

CITY OF SACRAMENTO

1231 I Street, Sacramento, CA 95814

Permit No: 9904651

Insp Area: 1

Site Address: 1152 SANTA BARBARA CT SAC

Parcel No: 007-0132-015

Sub-Type: AOTHR

Housing (Y/N): N

CONTRACTOR

OWNER

NEUFELD DENNIS
10 SAN MATEO CT
SACRAMENTO CA 95822

ARCHITECT

Nature of Work: CONCRETE FOOTING, WALLS TO EXSISTING PORCH

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class _____ License Number _____ Date _____ Contractor Signature _____

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

~~_____~~ I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

_____ I am exempt under Sec. _____ B & PC for this reason: _____

Date 5-11-99 Owner Signature *Dennis Neufeld*

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and herby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 5-11-99 Applicant/Agent Signature *Dennis Neufeld*

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

_____ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

_____ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____ Exp Date _____

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 5-11-99 Applicant Signature *Dennis Neufeld*

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION. DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE:

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

City of Sacramento Development Services Division
Planning and Zoning Information Request

Project Address: 1152 SANTA BARBARA CT.

Assessor's Parcel Number: 007-0132-015

PREVIOUS USE: SFR

Current Land Use: SFR

Description of Request/Proposed Use: POUR NEW CONCRETE FOOTING,
FRAME WALLS W/STUDS @ 16" O.C. TO EXISTING ROOM

PLYWOOD + SIDING. REPLACE ADJACENT EXISTING STAIRS TO
BACK PORCH AND TO FRONT PORCH.

IS THIS A CHANGE OF USE? No

Zoning Designation: R-1

Prior Applications for Project Site(P#,Z#,DRPB#): NONE

Comments: No Planning reqmts.

Are There Any Planning Issues?: (Circle One) YES NO

** STAFF Site Plan Check Required? (Circle One) YES NO

** FIELD INSPECTION REQUIRED (CIRCLE ONE) YES NO

** Design Review/ Preservation Required?: (Circle One) YES NO

Planning Review by/Date: _____

A list of items that must be reviewed by Planning is provided on the reverse side of this form.

MICHAEL

OWNER-BUILDER VERIFICATION

ATTENTION PROPERTY OWNER

An owner-builder building permit has been applied for in your name and bearing your signature.

Please complete and return this information in the envelope provided at your earliest opportunity to avoid unnecessary delay in processing and issuing your building permit. No building permit will be issued until this verification is received.

1. I personally plan to provide the major labor and materials for construction of the proposed improvement (yes or no) YES

2. I ~~(have)~~ have not) HAVE signed an application for a building permit for the proposed work.

3. I have contracted with the following person (firm) to provide the proposed construction:

Name RANDY PARKER Address _____

City RANCHO CORDOVA Telephone _____

Contractors License No. _____

4. I plan to provide portions of the work, but I have hired the following person to coordinate, supervise, and provide the major work.

Name TO BE DETERMINED Address _____

City _____ Telephone _____

Contractors License No. _____

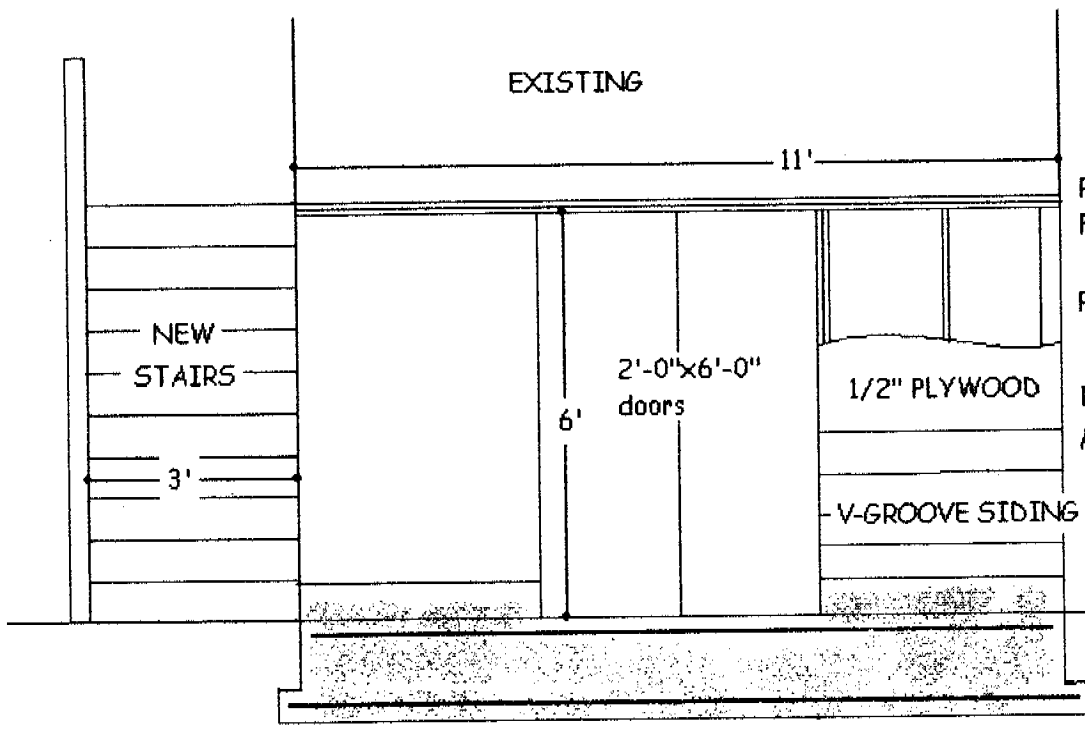
5. I will provide some of the work but I have contracted (hired) the following to provide the work indicated:

Name	Address	Phone	Type of Work
<u>TO BE DETERMINED</u>			

Signed [Signature]

Job Address 1152 SANTA BARBARA CT, SACO Date 5-11-99

Permit No.: _____



NOT TO SCALE

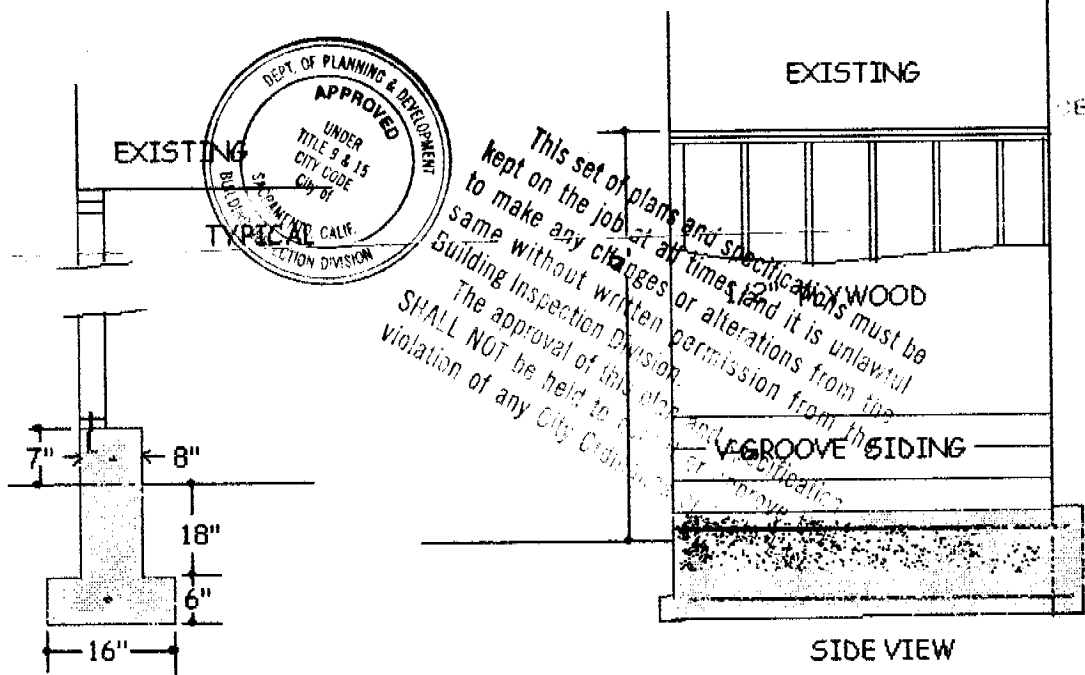
1152 SANTA BARBARA CT.
SACRAMENTO
POUR NEW CONCRETE FOOTING
FRAME WALLS W/STUDS @16" O.C
TO EXISTING ROOM
PLYWOOD & SIDING AS SHOWN
AREA TO BE STORAGE ONLY
REPLACE EXISTING STAIRS TO
MAIN FLOOR W/NEW STAIRS

new construction ———
existing structure - - - - -

ISSUED

MAY 11 1999

CITY OF SACRAMENTO
DEVELOPMENT SERVICES DIV



Reviewed by Matt P. 5/11/99

- ① Stairs must comply w/ code. All risers must be equal.
Min. 36" x 36" landing req'd top & bottom. Min 3 redwood or D.F. 2x12 stringers. See UBC for details.
- ② Detail new foundation into existing foundation.
- ③ Code compliance will be field verified, because not all details are included on this plan.



CHICAGO TITLE COMPANY

CLOSER: Mary L. Matheny
 DATE OF PRINTING: 03/10/99
 TIME OF PRINTING: 12:52

TYPE OF LOAN		
1. <input type="checkbox"/> FHA	2. <input type="checkbox"/> FmHA	3. <input type="checkbox"/> CONV. UNINS.
4. <input type="checkbox"/> VA	5. <input type="checkbox"/> CONV. INS.	
6. File Number:	1030412	RWV
	001030412-001 MLM CEN	
7. Loan Number		
8. Mortgage Insurance Case Number		

SETTLEMENT STATEMENT
U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT

C. NOTE: This form is furnished to give you a statement of actual settlement costs. Amounts paid to and by the settlement agent are shown. Items marked "(p.o.c.)" were paid outside the closing; they are shown here for informational purposes and are not included in the totals.

D. NAME OF BORROWER: DENNIS B. NEUFELD AND SUSAN M. E. DAVIDSON
ADDRESS: 10 SAN MATEO COURT SACRAMENTO CALIFORNIA 95822

E. NAME OF SELLER: RICHARD M. CLOWDUS
ADDRESS: 901 44TH STREET SACRAMENTO CALIFORNIA 95819

F. NAME OF LENDER: RICHARD M. CLOWDUS
ADDRESS:

G. PROPERTY LOCATION: 1152 SANTA BARBARA COURT SACRAMENTO CALIFORNIA 95816

H. SETTLEMENT AGENT: Chicago Title Company
ADDRESS: 2410 Fair Oaks Blvd. #110 SACRAMENTO CALIFORNIA 95825

PLACE OF SETTLEMENT: 2410 Fair Oaks Blvd. #110 SACRAMENTO CALIFORNIA 95825

I. SETTLEMENT DATE: March 10, 1999
DISBURSEMENT DATE: March 10, 1999

J. SUMMARY OF BORROWER'S TRANSACTION		K. SUMMARY OF SELLER'S TRANSACTION	
100. GROSS AMOUNT DUE FROM BORROWER:		400. GROSS AMOUNT DUE TO SELLER:	
101. Contract sales price	137,300.00	401. Contract sales price	
102. Personal Property		402. Personal Property	
103. Settlement charges to borrower (line 1400)	1,335.28	403.	
104.		404.	
105.		405.	
Adjustments for items paid by seller in advance		Adjustments for items paid by seller in advance	
106. City/town taxes to		406. City/town taxes to	
107. County taxes 03/10/99 to 07/01/99	390.01	407. County taxes to	
108. Assessments to		408. Assessments to	
109.		409.	
110.		410.	
111.		411.	
112.		412.	
120. GROSS AMT DUE FROM BORROWER	139,025.29	420. GROSS AMT DUE TO SELLER	
200. AMOUNTS PAID BY OR IN BEHALF OF BORROWER		500. REDUCTIONS IN AMOUNT DUE TO SELLER:	
201. Deposit or earnest money	66,025.29	501. Excess deposit (see instructions)	
202. Principal amount of new loan(s)		502. Settlement charges to seller (line 1400)	
203. Existing loan(s) taken subject to		503. Existing loan(s) taken subject to	
		504. Payoff of first mortgage loan	
204. Seller Carry Back	73,000.00	505. Payoff of second mortgage loan	
205.			
206.		506.	
207.		507.	
208.		508.	
209.		509.	
Adjustments for items unpaid by seller		Adjustments for items unpaid by seller	
210. City/town taxes to		510. City/town taxes to	
211. County taxes to		511. County taxes to	
212. Assessments to		512. Assessments to	
213.		513.	
214.		514.	
215.		515.	
216.		516.	
217.		517.	
218.		518.	
219.		519.	
220. TOTAL PAID BY/FOR BORROWER	139,025.29	520. TOTAL REDUCTIONS AMT DUE SELLER	
300. CASH AT SETTLEMENT FROM/TO BORROWER		600. CASH AT SETTLEMENT TO/FROM SELLER	
301. Gross amt due from borrower (line 120)	139,025.29	601. Gross amt due to seller (line 420)	
302. Less amts paid by/for borrower (line 220)	(139,025.29)	602. Less reductions in amt due seller (line 520)	
303. CASH (<input type="checkbox"/> FROM) (<input checked="" type="checkbox"/> TO) BORROWER	0.00	603. CASH (<input type="checkbox"/> TO) (<input type="checkbox"/> FROM) SELLER	

The undersigned hereby certifies that this document to be a true and correct copy of the original.
 GEORGE H. HARRIS

By C. Stone