

CITY PLANNING COMMISSION  
1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	The Watkins Company, 1610 Arden Way, Sacramento, CA 95817				
OWNER	The Watkins Company, 1610 Arden Way, Sacramento, CA 95817				
PLANS BY	The Spink Corp., 2590 Venture Oaks Way, Sacramento, CA 95833				
FILING DATE	3-9-92	ENVIR. DET.	Neg. Dec.	REPORT BY	Don Smith
ASSESSOR'S PCL. NO.	010-0063-005 and 009				

- APPLICATION:
- A. Negative Declaration
  - B. Mitigation Monitoring Plan;
  - C. Variance to reduce required parking by 26 spaces (from 80 to 54); and,
  - D. Lot Line Adjustment to relocate the common property line between two parcels totaling 3.64± developed acres in the Light Industrial (M-1) zone.

LOCATION: 3325 S Street

PROPOSAL: The applicant is requesting the necessary entitlements to demolish the existing 48,000 square foot building on the site and reconstruct a new 75,201 square foot industrial building on 3.64± developed acres in the Light Industrial zone.

PROJECT INFORMATION:

General Plan Designation: Heavy Commercial/ Warehouse  
Existing Zoning of Site: M-1  
Existing Land Use of Site: Warehouse and Office  
Surrounding Land Use and Zoning:  
North: Libby Cannery and Light Rail Transit Line; M-1  
South: Single Family Residence/ Office; R-1  
East: Warehouse/ Office; M-1  
West: Office; M-1

Property Dimensions: Varied  
Property Area: 3.64± gross acres  
Required Parking: 80 spaces (1:400 for 3,338 sq.ft. of office; and 1:1000 for 71,863 sq.ft. of warehouse)  
Proposed Parking: - 54 spaces  
Topography: Flat

APPLC. NO. P92-052      MEETING DATE July 09, 1992      ITEM NO. 8

Street Improvements: Existing  
Utilities: Existing  
Existing Buildings: 48,000± square feet (1 story)  
Proposed Building: 75,201± square feet (2 story)

BACKGROUND INFORMATION

The existing 48,000± sq.ft. structure located on the subject site was constructed around 1960 and has been used as an office, warehouse and group care facility. In 1981, a Special Permit was approved for a group care facility (P9467). The permit at the time was approved for an 18 month period. After that period, the Planning Commission required the applicant to return with a status report on the project. In 1983, the applicant requested the Special Permit to continue the group care facility (P82-288). In that 1983 staff report, planning staff reported favorably on the past operation of the project. The Planning Commission allowed the facility to continue. The group care facility has since been discontinued at the site.

PROJECT EVALUATION:

A. Land Use and Zoning

The subject site is designated Heavy Commercial/ Warehouse in the General Plan. Zoning of the site is Light Industrial (M-1). The surrounding property is a mix of offices and warehousing to the north east and west. A light rail transit line is adjacent and north of the site. There are single family residences to the south of the site. Surrounding zoning is Light Industrial (M-1) to the north, east and west. To the south are single family residences (R-1).

B. Applicant's Proposal

The applicant is requesting the necessary entitlements to allow the construction of a 75,201 square foot industrial building on 3.64± developed acres in the Light Industrial zone. As proposed, the building will be divided into 3,338 sq.ft. of office space and 71,863 sq.ft. of warehouse space. The applicant intends to demolish the existing 48,000± square foot building and construct a new two story 75,201 square foot building. There are currently two parcels within the project boundaries. One parcel is approximately 232' X 331' in size and is located to the south of the site adjacent to S Street. The remaining parcel is approximately 33±' X 349' in size and is located to the north adjacent to the light rail line. Although 80 parking spaces would be required, only 54 are proposed. A variance is, therefore, required to reduce parking to below the minimum requirement. The lot line adjustment would provide an area north of the building for additional parking.

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C. Staff Analysis

Site Design and Layout- The existing building on the site has been utilized for office, warehousing and as a group care facility. The applicant proposes to demolish the existing one story 48,000± square foot building and construct a new two story 75,201 square foot building. The new tenant would be the State of California Health and Welfare Agency Data Center. The 75,201 square foot building would primarily house computer equipment. Of the 75,201 square feet, 71,863 square feet will be warehouse area for the computers and 3,338 square feet will be office area. Adequate landscaping is provided along S Street and within the parking areas.

Building Design- The proposed two story building would be constructed of concrete tilt up panels. Brick veneer with accent coursing will be provided on the most visible areas on the south elevation (facing S Street), on the southwest and southeast elevations. The brick factory look would be consistent with the appearance of the Libby Cannery just north of the light rail line. The remaining elevations will have painted concrete (beige) with brown metal panels and brown metal roofing that will accent the building. Recessed panels and grided windows add to the design of the building. Staff supports the architecture as the design of the building is a significant improvement over the other stark warehouse buildings of the area.

Variance- Section 6 of the Zoning Ordinance requires one parking space per every 400 square feet of office space and one space for every 1000 square feet of warehouse. The applicant proposes 3,338 square feet of office resulting in a requirement of eight parking spaces. An additional 71,863 square feet of warehousing requires 72 spaces for a total of 80 required parking spaces. With the lot line adjustment, the applicant can provide 54 parking spaces which is 26 spaces (or 32.5%) short of the required number of spaces.

The applicant's request to waive parking is based on the number of employees intended for the site. As proposed, there will only be 18 total employees. Six to twelve employees are scheduled per shift. The parking need would, therefore, be considerably less than required. Staff supports the variance for reduced parking for the current use. However, staff recommends a condition requiring the employer to develop a Transportation Management Plan (TMP) that goes beyond the 35% trip reduction required by the zoning ordinance should there be more than 54 employees located at the site. An additional 32.5% reduction should be required to compensate for the reduced number of parking spaces. The 32.5% reduction stems from the fact that the project is providing 32.5% less parking than what is required. Therefore, the applicant would be required to either meet the required parking, or provide an additional 32.5% trip reduction should the employees on-site increase above 54.

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This requirement should be included in any lease agreement so that the lessee is aware of the requirement.

Lot Line Adjustment - The lot line adjustment will relocate a property line on the north side of the property. The adjusted line leaves an area north of the building for parking. The area is 33' wide which will accommodate the parking area if spaces are on a 45 degree angle. Staff can support the requested lot line adjustment as it will not have any impact on the surrounding properties.

There appears to be an existing 20' wide access easement on the southwest side of the property. This easement shall be properly abandoned. Any new easements shall be rededicated where needed.

D. Policy Consideration

Alhambra Corridor Plan- The Alhambra Corridor Plan proposes the rezoning of this site from M-1 to "Commercial With Restricted Site Standards". This designation would allow office and commercial uses subject to specific height and area standards. The proposed project would not meet the height and area standards of the proposed Alhambra Corridor Plan. However, the project has been considered exempt from the Alhambra Corridor Plan since it was applied for prior to the development of specific regulations for the property.

E. Agency Comments

The proposed project was reviewed by City Engineering, Traffic Engineering, Community Services and Building Divisions. Their comments are reflected within the conditions of approval listed below. Traffic Engineering recommends that the parking on the north side of the site be changed to the opposite side of the strip so that traffic approaching 34th Street is further away from the light rail line (see Exhibit A).

ENVIRONMENTAL DETERMINATION: The Environmental Services Manager has determined that the project, as proposed, will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared. The applicant shall be required to meet the provisions of the mitigation monitoring plan.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Ratify the Negative Declaration;
- B. Approve the Mitigation Monitoring Plan and forward to the City Council;

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- C. Approve the Variance to reduce required parking by 26 spaces (from 80 to 54) on 3.64± developed acres in the Light Industrial (M-1) zone subject to conditions and findings of fact which follow; and,
- D. Approve the Lot Line Adjustment to relocate the common property line between two parcels by adopting the attached resolution.

Conditions Variance:

- 1. Applicant shall comply with the provisions of the mitigation monitoring plan for P92-052.
- 2. The employer is required to develop a Transportation Management Plan (TMP) to reduce single occupant vehicle trips to 35% (per adopted ordinance) plus an additional 32.5% (for the reduced parking spaces) should the number of employees for the building exceed 54. This provision shall be incorporated into any lease agreement.
- 3. Any tenant improvement shall be subject to the review and approval of the Planning Director prior to issuance of any permit. The number of employees and parking spaces shall be reviewed to determine if the project is in compliance with condition #2 above.
- 4. Driveways and internal circulation design shall meet the approval of the City Traffic Engineer prior to the issuance of any building permits. The parking isles on the north side of the property should be relocated to the north of the strip as shown in Exhibit A;
- 5. Landscape plans and building elevations shall be reviewed and approved by the Design Review Board prior to the issuance of any building permit.

Findings of Fact- Variance

- 1. Granting the variance will not constitute a special privilege extended to an individual property owner in that a variance would be granted to other property owners facing similar circumstances;
- 2. Granting the variance will not be injurious to the public welfare in that:
  - a. there will only be 18 employees at the location; and,
  - b. a Transportation Management Plan will be provided should there be more than 70 employees at the location.
- 3. Granting the variance does not constitute a use variance in that a office/ warehouse use is permitted in the M-1 zone.

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RESOLUTION NO.  
ADOPTED BY THE SACRAMENTO CITY PLANNING COMMISSION  
ON DATE OF

APPROVING A LOT LINE ADJUSTMENT TO RELOCATE THE COMMON PROPERTY LINE OF BLOCK BOUNDED BY "R" AND "S" STREETS AND BY ALHAMBRA BOULEVARD AND 34TH STREET" AS SHOWN ON EXHIBIT D AND E (010-0063-005 and 009) (P92-052)

WHEREAS, the Planning Director has submitted to the Planning Commission a report and recommendation concerning the lot line adjustment for property located at 3325 S Street; and

WHEREAS, the Environmental Coordinator has filed a Negative Declaration for the lot line adjustment; and,

WHEREAS, the lot line adjustment is consistent with the General Plan land use designation on the property;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Sacramento:

that the lot line adjustment for property located at 3325 S Street, City of Sacramento, be approved as shown and described in Exhibits D, and E attached hereto, subject to the following conditions:

The applicant shall complete the following at the Public Works Department, Development Services Division, prior to a lot line adjustment being recorded:

1. File a Certificate of Compliance, submit all required documents according to the submittal requirements checklist and pay necessary fees;
2. File a waiver of parcel map;
3. Notice: Property to be subdivided in accordance with this map may be subject to flooding. Interested parties should ascertain whether and to what extent such flooding may occur. The applicable base flood elevations for the property should be reviewed. - Base flood elevations are contained in the U.S. Army Corps of Engineers Flood Insurance Study Working Map for the

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Sacramento Community, dated January 1989, available at the City of Sacramento's Public Works Department, Development Services Division, Room 100, 927 10th Street.

4. Any easement shall be properly abandoned. Any new easement shall be rededicated where needed.

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CHAIRPERSON

ATTEST:

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SECRETARY TO CITY PLANNING COMMISSION

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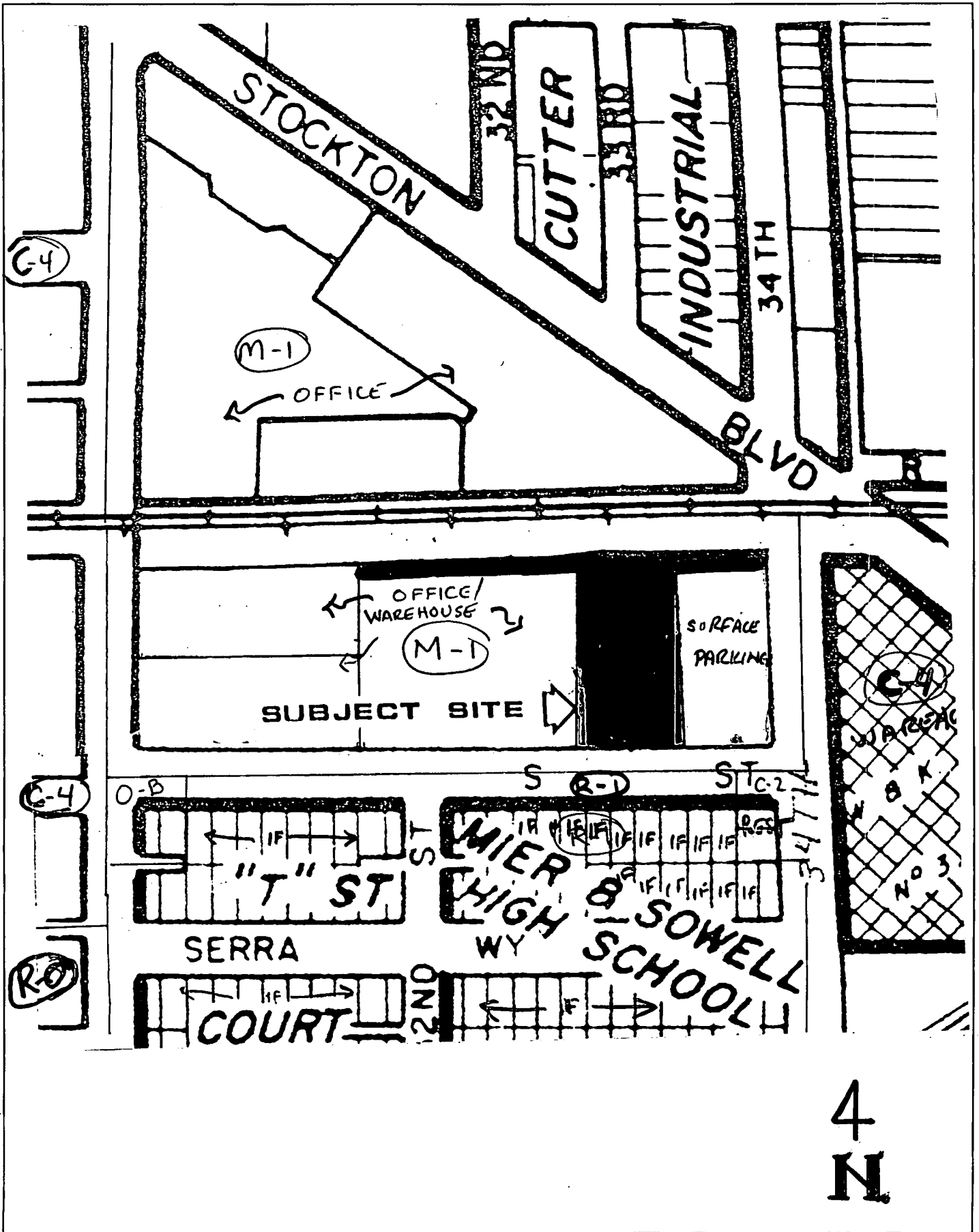
MEETING DATE July 09, 1992

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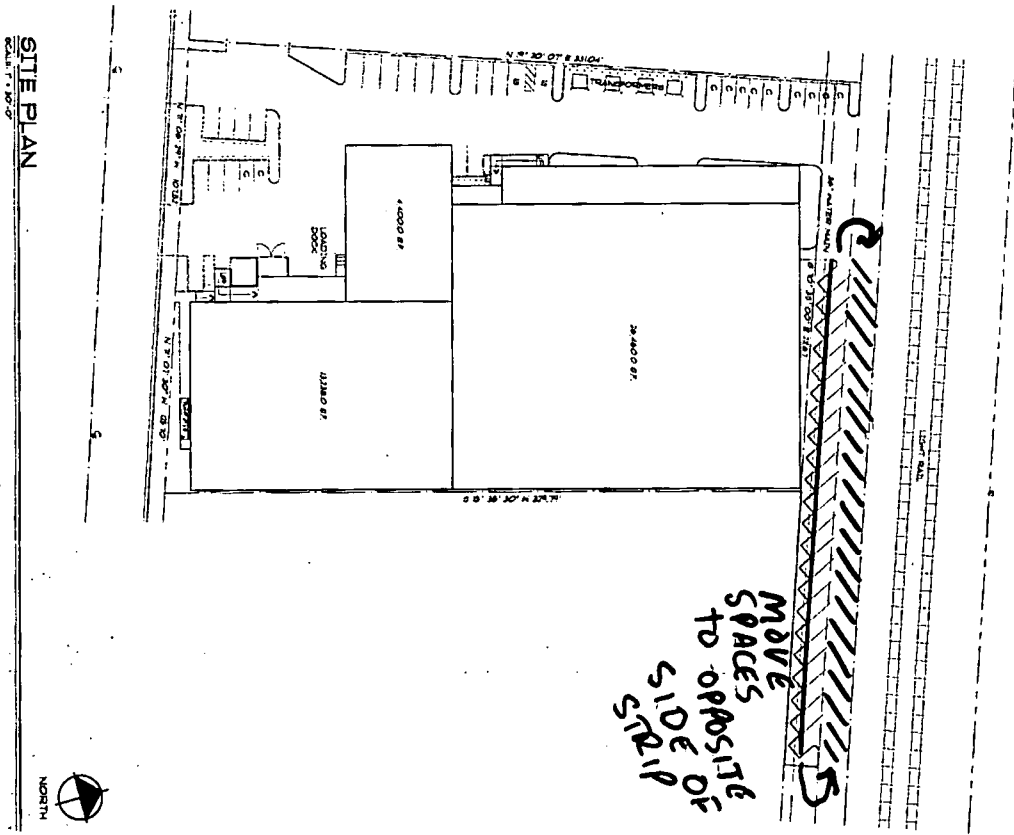




LAND USE & ZONING MAP

001757

# EXHIBIT A SITE PLAN



001758

<p><b>Spink</b></p> <p>The Spink Corporation 1200 Irvine Blvd. Ste. 200 Irvine, CA 92714 (714) 452-7711</p>	<p>STATE OF CALIFORNIA Health and Welfare Agency DATA CENTER SOUTH ANNEX 3301 S STREET</p>	<p>• ARCHITECT: SPINK CORP. • ENGINEER: SPINK CORP. • CONTRACT NO. 7-9-92 • PROJECT NO. 100-018 • DATE: JUN 11 1992</p>	<p>Scale: 1" = 30'-0"</p> <p>Drawn by: B.C.</p> <p>Checked by: B.C.</p> <p>Project No: A-111</p>
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P92-052

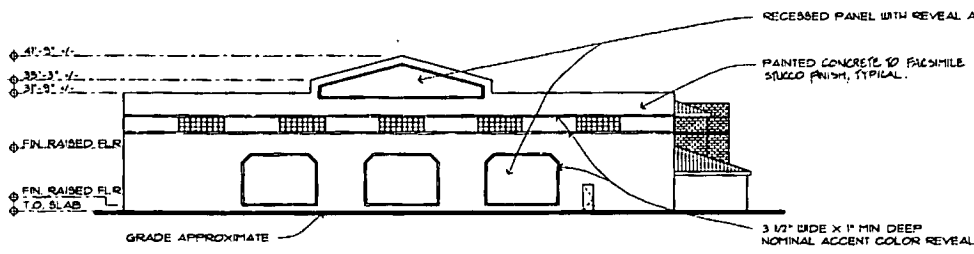
7-9-92

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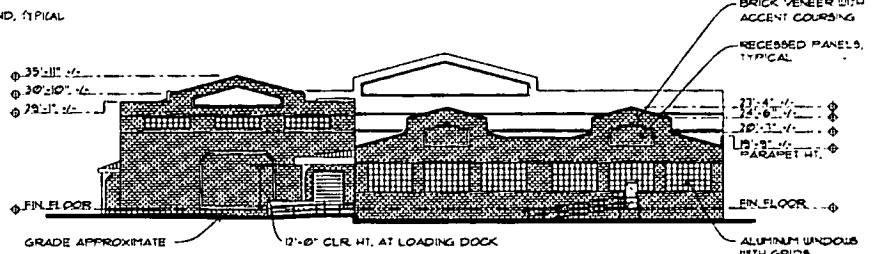
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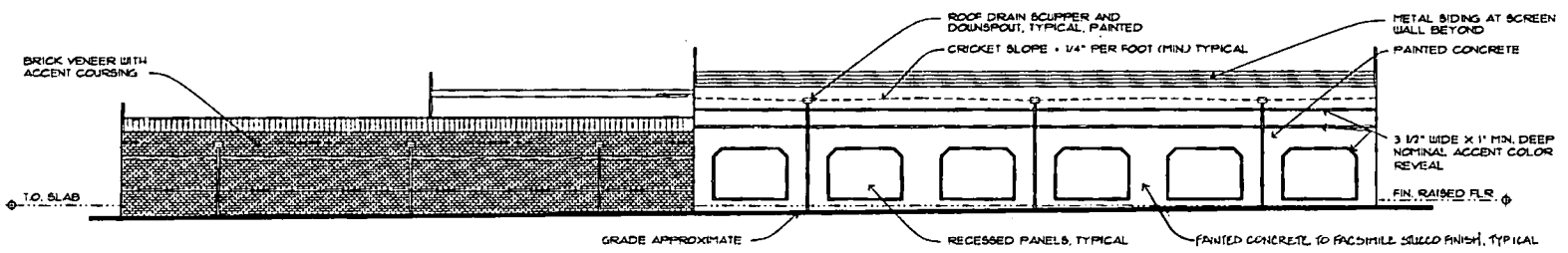
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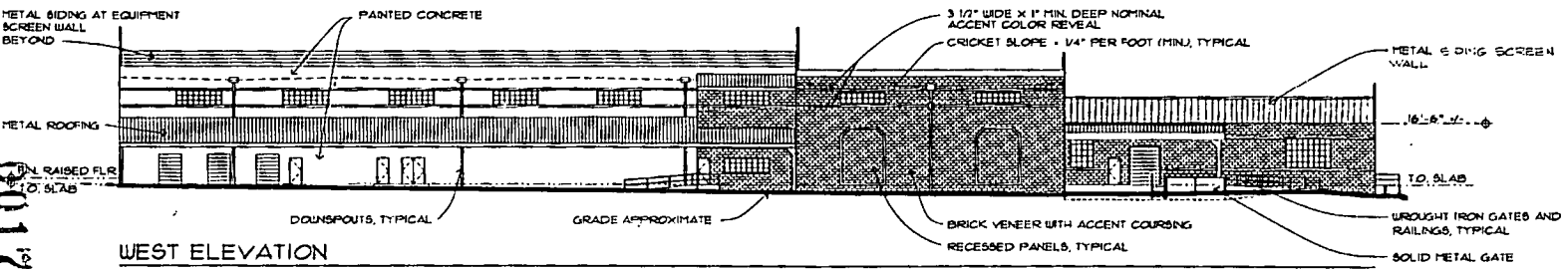
**NORTH ELEVATION**  
1/16" = 1'-0" = 1/4"



**SOUTH ELEVATION**  
1/16" = 1'-0" = 1/4"



**EAST ELEVATION**  
1/16" = 1'-0" = 1/4"



**WEST ELEVATION**  
1/16" = 1'-0" = 1/4"

EXHIBIT B-1  
ELEVATIONS

901759

<p>DATE: 07/11/92          DRAWN BY: [Signature]          CHECKED BY: [Signature]          PROJECT: H.W.D.C. "SOUTH ASSEY"          ADDRESS: 3811 S ST., SACRAMENTO, CA</p>	<p>4  <b>A</b></p>
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**Spink**

**Spink**  
ARCHITECTS  
1000 17th Street, Suite 1000  
San Francisco, CA 94133  
Tel: 415.774.8800  
Fax: 415.774.8801  
www.spink.com

STATE OF CALIFORNIA  
Health and Welfare Agency  
DATA CENTER SOUTH ANNEX  
3301 'S' STREET

DATE: 07/15/03  
DRAWN BY: [illegible]  
CHECKED BY: [illegible]  
SCALE: AS SHOWN  
PROJECT NO: 03-001  
SHEET NO: D-1

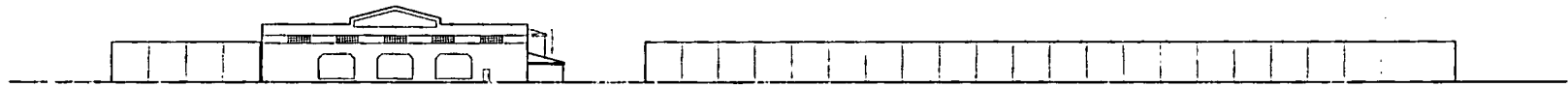
DATE: 07/15/03  
DRAWN BY: [illegible]  
CHECKED BY: [illegible]  
SCALE: AS SHOWN  
PROJECT NO: 03-001  
SHEET NO: D-1

D-1

EXHIBIT B-2  
ELEVATIONS



SOUTH ELEVATION - S STREET LOOKING NORTH



NORTH ELEVATION - LOOKING SOUTH FROM LIGHT RAIL TRACKS

00000000  
P42-052

7-9-92

# 5

001780

P92-052

7-9-92

#8

Door and Opening Outline Schedule

Mark	Type	Size (Nominal)	Hardware	Notes
A	T1	8'-0" x 10'-0"	H4J-B,H1B	
B	T1	8'-0" x 10'-0"	H4J-B,H1B	
C	T2	3'-0" x 7'-0"	H2H3,H2H4B	
D	T2	3'-0" x 7'-0"	H2H3	
E	T2	3'-0" x 8'-0"	H4J-B,H1B	N-2
F	T2	3'-0" x 8'-0"	H1	
G	T2	3'-0" x 8'-0"	H1	
H	T2	3'-0" x 8'-0"	H1H4B	
I	T2	3'-0" x 8'-0"	H1H4B	N-1
J	T2	3'-0" x 8'-0"	H1	N-3
K	T2	3'-0" x 8'-0"	H1H4	
L	T2	3'-0" x 8'-0"	H1	
M	T2	3'-0" x 8'-0"	H1H4	
N	T2	6'-0" x 9'-0"	H1B	
O	T1	8'-0" x 10'-0"	H1B	N-2
P	T2	3'-0" x 7'-0"	H1B,H1B	
Q	T2	3'-0" x 7'-0"	H2H3,H2H4B	
R	T2	3'-0" x 7'-0"	H2H3	
S	T2	3'-0" x 8'-0"	H1H4B	
T	T1	8'-0" x 10'-0"	H4J-B	
U	T1	3'-0" x 8'-0"	H4J-B	

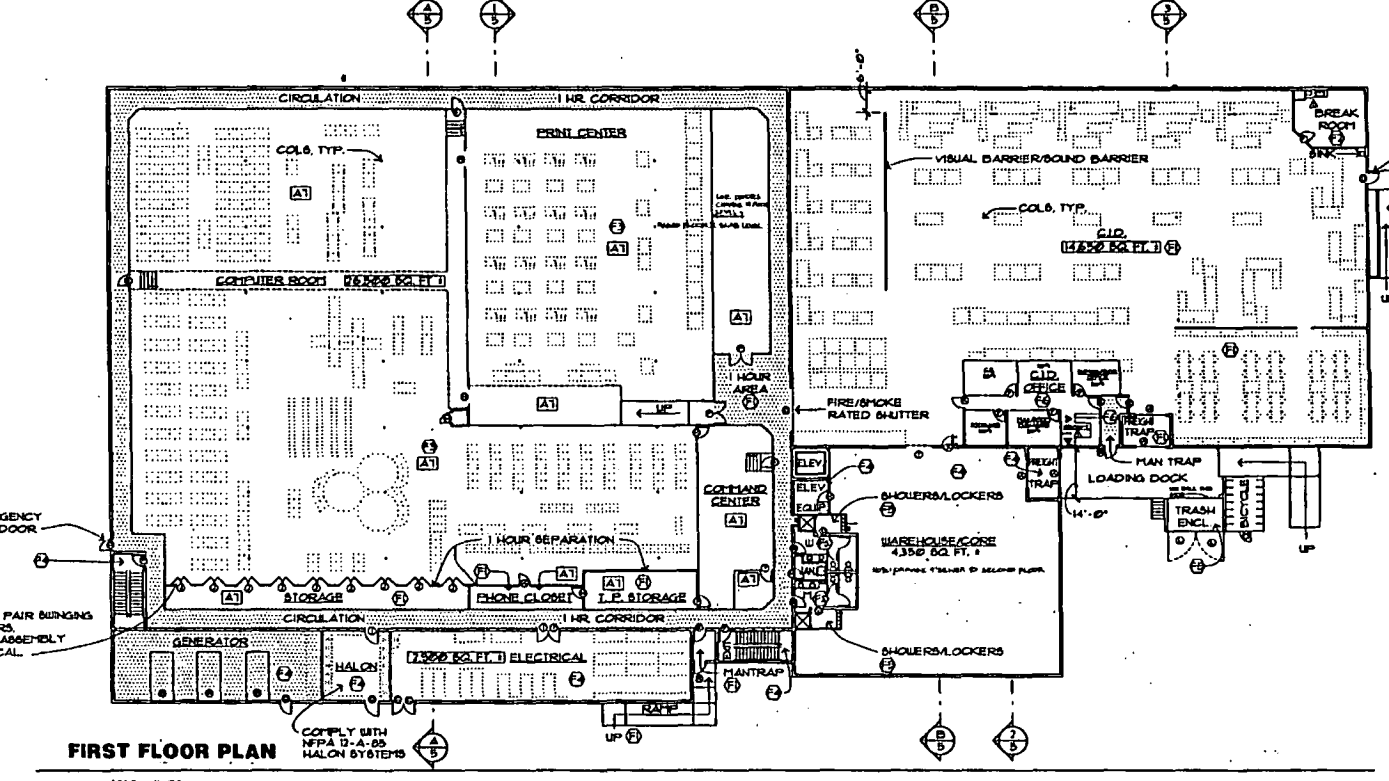
- Types**
- T1. Overhead door, roll-up, galvanized steel, minimum 20 gage.
  - T2. Swinging solid core steel door, 1/2 gage, steel frame, 1/2 gage, painted; 7" x 30" fixed lite (at interior locations only); glass type per code.
  - T3. Swinging solid core steel door, 1/2 gage, steel frame, 1/2 gage, painted.
  - T4. Solid steel, minimum 22 gage, on welded 3 x 2 tube steel frame, painted.
  - T5. Tubular painted steel, minimum 6" o.c., minimum chain link not acceptable.
  - T6. Sliding glass door, safety glazing, power operated with emergency break away feature.
  - T7. Casement opening.

- Hardware**
- H1. Passage lockset.
  - H2. Entry lockset, exterior key operation.
  - H3. Double deadbolt, extra heavy duty Schlage B500 series or equal.
  - H4. Weatherstripping, threshold.
  - H5. Overhead door track, electric operator with safety feature and remote operation from security center, minimum 1/2 HP, manual override.
  - H6. Remote operated electric strike release, control at security center.
  - H7. Function F88 vestibule.
  - H8. No exterior hardware, panic interior hardware with local and remote alarm interconnect.
  - H9. Nonremovable hinge pins.
  - H10. Privacy lockset.
  - H11. Function F88 storeroom lock.
  - H12. Passage lockset with flush bolt for inactive leaf.
  - H13. Locking hasp, strike and latch.
  - H14. Electric lock with card key operation.
  - H15. Power operated door activated by motion detector; emergency break away exit; safety hold-open feature. Operators must be approved or supplied by door manufacturer and rated for heavy duty operation. Adjustable time delay, closing, and back check required.
  - H16. Card reader.
  - H17. Local and remote alarm interconnect.
  - H18. Push button buzzer to security center.
  - H19. Local and remote alarm interconnect.
  - H20. Overhead door track, electric operator with safety feature, minimum 1/2 HP, manual override.

- Notes**
- N1. 4 Hour Separation (3 Hour Label)
  - N2. 1 Hour Corridor Separation (70 Minute Label, Smoke and Draft Stop, Int. R.A.P.)
  - N3. 1 Hour Doors.

- GENERAL NOTES**
- All doors required to be fire rated, are to be equipped with door closers and smoke seals and/or devices that will successfully close door in the event of fire as approved by the State Fire Marshal.
  - Provide for key groups, approximately 6, as directed by State.

- Architectural Notes**
- A-1 Roof Moisture Protection**
- No equipment obstructions such as legs, curbs, shafts, etc., or penetrations of any kind permitted in roof slope areas less than 3/4 inch per foot. All penetrations must be through curbed areas covered with metal - no penetrations allowed in roof membrane. Group equipment and vents, etc. to minimize curbs required. Maximum total number of curbed penetrations above spaces as indicated below (unless specifically approved otherwise by State):
- Computer Area: 20 (16 mech/4)
  - CID Area: 10 (6 mech/4)
  - Warehouse Area: 2
  - Equipment (Electrical, Water, etc.) Area: 6



**FIRST FLOOR PLAN**  
1/8" = 1'-0"

- A-2 Primary Roof System**
- Provide Manufacturer 20 year (minimum) written guarantee, no dollar limit.
  - Acceptable Manufacturers: GAF, Celotex, Memville, Koppers, Owens/Corning.
  - Provide light colored surface that will be maintenance free for at least 5 years (no coatings required).
  - Flashing, fasteners and insulation, if applicable, must be part of system. Galvanized metal components minimum 22 gage. The Contractor must have manufacturer representative approve the roofing substrate and flashing before roofing begins.
  - Slopes: sloped minimum 1/4 inch per foot.
  - Scuppers: minimum opening 12" high, 24" wide.
  - Walk protection required from roof access to all roof equipment; must be part of roof system, approved by manufacturer.
  - Not acceptable:
    - single ply systems.
    - torch applied systems.
    - Systems which require coatings on less than 5 year intervals.
- A-3 Secondary Roof and Roof Insulation**
- General Requirements:**
- Continuous, metal or State and code approved panels of plasticized polyethylene 2" PL-ARMED GUMBLE-SPELZE A90E brand.
  - Drain to floor drains with alarm (tie to central station); positive slope required.
  - Allow for required removal for maintenance.
  - Insulation location shall be determined by type, and vapor transmission. In no event shall insulation in the event of a failure in the primary roof system be inaccessible or unventilated. NEOPRENE FLASHING ACCEPTABLE.
- Other Notes:** Refer to specifications.

- A-4 Windows**
- Apply "ArmorCoat", as provided by Security Glass Systems, Danville, CA (415) 638-5072 or specifically approved "equale", at all glazing. See Tenant Improvement Schedule.
- A-5 Loading Dock**
- Provide ramp. See Tenant Improvement Schedule.
  - Dumppers: by Pauling (514-855-1000), Durable Mat (415-668-0350) or Kelly (414-357-1000), full width of dock finished rubber type, minimum 24" sections, maximum 24" between sections.
- A-6 Elevator**
- Capacity: 4000 lb. minimum.  
Size: 6'4" x 8' cab; 7' high doors, power operated (minimum clearance).
- A-7 Fire Sprinklers**
- RESORPTION: WHILE A DRY DIAL SYSTEM WITH NFPA-13, 1501 AND COMPILER AREA AND FIGHT CENTER SHALL COMPLY WITH NFPA 15-89; AND SEPARATED FROM THE REST OF DRY, 1/2 HR. OCCUPANCY.

- FLOOR FINISH NOTES**
- (1) BEALED COLORED CONCRETE
  - (2) VINYL PER SPEC
  - (3) RAISED FLOOR
  - (4) BEALED CONCRETE
  - (5) CERAMIC TILE/FLOOR; 1/4" thick unbuffered
  - (6) CARPET AS PER SPEC.
- WALL KEY**
- TILT UP
  - 4 HOUR AREA SEPARATION
  - INTERIOR PARTITION FULL HEIGHT, 6" UNDER SIDE OF DECK ABOVE.
  - INSULATED WALL W/VAPOR BARRIER FULL HEIGHT, ONE HOUR, 0" UNDER SIDE OF DECK ABOVE.
  - GLASS WALL/LAUNDRY WALL/DEPONTABLE
  - DEPONTABLE OPAQUE WALL SYSTEM SAME CONFIGURATION AS ABOVE FIRE RATED WHERE REQUIRED
  - ABLE MARKED ON FLOOR
  - DESIGNATE 1 HR. CORRIDOR

P 92 052

RECEIVED

MAR 09 1992

CITY OF SACRAMENTO CITY PLANNING DIVISION

REVISIONS	BY

EXHIBIT C FLOOR PLAN

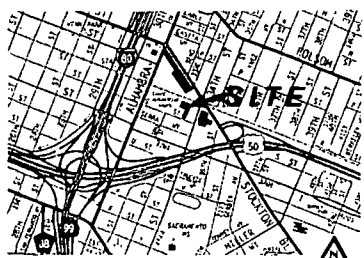
SEARCHED INDEXED SERIALIZED FILED  
MAR 11 1992  
FBI - SACRAMENTO  
3  
H.W.D.C. "SOUTH ARROW"  
331 S ST., SACRAMENTO, CA  
REAL ESTATE & DESIGN SERVICES  
Department of Planning & Development

00176

P42-052

7-9-92

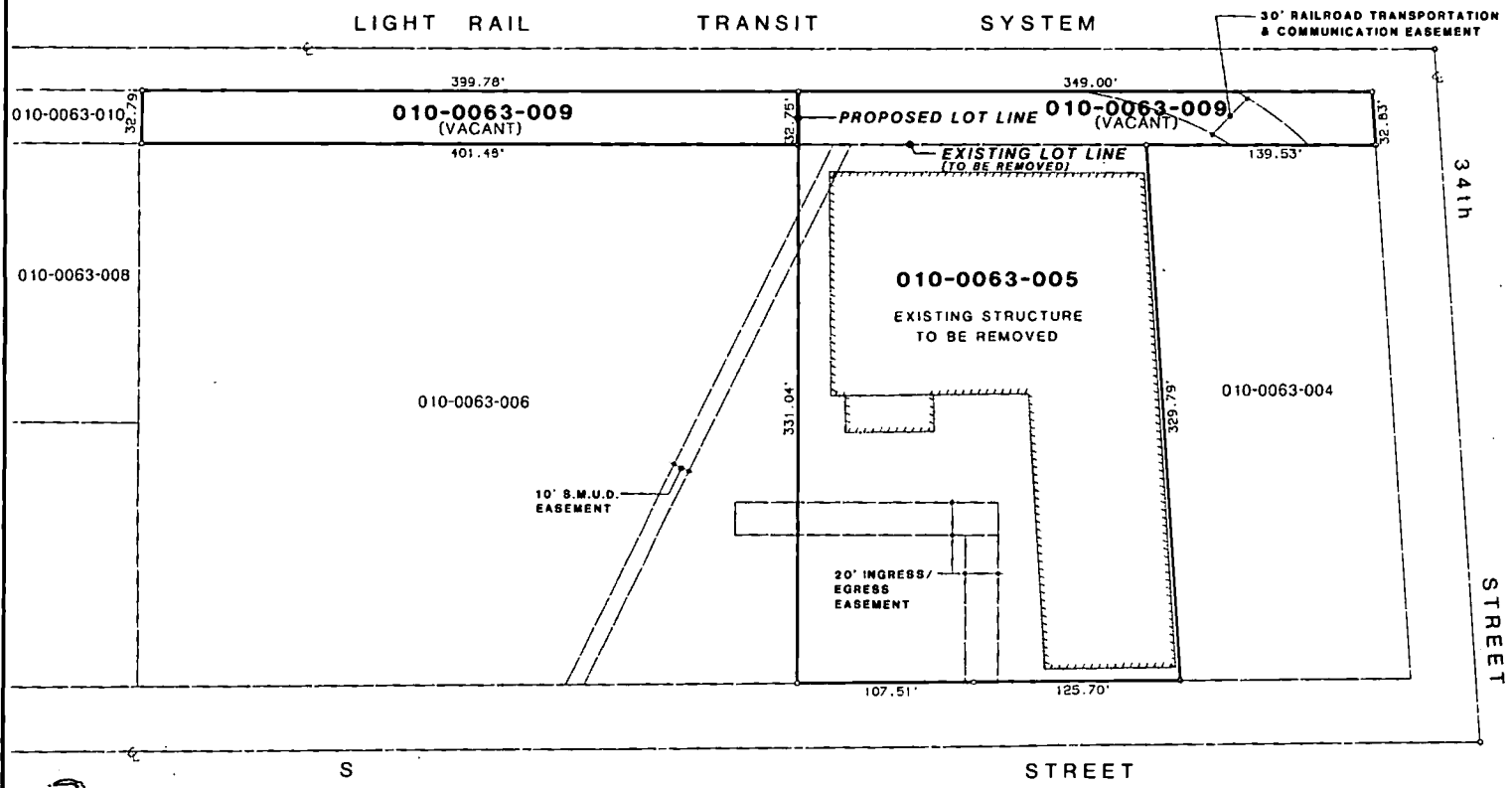
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VICINITY MAP  
D.L.S.

LOT LINE ADJUSTMENT EXHIBIT for  
**A.P.N. 010-0063-005 & 009**  
City of Sacramento, California

LIGHT RAIL TRANSIT SYSTEM

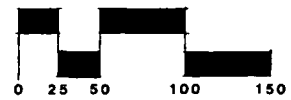


30' RAILROAD TRANSPORTATION & COMMUNICATION EASEMENT

EXHIBIT D  
LOT LINE ADJUSTMENT

001762

March 6, 1992



**Spink**  
THE SPINK CORPORATION  
2100 NORTH 4TH ST. SACRAMENTO, CA 95811  
(916) 482-4888 FAX (916) 482-1922

RECEIVED

MAR 09 1992

CITY OF SACRAMENTO  
CITY PLANNING DIVISION

P 92 052

No trees impacted by this project - Don Pskowsk - Arborist  
433-6345

001763

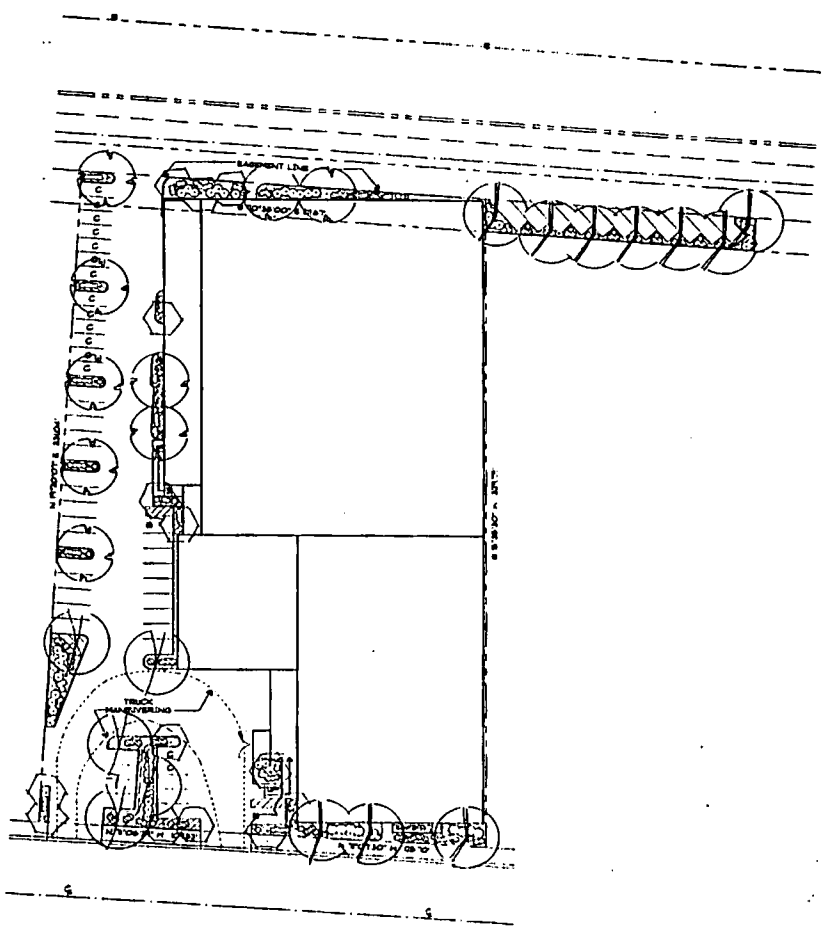
**PLANT LEGEND**

- TREES**
- ☉ KOELREUTERIA PANICULATA / GOLDENRAIN TREE
  - ☉ PISTACIA CHINENSIS / CHINESE PISTACHIO
  - ☉ PRUNUS BLIRBIANA / FLOWERING PLUM
  - ☉ QUERCUS ACRIIFOLIA / COAST LIVE OAK
- SHRUBS**
- IRETES VEGETA / FORTNIGHT LILY
  - NANDINA DOMESTICA 'COMPACTA' / HEAVENLY BAMBOO
  - NANDINA DOMESTICA 'PURPUREA' / HEAVENLY BAMBOO
  - PITTOSPORUM TIBIRA 'VARIEGATA' / VARIEGATED TOBIRA
  - XYLOSMA CONGESTUM / XYLOSMA
- GROUND COVERS**
- ▨▨▨▨ GAZANIA 'SUNGLOW' / TRAILING GAZANIA
  - ▨▨▨▨ HYPERICUM CALYCEINUM / SARON'S BEARD
  - ▨▨▨▨ VINCA MINOR / VINCA

**TREE SHADE CALCULATIONS**

DIAMETER	TREE TYPE	SF	THREE QUARTER				TOTAL TREE
			FULL 100%	75%	50%	25%	
30-35"	PISTACIA CHINENSIS	962	-	-	4 x 481	3 x 241	2642
	QUERCUS ACRIIFOLIA		1 x 962	1 x 722	2 x 481	1 x 241	2887
25-30"	KOELREUTERIA PANICULATA	707	4 x 707	-	3 x 354	-	3850
15-20"	PRUNUS BLIRBIANA	314	-	-	4 x 157	2 x 79	1108

TOTAL SHADE PROVIDED: 10,324 SF  
 TOTAL PAVING TO BE SHADED: 18,472 SF  
 REQUIRED SHADE: 59 SF  
 PROVIDED SHADE: 51 SF



**PRELIMINARY PLANTING PLAN**  
SCALE: 1" = 30'-0"

P 92 052

RECEIVED

MAR 09 1992

CITY OF SACRAMENTO  
CITY PLANNING DIVISION

**Spink**

The Spink Corporation  
2500 40th Street, Suite 100  
Sacramento, CA 95811-1000  
(916) 481-1000 ext. 100  
(916) 481-8270 fax

- ARCHITECTURE
- LANDSCAPE
- LANDSCAPE ARCHITECTURE
- PLANNING
- SURVEYING
- ENGINEERING
- PHOTOGRAPHY

STATE OF CALIFORNIA  
Health and Welfare Agency  
DATA CENTER SOUTH ANNEX  
3801 'S' STREET  
3rd fl & S

• INSPECT BEFORE THE CONTRACT TO ALL DISTANCES AND QUANTITIES  
 • CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS  
 • CONTRACTOR TAKES PRECESSION OF SOILS  
 • ANY DIVERSION FROM THE CONTRACTOR'S SPECIFICATIONS SHALL BE RECORDED AND APPROVED PRIOR TO CONSTRUCTION

REVISIONS

APPROVALS

DATE: 3/07/92  
SCALE: 1/8" = 1'-0"  
DRAWN BY: M. URCHUK  
CHECKED BY: M. URCHUK  
DATE: 3/07/92

L-1.1

#8

7-9-92 (NW corner)

P92-052



SOUTHERN PACIFIC R.R.

13

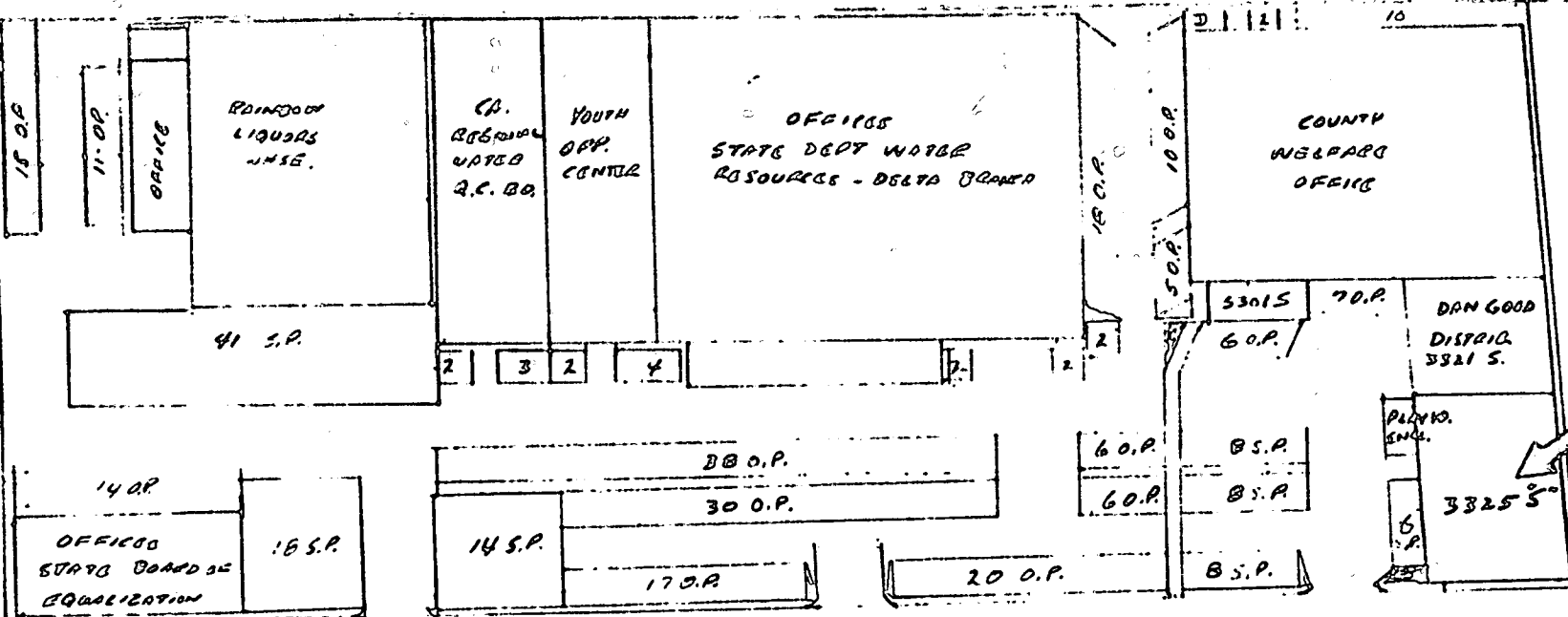
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001333

JAN. 13, 1983

4-28

001333



"5" STREET

001784

JAN. 13, 1983 24TH STREET

LEGEND

O.P. OPEN PARKING SPACES

S.P. SECURED PARKING

→ 3325 S. ST. RESERVED FOR THE ASSOCIATES OCCUPANCY

EMMETT A.

DO NOT REAR & PARKING

N. SIDE 5<sup>th</sup> ST. BETWEEN ALHAMBRA AND DATA ST.

C.E.D. 6-18-81

P. 62285