suitable for post-modern design rather than this building; and

- d. windows need more movement - either in or out.
5. The revised elevations shall be submitted to the Planning Director for review and approval prior to issuance of building permits.
6. The 25 off-site parking spaces on parcel one shall be designated and labeled for the exclusive use of parcel 2 office building.

The following condition shall be added to the tentative map.

The map shall have a reciprocal access for maneuvering and parking between parcel 1 and 2.

Staff has determined that a variance to locate 25 required parking spaces off-site is needed and has addressed this added entitlement in the attached amended report. Staff recommends designating and labeling the 25 spaces on parcel 1 for the exclusive use of parcel 2.

Staff has discussed the above mentioned revisions with the applicant and the applicant has indicated agreement to all changes.

RECOMMENDATION: Staff recommends the Planning Commission approve the tentative map and special permit subject to conditions adn based on findings of fact in the attached amended staff report.

Respectfully submitted,

Will Weitman,
Senior Planner

WW:PW:vf

P88-164

June 23, 1988

Item # 12

CITY PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT Chris Oliveira & Associates, 8395 Jackson Road, #E, Sacramento, CA 95826
OWNER Buzz Oates Enterprises - 8401 Jackson Road, Sacramento, CA 95826
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LOCATION: Southeast corner of Greenhaven Drive and Park City Drive

PROPOSAL: The applicant is requesting the necessary entitlements to construct two office buildings totaling 68,000 sq.ft.

PROJECT INFORMATION:

General Plan Designation: Regional Commercial and Office
1988 Pocket Community

Plan Designation: Business/Professional Office

Existing Zoning of Site: OB(PUD)EA-8

Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Day care center, vacant; C-2(PUD), OB(PUD)

South: Vacant; R-1, OB(PUD)

East: Vacant; OB(PUD), I-5

West: Vacant; OB(PUD)

Parking Required: 272 spaces (1:250 ratio per PUD guidelines)

Parking Provided: 272 spaces

Property Dimensions: Irregular

Property Area: 21.56+ acres

Square Footage of Building: 1 bldg. at 6,000 sq.ft.

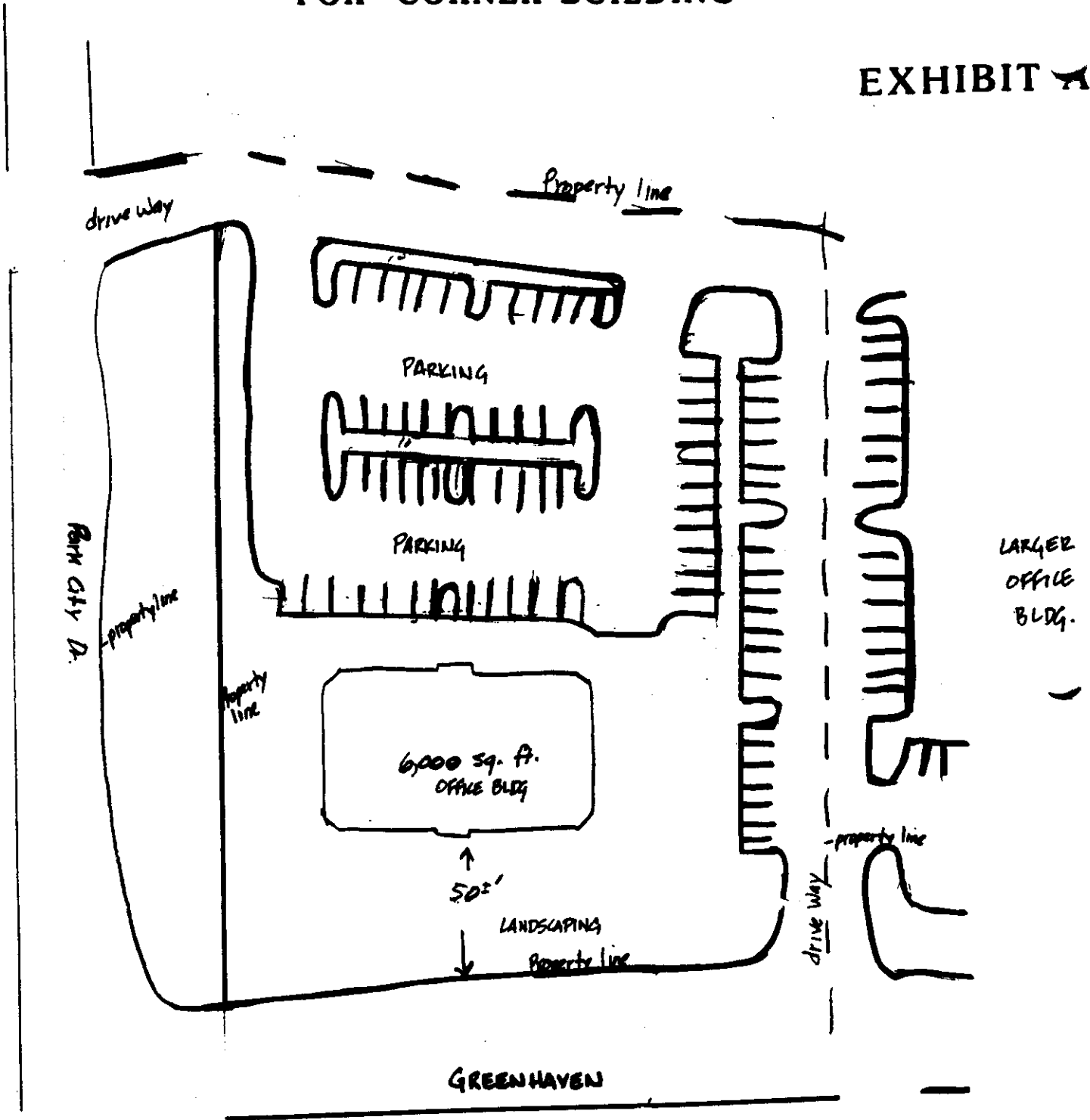
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Height of Building: 32' at highest point

APPLC. NO. P88-164 MEETING DATE June 23, 1988 ITEM NO. 12

EXAMPLE OF ALTERNATIVE SITE PLAN
FOR CORNER BUILDING

EXHIBIT A



Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Exterior Building Materials:	Brick and tinted glass
Roof Material:	Built-up roofing, concealed from view
Exterior Building Colors:	Brick, earth tones

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The applicant proposes both wall mounted lights and pole mounted in the parking areas. Staff recommends that lighting shall be oriented away from adjacent properties.

F. TSM

The City's Transportation System Management (TSM) Ordinance requires a Transportation Management Plan (TMP) for office developments over 57,000 square feet in size. The proposed project, would require such a plan prior to the issuance of a building permit. The TMP should be submitted for review to the City's Transportation Coordinator at least 60 days prior to issuance of building permits.

G. Agency Comments

The proposed project was reviewed by the City's Traffic Engineering, TSM Coordinator, Engineering, Building Inspection and Fire Marshal

Divisions as well as Regional Transit. The following comments were received.

TSM Coordinator

Major projects require Transportation Management Plans prior to issuance of building permit. This project is part of the Greenhaven Executive Park PUD and the following TSM measures are recommended as part of the plan.

- | | |
|---------------------------------|------|
| 1. Transit Pass Subsidy | 2.5% |
| 2. Shower and Locker Facilities | 2.5% |
| 3. Transit Operating Subsidy | 2.5% |
| 4. Transportation Coordinator | 2.5% |
| 5. Car Pool/Van Pool Parking | 2.5% |
| 6. Flextime | 2.5% |

15.0%

Traffic Engineering

1. Dedicate and construct Greenhaven Drive to 90 foot right-of-way.
2. Dedicate Corporate Way to 54 foot right-of-way and extend street south through the Executive Park and intersect with Greenhaven Drive to the satisfaction of the Traffic Engineer.
3. Provide reciprocal access to APN 031-0620-028.
4. Obtain reciprocal access from APN 031-0051-009.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the proposed project will not have an adverse environmental impact and has filed a negative declaration with the following mitigation measures.

- A. The applicant shall provide a geo-technical report prepared by a recognized professional engineering geologist or firm to the satisfaction of the City Building Official prior to the issuance of a building permit.
- B. The applicant shall conform to the requirements of the Uniform Building Code and all other State and local regulations governing excavations and foundation and structural design and construction.
- C. All windows and doors must be weather-stripped or mounted in low air-infiltration design frames meeting ANSI air infiltration standards.

- D. Air conditioning or other suitable means of ventilation must be provided to allow occupants to close doors and windows for the required acoustical isolation.
- E. Construction techniques must be consistent with the assumptions and minimum building practices cited in this report.
- F. Outdoor activity areas, such as employee lunch areas, shall be located on building sides not facing the freeway, so that the building structure will form a barrier between the activity area and the freeway.
- G. No structure on the project site shall exceed 30 feet in height.

STAFF RECOMMENDATION: Staff recommends the Commission take the following actions:

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3. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments;
4. Submit a soils test prepared by a registered engineer to be used in street design;

5. Submit a soils test prepared by a registered engineer which identifies and recommends solutions for ground water related problems which may occur in both the subdivision lots and the public right-of-way; appropriate facilities shall be constructed to alleviate these problems.
6. Street sections shall be designed to provide for stabilized subgrades and pavement under high ground water conditions.
7. Pay Pocket Bridge fees;
8. Dedicate right-of-way along Corporate Way to 54' per study on file with the City.
9. Show reciprocal access easements on final map to land-locked parcels adjacent to I-5.
10. Improvements shall include improvements at intersection of South Land Park Drive to existing improvements and Corporate Way to Greenhaven Drive. Greenhaven shall be a 90° right-of-way expanded to 110 foot intersection at South Land Park Drive.

Abandon the well on Parcel 3 and any other well which may be on site under permit from the City/County Health.

11. *Map shall have a reciprocal access for maneuvering and parking between parcels 1 and 2.*
12. *The applicant shall provide a reciprocal access agreement from subject site to APN: 031-0620-009.*
13. *The applicant shall obtain a reciprocal access agreement from APN: 031-0051-009 to subject site.*

Note: A portion or all of the property may be in zone "x" of FEMA (FIRM) Flood Maps. Comply with Resolution 83-070 Greenhaven Executive Park and existing P.U.D. guidelines.

Conditions - Special Permit

1. The applicant shall comply with all environmental mitigation measures listed in Section H of this report.
 - a. The applicant shall provide a geo-technical report prepared by a recognized professional engineering geologist or firm to the satisfaction of the City Building Official prior to the issuance of a building permit.
 - b. The applicant shall conform to the requirements of the Uniform Building Code and all other State and local regulations governing excavations and foundation and structural design and construction.
 - c. All windows and doors must be weather-stripped or mounted in low air-infiltration design frames meeting ANSI air infiltration standards.
 - d. Air conditioning or other suitable means of ventilation must be provided to allow occupants to close doors and windows for the required acoustical isolation.
 - e. Construction techniques must be consistent with the assumptions and minimum building practices cited in this report.
 - f. Outdoor activity areas, such as employee lunch areas, shall be located on building sides not facing the freeway, so that the building structure will form a barrier between the activity area and the freeway.
 - g. No structure on the project site shall exceed 30 feet in height.
2. The setback area adjacent to Greenhaven Drive shall be landscaped with a 3½ feet undulating berm with lawn material.
3. The parcel adjacent to the subject site along Park City Drive shall either be purchased by the applicant or the applicant shall arrange an agreement with the present owner to allow landscaping of this area.

4. The submitted site plan shall be revised to indicate the required 271 parking spaces and shall be reviewed and approved by the Planning Director prior to issuance of building permits.
- ~~5. The applicant shall provide a reciprocal access agreement from subject site to APN 031-0620-009.~~
- ~~6. The applicant shall obtain a reciprocal access agreement from APN 031-0051-009 to subject site.~~
- 5.7/ The applicant shall dedicate Corporate Way to a 54 foot right-of-way and extend street south through the Executive Park and intersect with Greenhaven Drive to the satisfaction of the Traffic Engineer.
- 6.8/ The applicant shall prepare a Transportation Management Plan for review and approval by the City's TSM Coordinator prior to issuance of building permits.
- 7.9/ The applicant shall revise the building elevations to reflect a maximum building height of 30 feet.
- 8.10/ The building elevation of the one-story building shall be revised to show an increase in the width of the entrance area from the present 12 feet to 18 feet.
- 9.11/ The revised elevations shall be reviewed and approved by the Planning Director prior to the issuance of building permits.
- 10.12/ The applicant shall submit a sign program for review and approval by the Planning Director prior to issuance of sign permits.
- 11.13/ The project shall comply with all requirements of the Greenhaven Executive Park PUD Guidelines.
- 12.14/ The Planning Director shall inspect the sites prior to final inspection approval by the Building Division.
13. The corner 6,000 sq. ft. building shall be relocated closer to Greenhaven Drive with the parking moved to the rear of the building to the satisfaction of the Planning Director prior to issuance of building permits.
14. The elevations for the 6,000 sq. ft. corner building shall be revised and submitted to the Planning Director prior to issuance

of building permits. The revisions shall meet the following concerns of the Design Review staff:

- a. corner support columns are too thin;
 - b. entry stairway looks too industrial in design, quality should be improved for the office use;
 - c. stairway railing suitable for post-modern design rather than this building;
 - d. windows need more movement - either in or out.
15. A revised site plan and landscape plan shall be submitted for review and approval by the Planning Director prior to issuance of building permits.

Findings of Fact - Special Permit

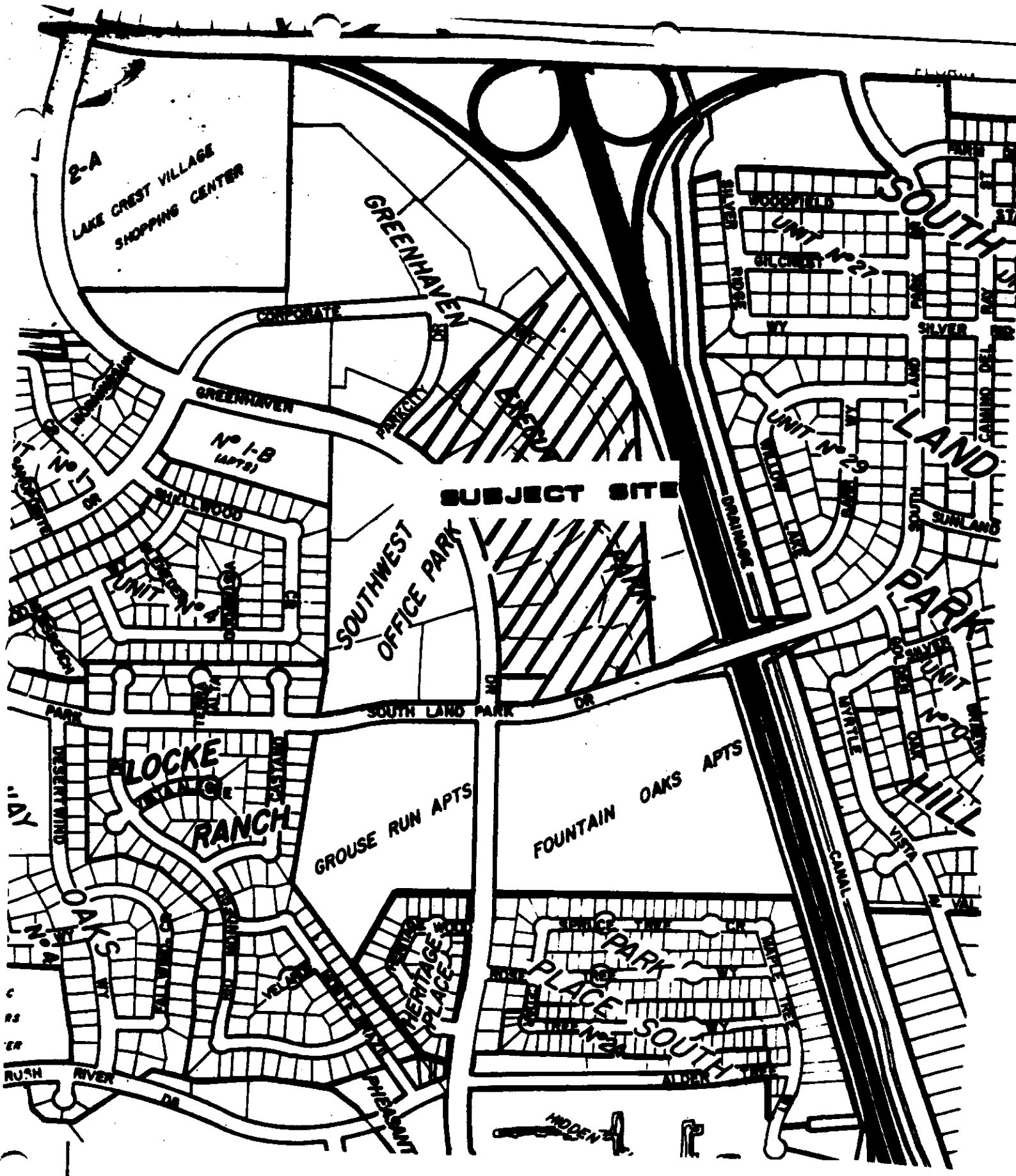
1. The special permit, as conditioned, is based upon sound principles of land use in that:
 - a. the project provides adequate parking and landscaping; and
 - b. the project is compatible with the proposed surrounding land uses.
2. The special permit, as conditioned, will not be detrimental to the public health, safety or welfare, nor result in the creation of a nuisance in that the project complies with setback, lot coverage and other requirements of the Greenhaven Executive Park PUD.
3. The proposed project is consistent with both the General Plan and 1988 Pocket Plan in that the site is designated for office uses and the proposed office buildings conform to the plans.

Conditions - Variance

Applicant shall designate and label the 25 spaces on parcel 1 for the exclusive use of the building on parcel 2.

Findings of Fact - Variance

1. The requested variance does not constitute a special privilege extended to one individual property owner in that a variance would be appropriate for any property owner facing similar circumstances.
2. The granting of this variance will not be detrimental to the public health or welfare, nor to surrounding properties in that:
 - a. adequate landscaping will be provided; and
 - b. the spaces will exclusively designated and labeled for use by the office building on parcel 2.
3. The requested variance does not constitute a use variance in that the proposed office building is permitted in the OB P.U.D. zone.
4. The proposed project is consistent with both the General Plan and 1988 Pocket Plan in that the site is designated for office use and the proposed office buildings conform to the plans.

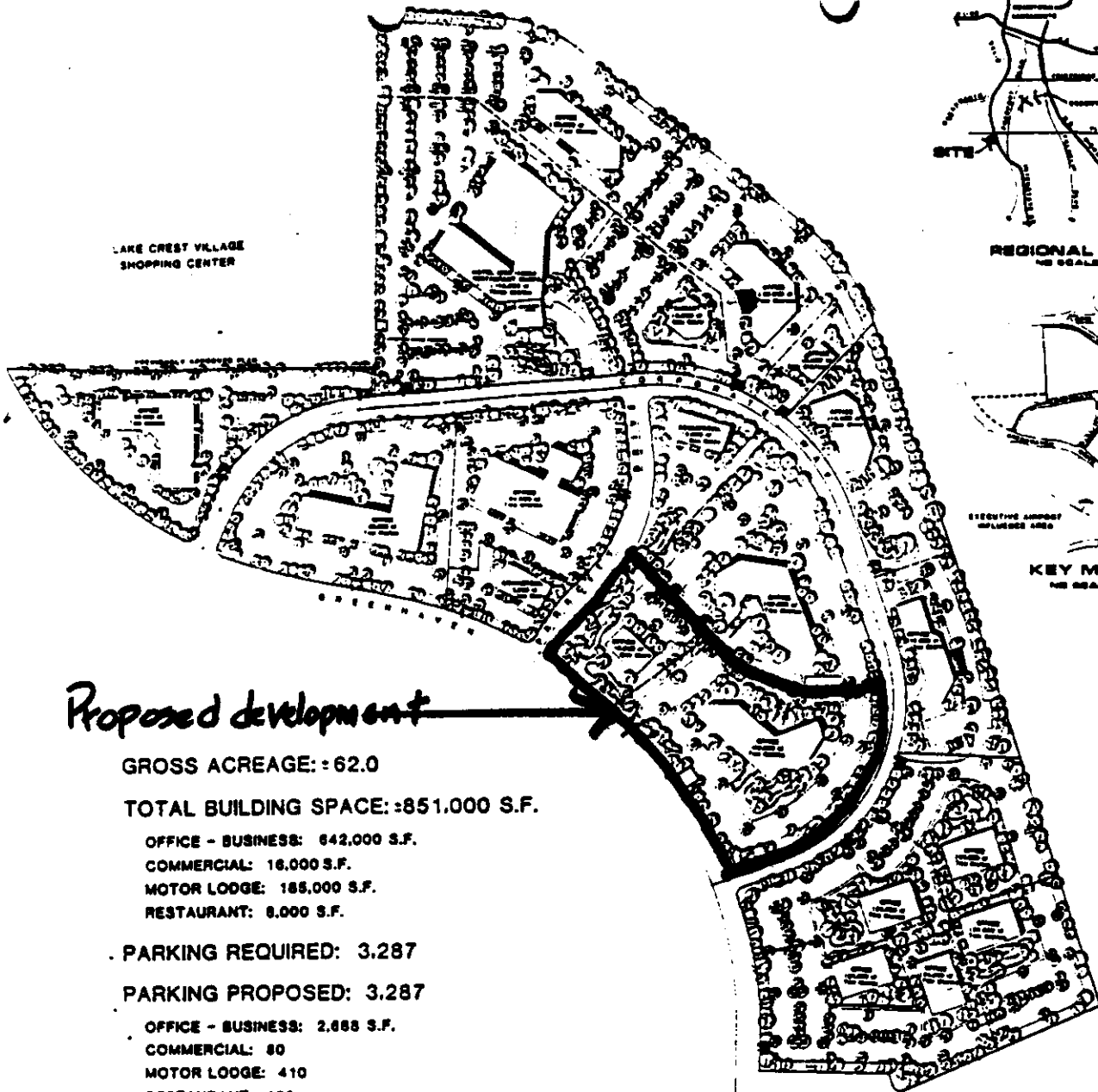


VICINITY MAP

P88-164

6/9/88 623-88

Item 12



Proposed development

GROSS ACREAGE: : 62.0

TOTAL BUILDING SPACE: : 851,000 S.F.

OFFICE - BUSINESS: 642,000 S.F.
 COMMERCIAL: 16,000 S.F.
 MOTOR LODGE: 185,000 S.F.
 RESTAURANT: 8,000 S.F.

PARKING REQUIRED: 3,287

PARKING PROPOSED: 3,287

OFFICE - BUSINESS: 2,688 S.F.
 COMMERCIAL: 80
 MOTOR LODGE: 410
 RESTAURANT: 108

GREENHAVEN EXECUTIVE PARK

SCHEMATIC MASTER PLAN

PSLC DEVELOPMENT COMPANY



VITIELLO • NIIYA, INC. • ARCHITECTS • PLANNERS



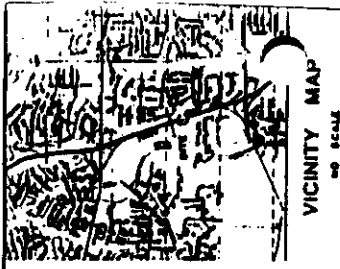
THE SPINK CORPORATION • ENGINEERS

P88-164

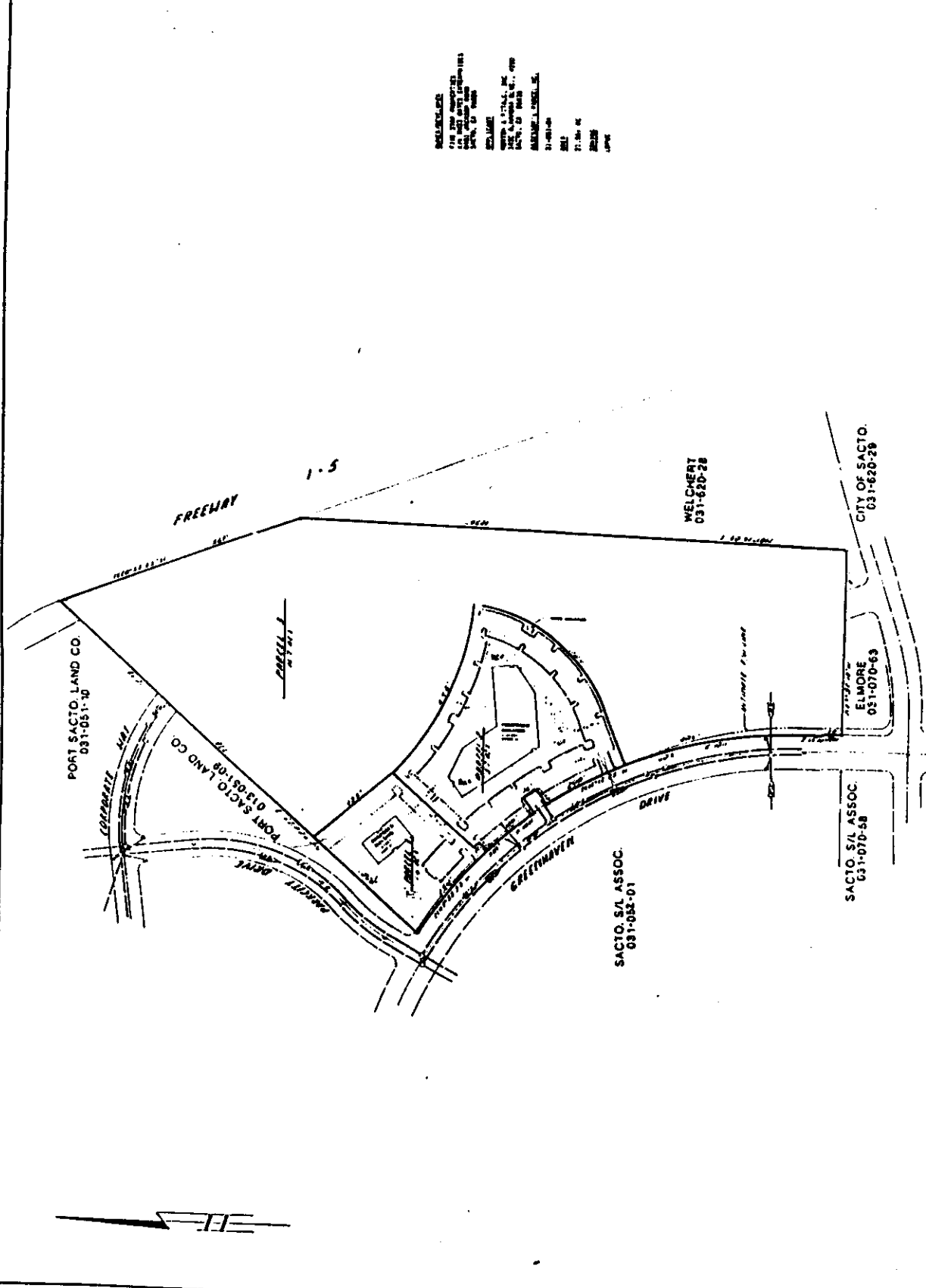
6/9/88-6-23-88

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TENTATIVE MAP



- LEGEND
- 1. EXISTING BUILDINGS
 - 2. EXISTING DRIVE
 - 3. EXISTING DRIVE
 - 4. EXISTING DRIVE
 - 5. EXISTING DRIVE
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 - 99. EXISTING DRIVE
 - 100. EXISTING DRIVE



DATE: 2/22/88		SHEET: 1		JOB: 1		CITY: SACRAMENTO	
TENTATIVE PARCEL MAP				MORTON & PITALO, INC.			
GREENHAVEN BUSINESS PARK				CIVIL ENGINEERING - PLANNING - SURVEYING			
CITY OF SACRAMENTO				CITY OF SACRAMENTO			
DRAWN BY: [Name]		CHECKED BY: [Name]		DATE: [Date]		SCALE: [Scale]	
NO. 1 DESCRIPTION: [Text]		APPROVED DATE: [Date]		APPROVED BY: [Signature]		PROJ. ENGINEER: [Name]	
DIST. NO. [Number]		SEWER MARK: [Text]		ELEV. [Value]		COMPUTED: [Text]	
SCALE: [Text]		HORIZ. 1" = [Text]		VERT. 1" = [Text]		DESIGNED: [Text]	
DRAWN BY: [Name]		CHECKED BY: [Name]		DATE: [Date]		SCALE: [Scale]	
NO. 1 DESCRIPTION: [Text]		APPROVED DATE: [Date]		APPROVED BY: [Signature]		PROJ. ENGINEER: [Name]	

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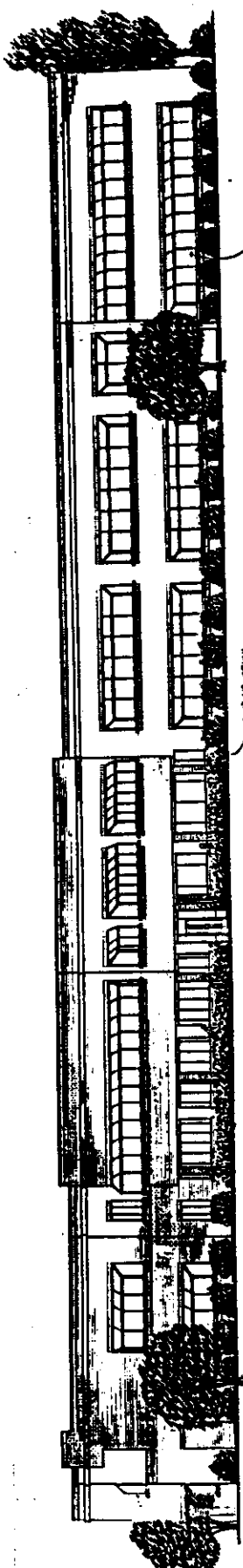
Item # 12

ELEVATIONS

P 88164

CHRIS OLIVERA and ASSOCIATES
 5925 JACKSON ROAD
 SUITE 1
 SACRAMENTO, CALIFORNIA 95826
 (916) 381-1488
 FCI 23407

A SPECIAL PERMIT APPLICATION FOR
 GREENHAWEN EXECUTIVE PARK
 A.P.N. 031-0081-004

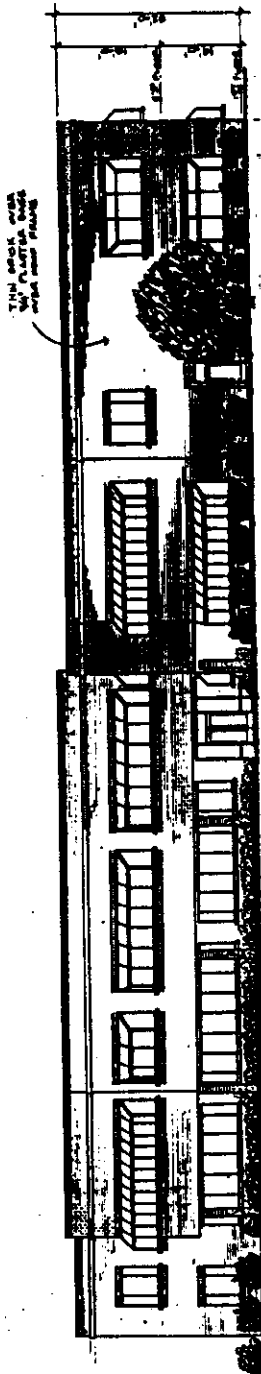


ELEVATION A

CONCRETE
 CLADDING
 ALUMINUM
 WINDOW
 FINISH

SCALE FOUR
 TYPICAL

SCALE FOUR



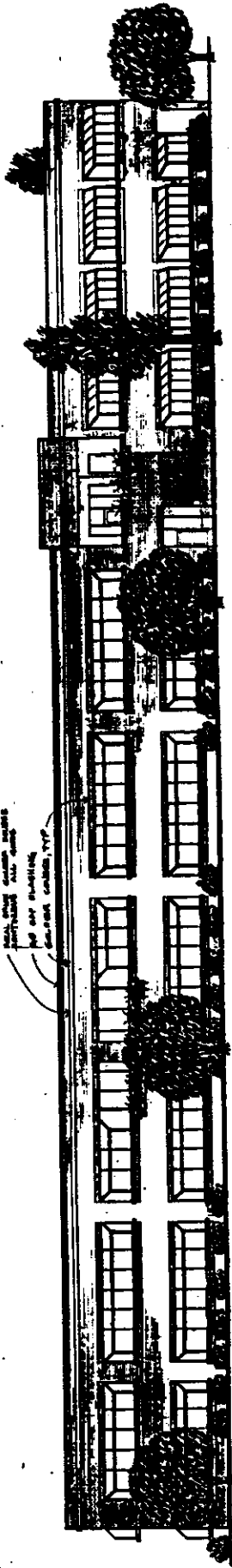
ELEVATION B

TIN BRICK OVER
 1/2" PLASTER BASE
 AND WOOD FINISH

SCALE FOUR

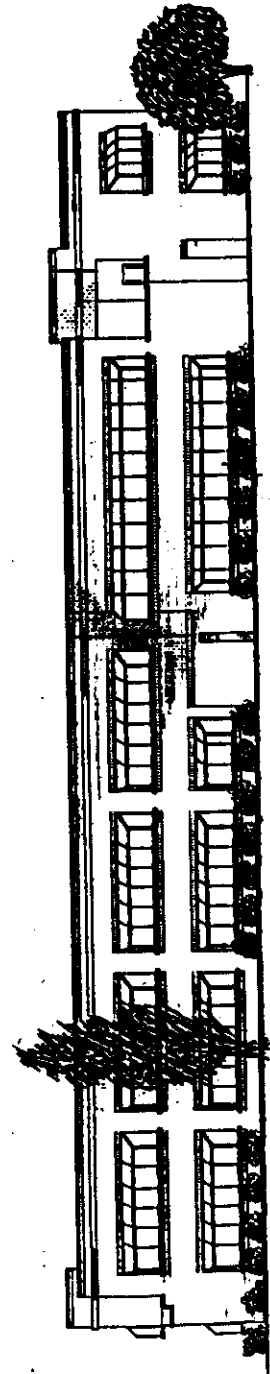
SCALE FOUR
 TYPICAL
 DO NOT BRUSHING
 ALUMINUM
 WINDOW
 FINISH

6/9/88



ELEVATION C

SCALE FOUR

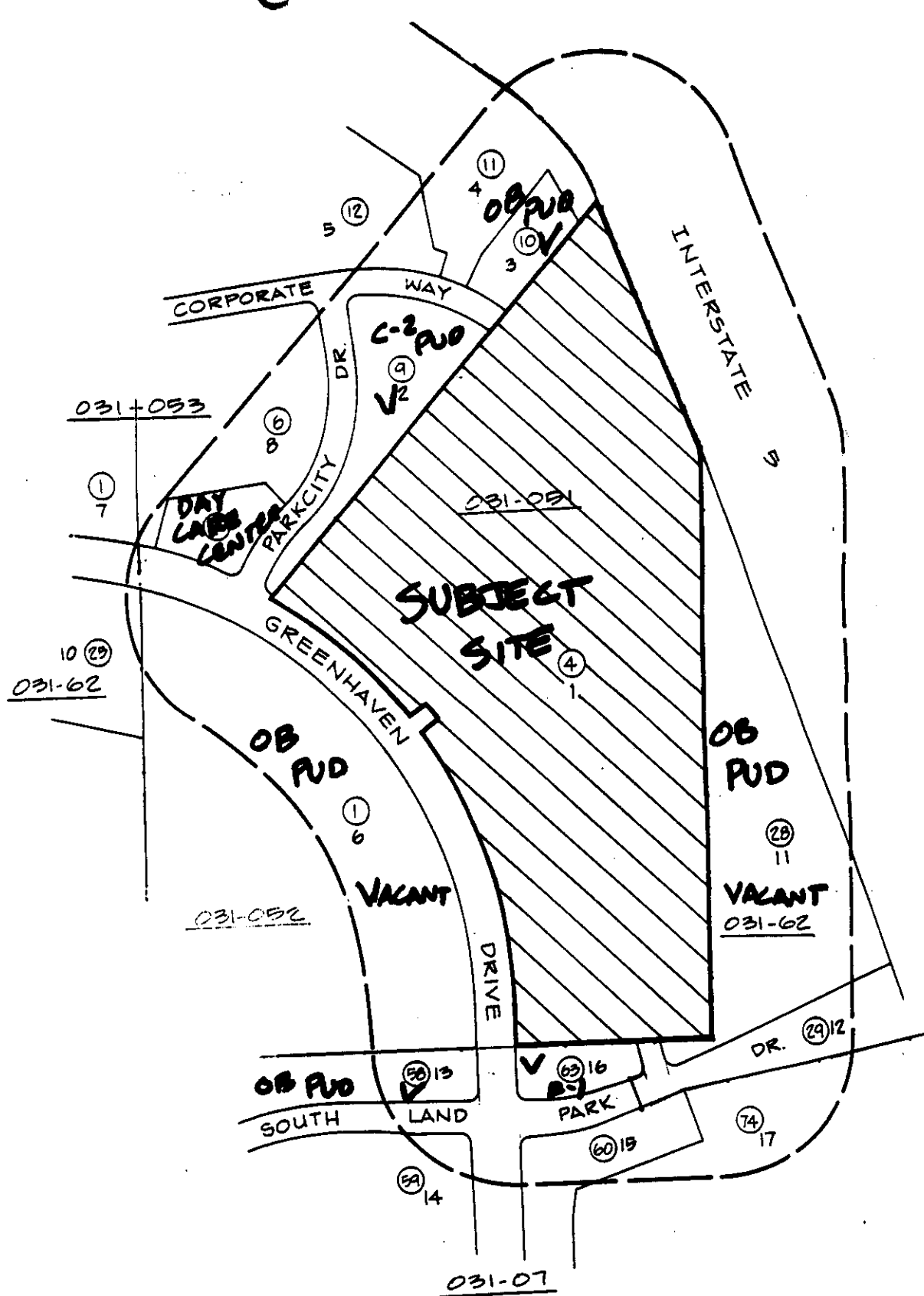


ELEVATION D

SCALE FOUR

Item 18

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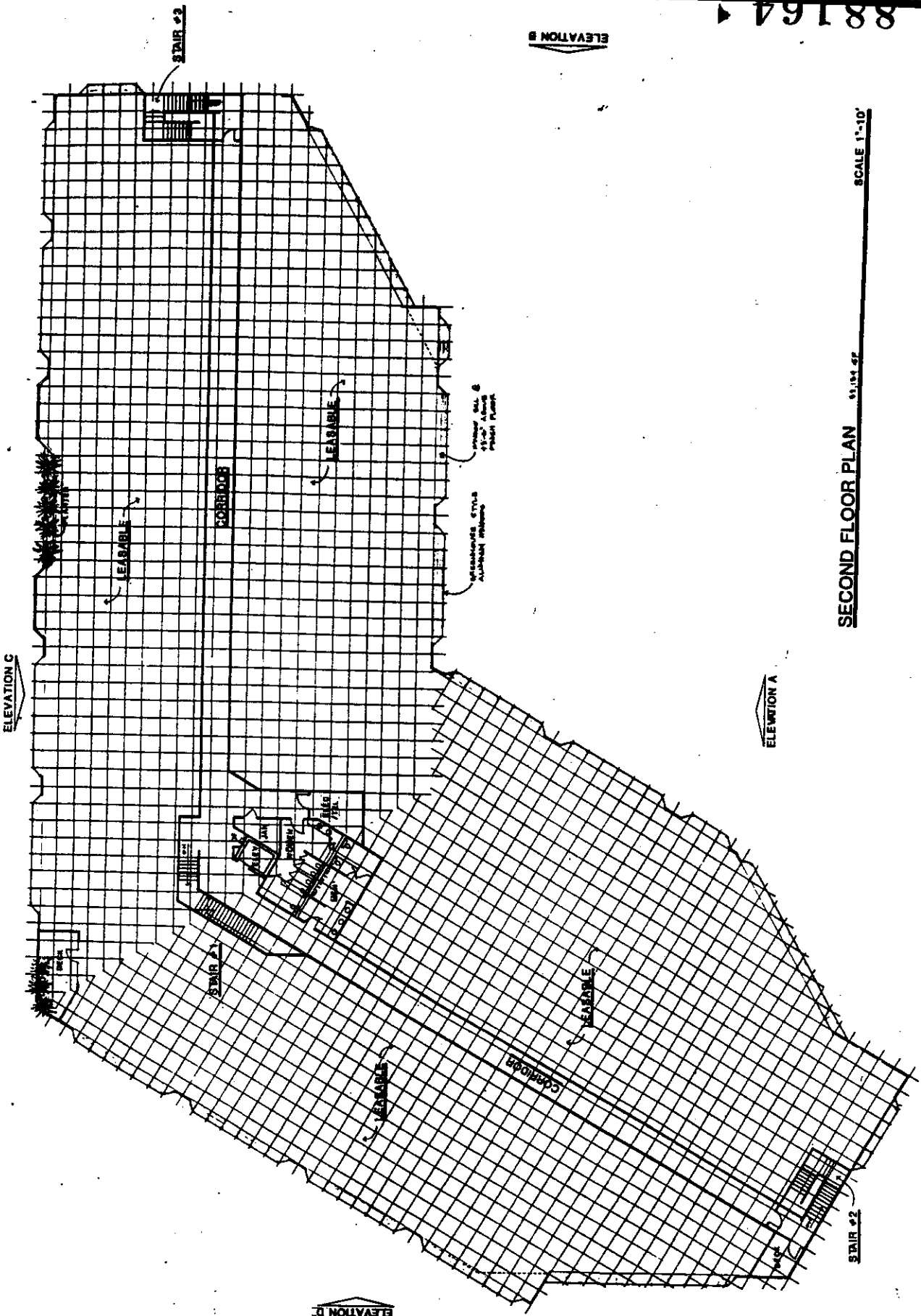
LAND USE & ZONING MAP

CHRIS OLIVERA AND ASSOCIATES
8298 JACKSON ROAD
SUITE 3
SACRAMENTO, CALIFORNIA 95826
NCE 33407 (916) 381-1488

A SPECIAL PERMIT APPLICATION FOR:
GREENHAVEN EXECUTIVE PARK
A.P.N. 051-0081-004

FLOOR PLANS

P 88164



SCALE 1"=10'
SECOND FLOOR PLAN 53,154 SF

P88-164

619188 6-23-88

Item 18/12