

CITY PLANNING COMMISSION

927 10TH STREET, SUITE 300 - SACRAMENTO, CALIFORNIA 95814

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|---|-------------------------------|--------------------------------------|
| APPLICANT The Spink Corporation, P.O. Box 2511, Sacramento, CA 95811 | | |
| OWNER Theodore C. Klein, 1 Ripple Court, Sacramento, CA 95831 | | |
| PLANS BY Vogue Homes, 258 Florin Road, Sacramento, CA 95831 | | |
| FILING DATE 3-22-85 | 50 DAY CPC ACTION DATE | REPORT BY: DH:bw |
| NEGATIVE DEC 4-15-85 | EIR | ASSESSOR'S PCL NO. 031-970-14 |

- APPLICATION:**
- A. Negative Declaration
 - B. Rezone from Single Family (R-1) to Townhouse (R-1A)
 - C. Tentative Parcel Map to establish two lots
 - D. Special Permit to construct a halfplex

LOCATION: Southwest corner of River Garden Court and South Oak Way

PROPOSAL: The applicant is requesting the necessary entitlements to develop a halfplex on a vacant 0.2± acre parcel.

PROJECT INFORMATION:

1974 General Plan Designation: Residential
 1976 South Pocket Community
 Plan Designation: Low Density Residential
 Existing Zoning of Site: R-1
 Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Vacant; R-1
 South: Vacant; R-1
 East: Vacant; R-1
 West: Vacant; R-1

| | Required | | Proposed | |
|-----------|----------|--------|----------|--------|
| | Unit-1 | Unit-2 | Unit-1 | Unit-2 |
| Front | 25' | 12½' | 25' | 12½' |
| Side(int) | 5' | 5' | 5' | 5' |
| Side(st) | 0' | 0' | 0' | 0' |
| Rear | 15' | 15' | 20' | 20' |

Parking Required: Two spaces
 Parking Provided: Two spaces
 Property Dimensions: 120' x 85'
 Property Area: .232± acres; 10,205± sq. ft.
 Density of Development: 8.5 du/ac
 Area of Lots:

Lot A 0.11 acres
 Lot B .12 acres

Square Footage of Building:

Unit 1 1,879
 Unit 2 2,066

Total Building Square Footage: 3,945

Total Ground Coverage: 2,626

Height of Building: Two stories
 Significant Feature of Site: Vacant
 Topography: Flat
 Street Improvements: Existing
 Utilities: Available to site; separate water and sewer lines required to each unit
 Exterior Building Materials: Wood, brick and stucco

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On April 10, 1985, by a vote of five ayes and four absent, the Subdivision Review Committee recommended approval of the tentative map, subject to conditions which follow.

PROJECT EVALUATION: Staff has the following comments:

- A. The subject site is a vacant 10,205± square foot lot which is presently zoned Single Family (R-1). The General Plan and South Pocket Community Plan designate the site for residential and low density residential, respectively. If the rezoning is approved, the proposed halfplex would provide a housing type which is compatible with other residential structures in the vicinity.
- B. The proposed rezoning from R-1 to R-1A and the special permit are required for the halfplex development. The applicant's proposed plans indicate two, two-bedroom and two bathroom units. Unit 1 fronts on River Garden Court and contains 1,879± square feet; Unit 2 fronts on South Oak Way and contains 2,066± square feet. Building materials consist of wood, brick and stucco, with wood shake roofs. The plans indicate a 12.5 foot front yard setback for Parcel A. The garage for Unit 2 is recessed for the required 20 feet from the front yard property line. Parcel B has a 25-foot front yard setback from River Garden Court. Side yard setbacks are five feet for both units. Rear yards are functionally adequate for both lots. Staff therefore supports the special permit request.
- C. The Planning and Community Services Departments have determined that .0224 acres of land are required for Parkland Dedication purposes and that fees are to be charged in lieu of the dedication. The applicant shall obtain an appraisal of the property to be subdivided.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the proposed project will not have a significant adverse effect on the environment and has filed a Negative Declaration with mitigation measures regarding potential archaeological finds for the site.

STAFF RECOMMENDATION: Staff recommends the Commission take the following action:

- A. Ratify the Negative Declaration;
- B. Approve the Rezoning from Single Family (R-1) to Townhouse (R-1A);
- C. Approve the Tentative Map, subject to conditions which follow;
- D. Approve the Special Permit, subject to conditions and based upon Findings of Fact which follow:

Conditions - Special Permit

The project shall be constructed per the submitted plans which include wood, brick and stucco siding, with a wood shake roof.

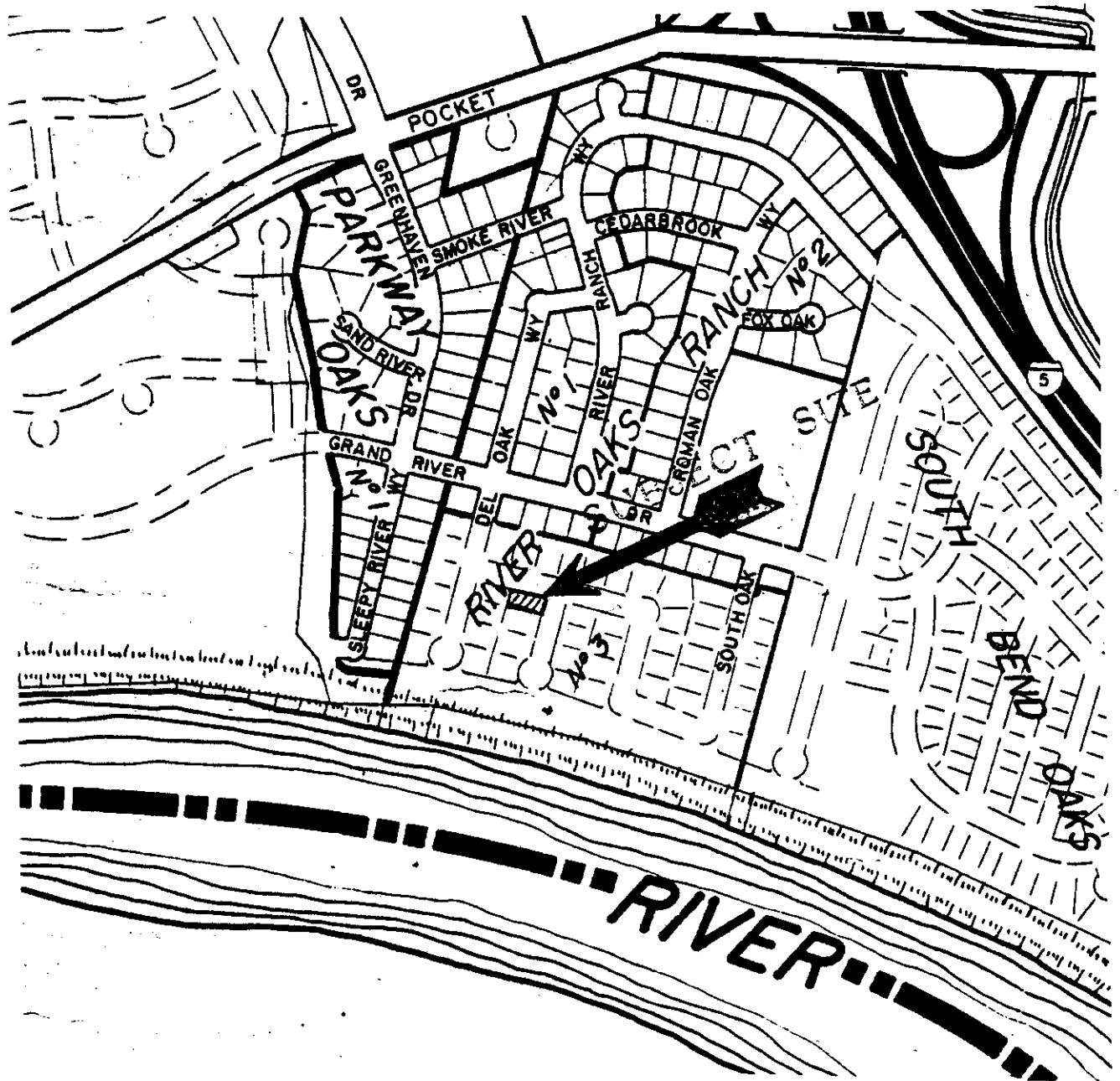
Conditions - Tentative Map

The applicant must satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

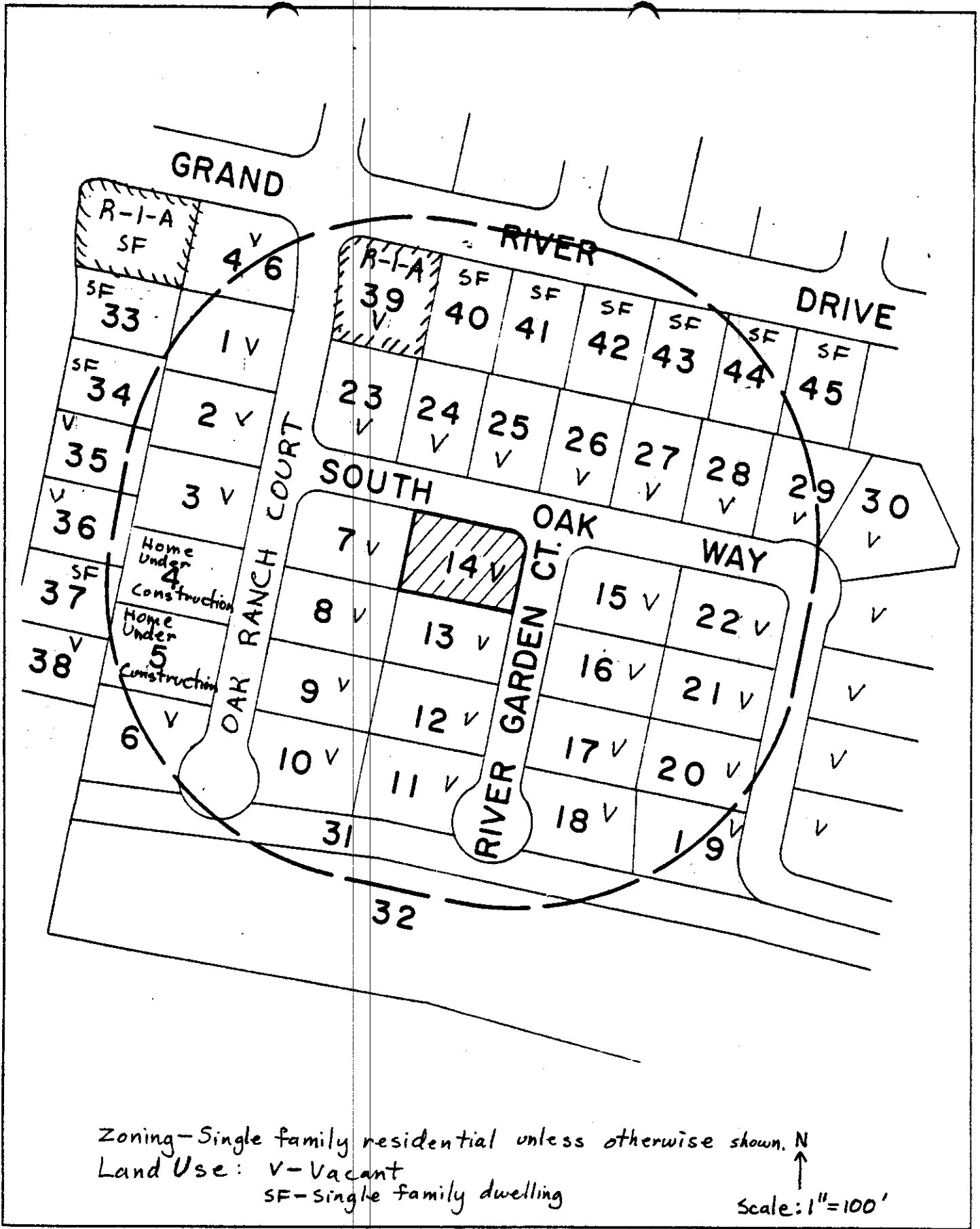
1. Place the following note on the final map: Separate water and sewer service connections must be paid for and installed at the time of obtaining building permits.
2. Pay off existing assessments.
3. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map.
4. If unusual amounts of bone, stone or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition.
5. Pay Pocket Bridge fees.

Findings of Fact - Special Permit

1. As proposed, the project is based upon sound principles of land use, in that:
 - a. adequate space is available on the site to accommodate the type and density of the proposed project;
 - b. the project is compatible with surrounding land uses in the vicinity which consist of the single family and halfplex uses.
2. The project, as proposed, will not be detrimental to the public health, safety or welfare, nor result in the creation of a nuisance, in that the project will adhere to the townhouse development standards which stipulate design and density criteria.
3. The project is consistent with the land use element of the General Plan to:
"Allocate residential, commercial, industrial and other land uses in such a manner as to result in a desirable urban environment which satisfies the needs of the total community; and
"Provide safe, stable and attractive residential areas in which to live."
4. The project is consistent with the Pocket Area Community Plan to:
"Provide for a wide range of residential styles and densities which are compatible with each other."
5. The project is consistent with the Pocket Area Community Plan and the General Plan which designate the site for residential use.



VICINITY MAP



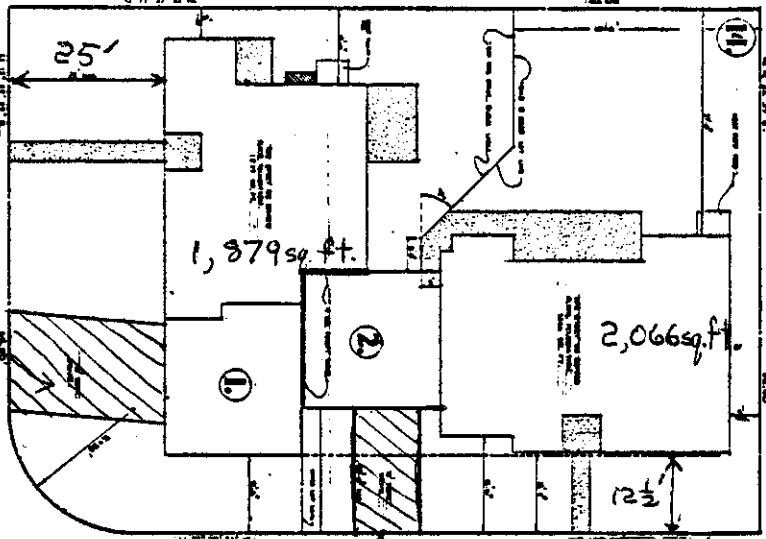
LAND USE & ZONING MAP

FLOOR PLANS

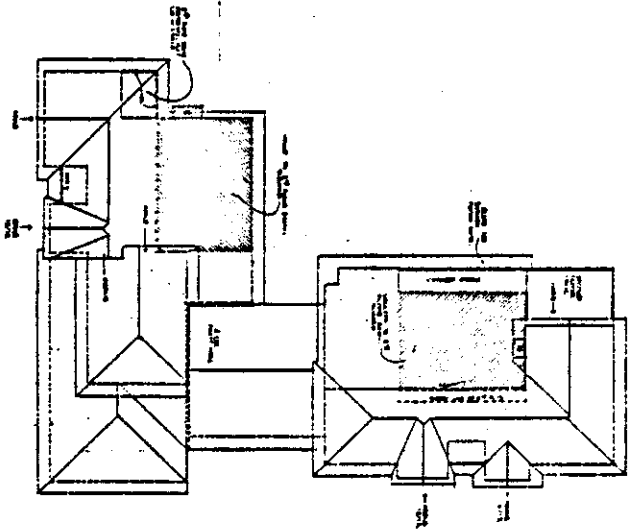


DRIVE DRIVE SAUCY UNIT #1
SACRAMENTO, CA

SOVEREIGN COURT
Driveway Unit 1



Driveway Unit 2

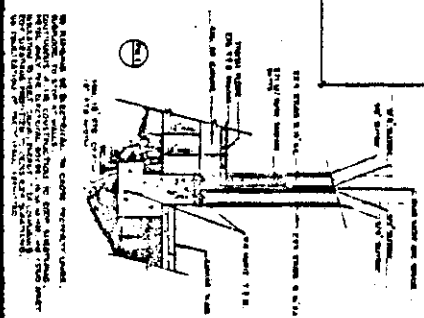
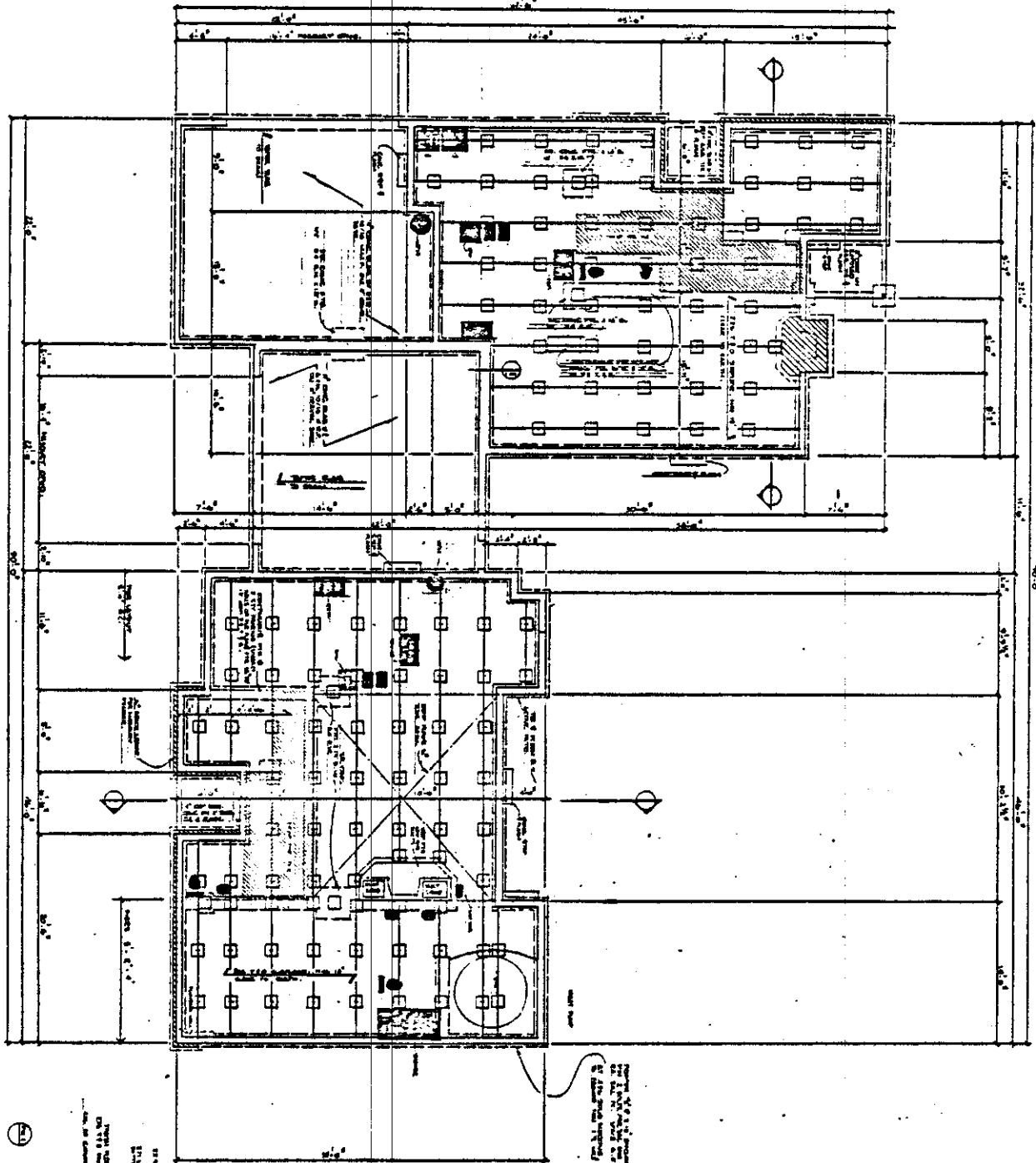


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FLOOR PLANS



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 IN THE
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 PLAN

SEE PLAN FOR
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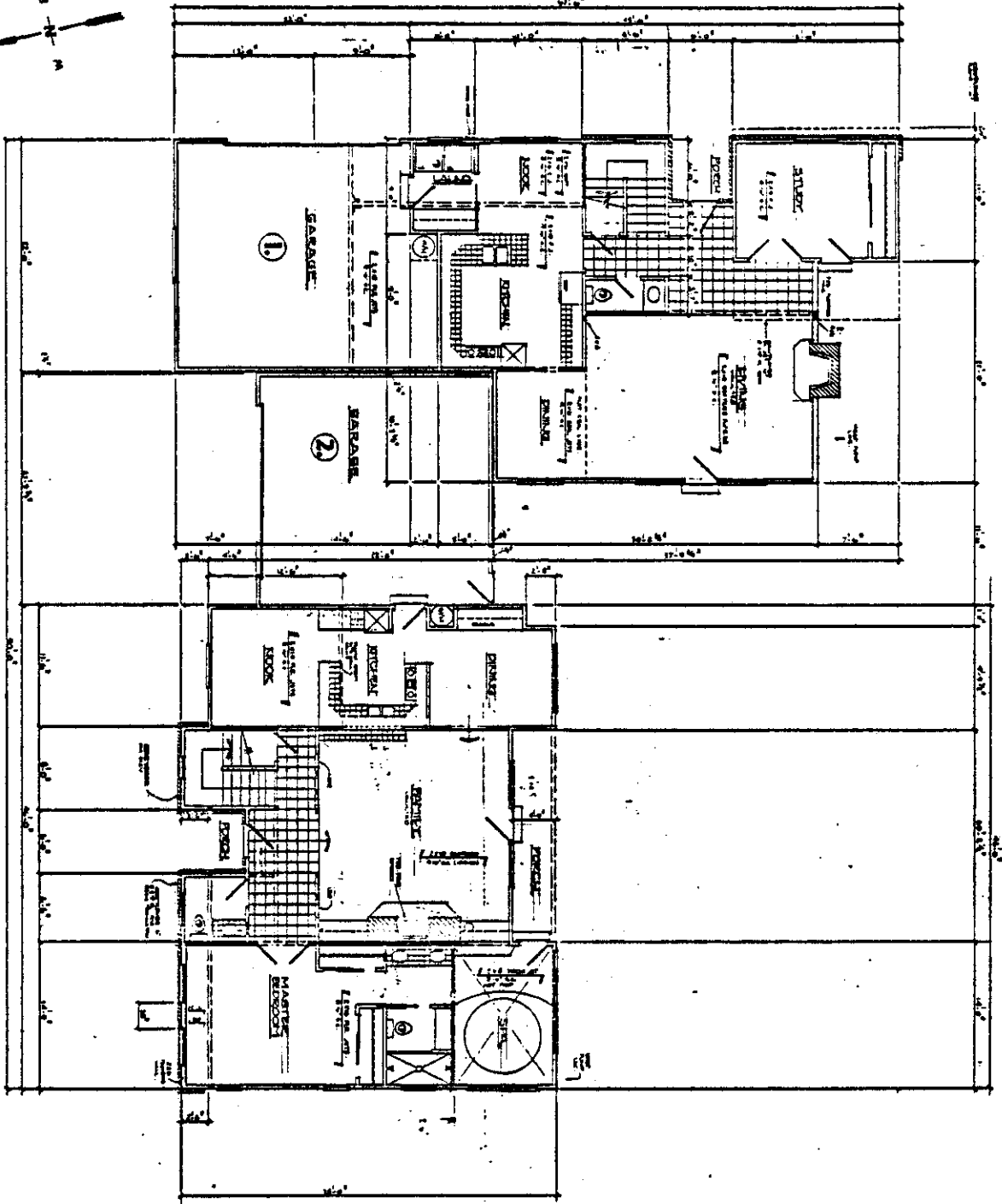
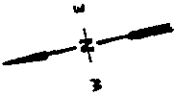
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FOUNDATION PLAN

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No. 15



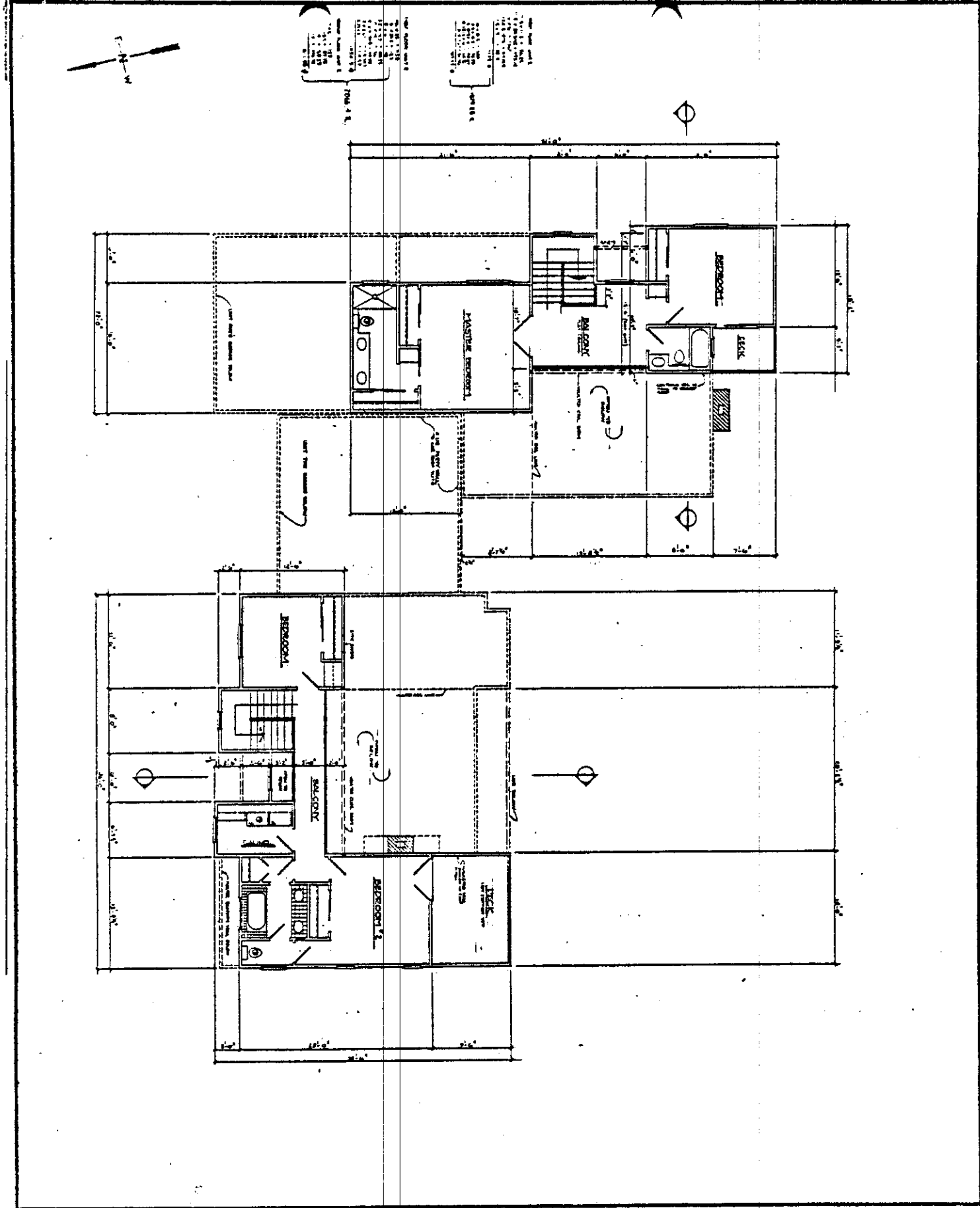
| SCHEDULE KEY | |
|--------------|------------|
| 1 | CONCRETE |
| 2 | BRICK |
| 3 | GLASS |
| 4 | WOOD |
| 5 | PAINT |
| 6 | CEILING |
| 7 | FLOORING |
| 8 | MECHANICAL |
| 9 | ELECTRICAL |
| 10 | PLUMBING |
| 11 | HEATING |
| 12 | Cooling |
| 13 | INSULATION |
| 14 | Other |

- MANDATORY ENERGY FEATURES**
1. All exterior walls, roofs, and floors shall be insulated in accordance with the International Energy Conservation Code (IECC) 2006, Section 602.1.1.
 2. All windows and doors shall be insulated in accordance with the IECC 2006, Section 602.1.2.
 3. All mechanical equipment shall be insulated in accordance with the IECC 2006, Section 602.1.3.
 4. All electrical equipment shall be insulated in accordance with the IECC 2006, Section 602.1.4.
 5. All plumbing equipment shall be insulated in accordance with the IECC 2006, Section 602.1.5.
 6. All heating equipment shall be insulated in accordance with the IECC 2006, Section 602.1.6.
 7. All cooling equipment shall be insulated in accordance with the IECC 2006, Section 602.1.7.
 8. All insulation shall be installed in accordance with the IECC 2006, Section 602.1.8.
 9. All windows and doors shall be installed in accordance with the IECC 2006, Section 602.1.9.
 10. All mechanical equipment shall be installed in accordance with the IECC 2006, Section 602.1.10.
 11. All electrical equipment shall be installed in accordance with the IECC 2006, Section 602.1.11.
 12. All plumbing equipment shall be installed in accordance with the IECC 2006, Section 602.1.12.
 13. All heating equipment shall be installed in accordance with the IECC 2006, Section 602.1.13.
 14. All cooling equipment shall be installed in accordance with the IECC 2006, Section 602.1.14.

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VALUE
 THE ABOVE VALUE IS THE MARKET VALUE OF THE PROPERTY AS OF THE DATE OF THE APPRAISAL.
 TED KLEIN
 FIRST FLOOR LAYOUT 1 & 2

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YCLUG
 YOUNG CONSTRUCTION & LEASING COMPANY
 1000 15th Street, N.W.
 Atlanta, Georgia 30335
 TEL: 525-1111 FAX: 525-1112

TEO KLEN
 SECOND FLOOR - UNITS 1 & 2

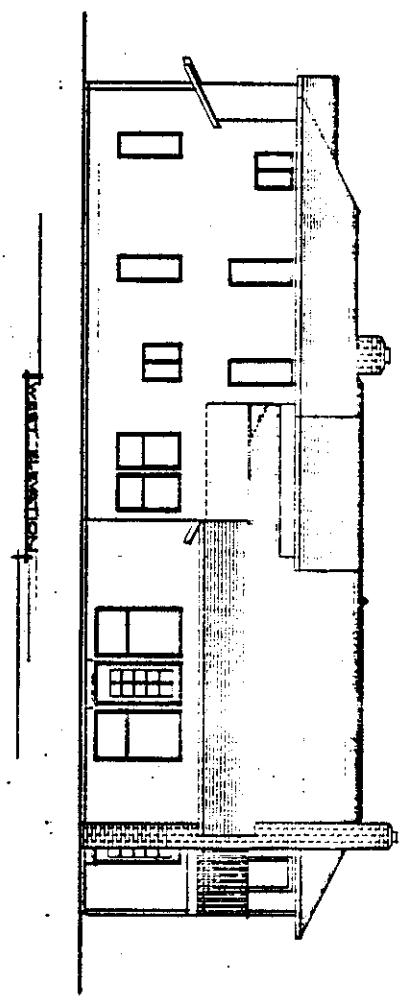
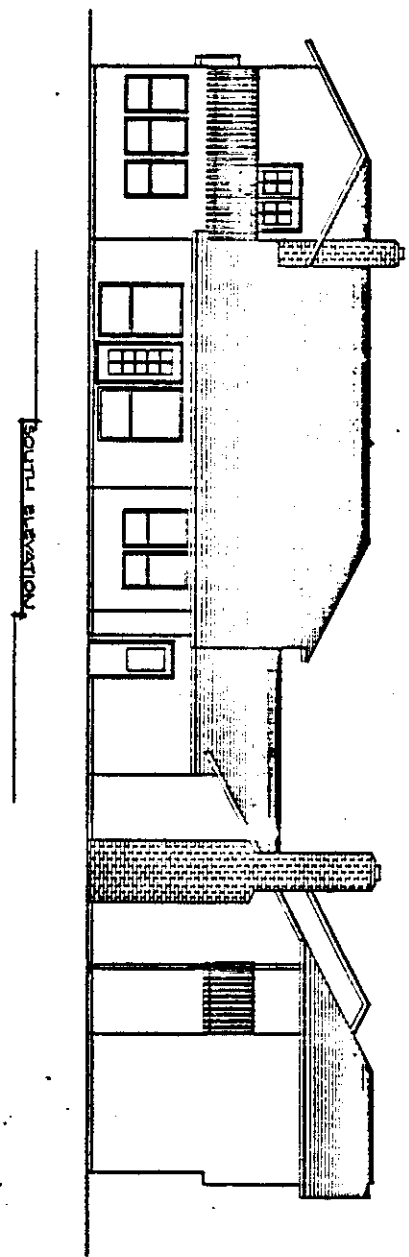
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Item 15

ELEVATIONS



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KLUG
ARCHITECTS
1000 UNIVERSITY AVENUE
SANTA ANITA, CALIF. 94068
TELEPHONE 645-1234

TED KLEIN

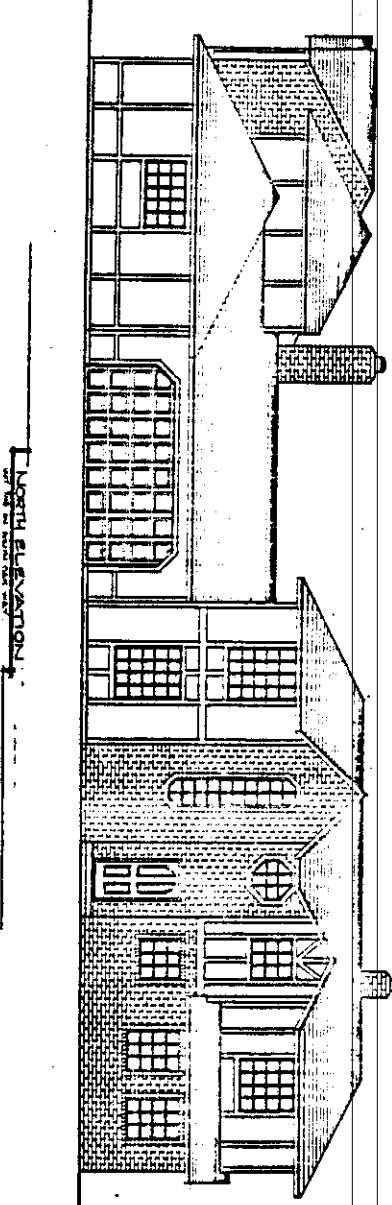
WEST & SOUTH ELEVATIONS

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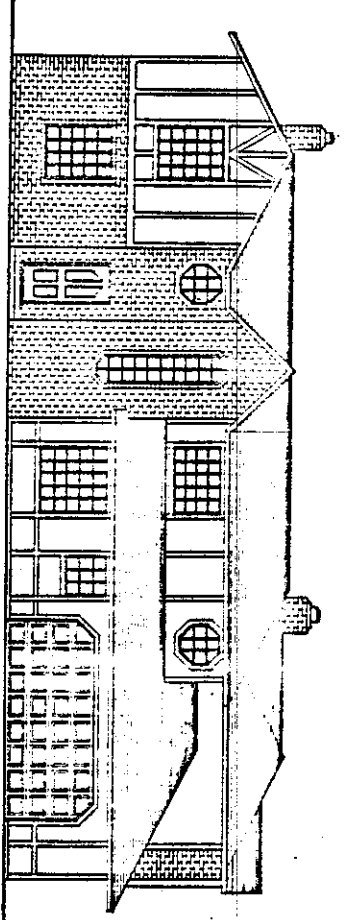
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NORTH ELEVATION



EAST ELEVATION

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YCCUE
 EAST & NORTH ELEVATIONS
 TED KLEIN

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