

CITY OF SACRAMENTO

1231 I Street, Sacramento, CA 95814

Permit No: 0509192

Insp Area: 2

Thos Bros: 317D1

Site Address: 1912 8TH AV SAC

Parcel No: 012-0315-003

Sub-Type: REM

Housing (Y/N): N

CONTRACTOR

JIL DESIGN GROUP
1147 EASTERN AVE
SAC CA 95864

OWNER

COLTON BARBARA L
1912 8TH AV
SACRAMENTO, CA 95818

ARCHITECT

Nature of Work: MASTER BATHROOM REMODEL

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class _____ License Number 568770 Date _____ Contractor Signature *[Signature]*

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the above mentioned property for inspection purposes.

Date _____ Applicant/Agent Signature *[Signature]*

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier STATE FUND Policy Number 1150254 Exp Date 08/01/2005

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date _____ Applicant Signature *[Signature]*

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.



DATE: 6-23-05

CITY OF SACRAMENTO
DEVELOPMENT SERVICES DIVISION
FAXED PERMIT APPLICATION (certain restrictions apply)

Fax # 916-264-1901

Faxed request must be received in this office by 3:00 p.m. to be processed the following work day.
Note: Contractors must have a current certificate of Worker's Compensation Insurance.

Note: Work started before a Building Permit is issued will be subject to quad fee

IN ORDER TO PROCESS THIS REQUEST, ALL THE FOLLOWING INFORMATION MUST BE PROVIDED:

- RESIDENTIAL • APARTMENTS (4+ units per building) • COMMERCIAL (limited)
- JOB ADDRESS: 1912 8th Avenue Sacramento, CA 95818 UNIT # 1/A • CONTRACT PRICE \$10,840.00
- CONTACT PERSON: KATAL DANI • CONTACT PHONE: 916-485-7072

Property Owner: BARBARA COLTON
Address: 1912 8th Avenue,
City/State/Zip: SACRAMENTO, CA - 95818
Phone: 916-447-1432
Contractor: J.L. DESIGN GROUP, License # 568770
Address: 1147 EASTERN AVENUE,
City/State/Zip: SACRAMENTO, CA - 95864
Phone: 916-485-7077 FAX: 916-485-0236

NATURE OF REQUEST: Indicate from the selections below & provide details under description of work.

<ul style="list-style-type: none"> REROOF (excluding tile) <ul style="list-style-type: none"> TEAR-OFF RESHEET HOUSE • GARAGE <p>#SQUARES Material:</p> <ul style="list-style-type: none"> SIDING <ul style="list-style-type: none"> wood T-111 Herz vinyl stucco <p>Note: Design Review approval may be required in certain areas.</p>	<ul style="list-style-type: none"> HVAC INSTALLATIONS (residential ONLY) <ul style="list-style-type: none"> CHANGE-OUT • NEW <ul style="list-style-type: none"> Heat Pump Package Split system Roof mount Cut-in Heat pump or elect. unit to gas. Wall furnace Other (describe below) <p>Value of duct work: Equipment: \$ Cut-in: \$</p> <p>Note: Design Review approval may be required for rooftop units.</p>	<ul style="list-style-type: none"> WATER HEATER (residential ONLY) <ul style="list-style-type: none"> GAS • ELECTRIC <ul style="list-style-type: none"> Change-out Electric to Gas Relocate New DRY ROT OR TERMITES DAMAGE REPAIR (Describe locations below) <p>Note: Design Review approval may be required in certain areas.</p>	<ul style="list-style-type: none"> MINOR ELECTRIC and/or MINOR PLUMBING (residential ONLY) <ul style="list-style-type: none"> Electric Service Change # amps New electric circuits Re-wire Water Service Replacement Sewer Service Replacement Gas Line Replacement <p>Re-plumb • Water • Waste</p>	<ul style="list-style-type: none"> PUBLIC UTILITIES SAFETY INSPECTION* (Residential and single apartment units ONLY) <ul style="list-style-type: none"> SMUD PGE <p>*NOTE: Correction Notice items will require an additional building permit</p>
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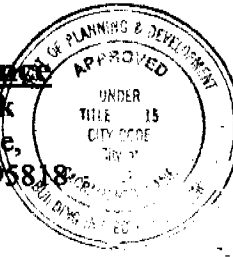
DESCRIPTION OF WORK:

REMODEL MASTER BATHROOM. PLEASE ATTACHED DRAWINGS & SCOPE OF WORK.

fax: permit.frm [rev online 3/1/00]

THE APPROVAL OF ALL PLUMBING
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Colton Residence
Scope of Work
1912 8th Avenue,
Sacramento, CA- 95818



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division

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Project:

Scope of work includes the following area:

- a. Master Bath

1. Permit:

J.I.L. to submit drawings to building department for building permit and to pay fees as required.

2. Demolition/ Disposal:

Labor:

- a. Remove existing counter top, backsplash, cabinetry, window, light fixtures, flooring and plumbing fixtures.

3. Framing:

Labor:

- a. Frame new wall at the shower area as per proposed plan.
- b. Frame to accommodate a seat and grab bar in the shower area as per proposed plan
- c. Frame to install new fixed glass panel and frameless shower door.

4. Electrical:

Labor:

- a. Provide and install one recessed fluorescent light at the existing location to meet the code requirements.
- b. Install two GFCI outlets with 20 amp circuit at the backspalash.
- c. Provide and install two sconces at the existing location of j- box on vanity mirror.

5. Plumbing:

Labor:

- a. Re- locate rough plumbing for the water closet and install new one as per attached proposed plan.
- b. Install new sink, faucet and strainer at the vanity area.
- c. Install hand held shower fixture and drain in the shower.

6. Drywall/ Texture:

Labor:

- a. Sheetrock, tape and texture newly framed walls in the bathroom. Texture to match the existing texture.
- b. Repair, tape and texture ceiling and areas as needed from demolition.
- c. Hang green boards in shower area.
- d. Repair floor due to changes in location of the water closet.

SMOKE DETECTORS ARE REQUIRED WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT ARE IN EXCESS OF \$1,000 OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED (GROUP R)

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CITY COPY

7. Cabinetry:

Labor:

- a. Provide and install 3/4" decking for the granite counter top.
- b. Install new cabinets at the vanity area as per proposed plan.
- c. Install cabinetry for linen storage with mirror inserts at the doors as per proposed plan.

8. Countertops:

Labor:

- a. Fabricate and install marble vanity counter

9. Hot Mop:

Labor:

- a. Hot mop at shower area and seat

10. Shower Walls/ Floor:

Labor:

- a. Provide and install tile with inserts as per drawings

11. Flooring:

Labor:

- a. Provide and install porcelain tile as per drawings

12. Windows:

Labor:

- a. Install new casement window at the existing location as per proposed plan.
Size of opening: Same as the existing

16. Shower Enclosure:

Labor:

- a. Provide and install framed shower door and fixed glass panel as per drawing

17. Solatube:

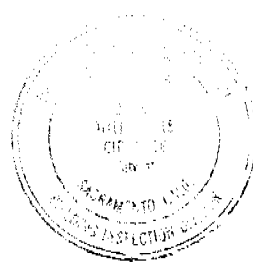
Labor:

- a. Provide and install solatube as specified in the drawing

J.I.L. Coordination and Project Management:

J.I.L. Design Group to act as a general contractor on the project. Purchasing, scheduling work, coordination, follow-up of inspections and communication with home owners and sub contractors to be done by J.I.L. Project manager.

Thank You!



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WALL LEGEND



EXISTING WALLS



WALLS TO BE REMOVED



NEW WALLS

NOTE: CABINET HARDWARE LOCATIONS SHOWN ARE FOR REPRESENTATION ONLY; ACTUAL DRILLINGS WILL BE VERIFIED AT TIME OF INSTALLATION.

FINAL VERIFICATION OF ALL DIMENSIONS IS THE RESPONSIBILITY OF THE CONTRACTOR.

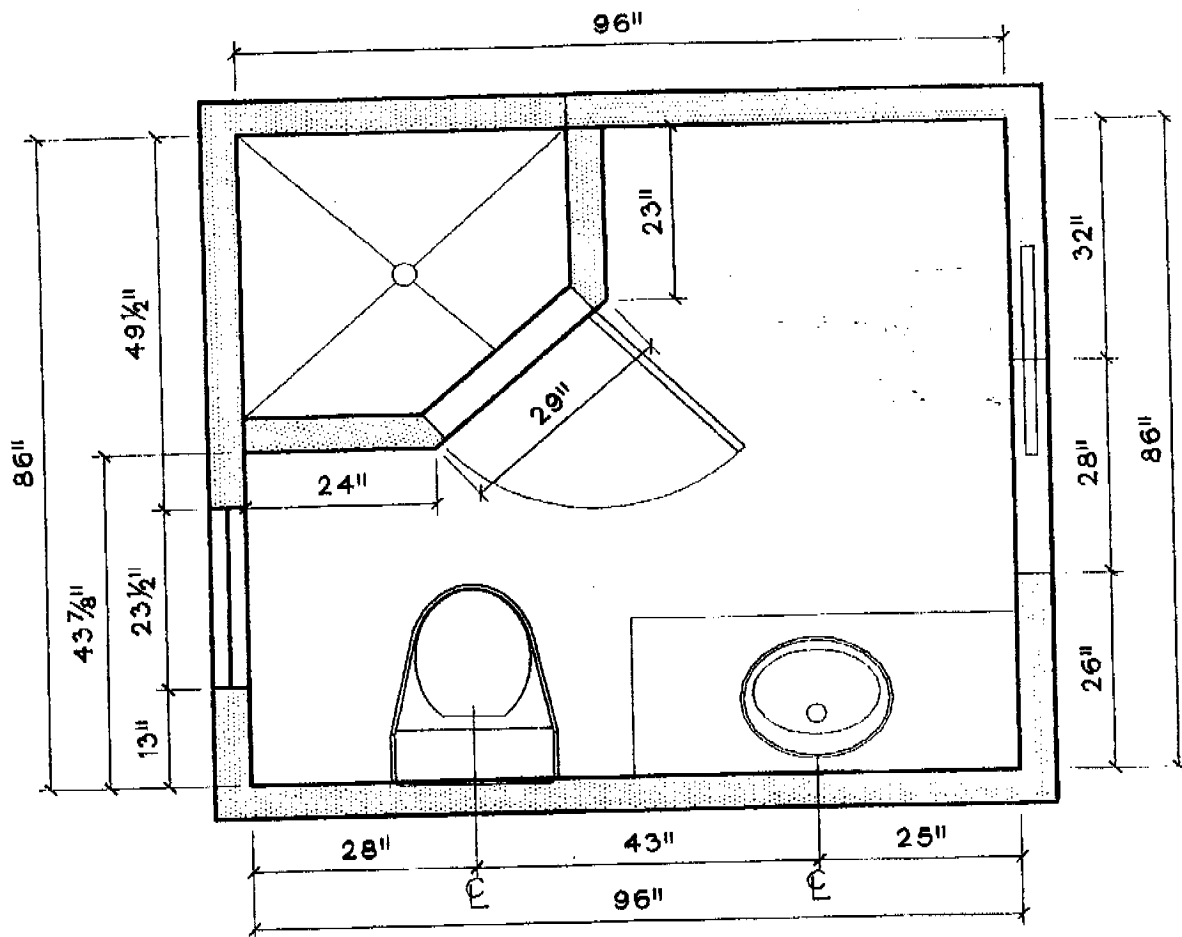
ALL DIMENSIONS SHOWN ARE ACTUAL, FINISHED DIMENSIONS, NOT FRAMING DIMENSIONS

THE APPROVAL OF ALL PLUMBING MECHANICAL AND ELECTRICAL IS SUBJECT TO FIELD INSPECTION



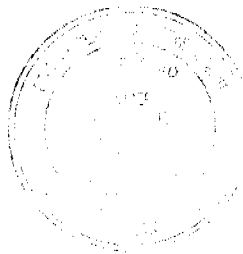
This set of plans and specifications must be kept on file in all areas and it is unlawful to make any changes or alterations from the same without written permission from the Plumbing Inspection Division.

The approval of this plan and specification shall not be held to permit or approve the violation of any City Ordinance or State Law.



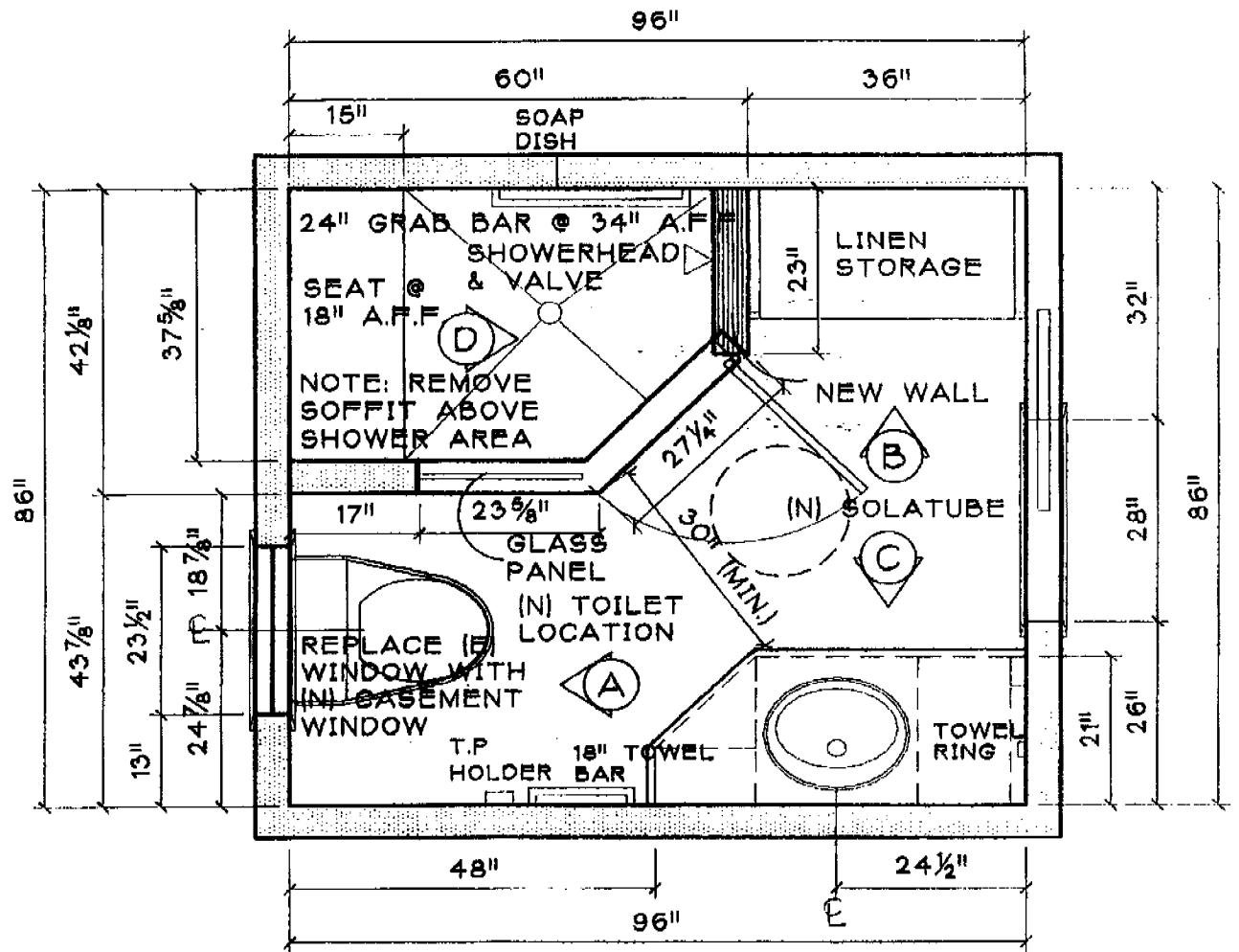
EXISTING FLOOR PLAN

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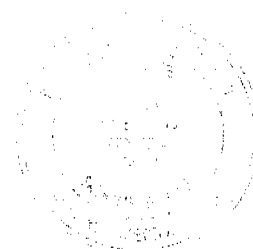
This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the City Engineer.

The contractor shall be held responsible for the violation of any City Ordinances or State Law.



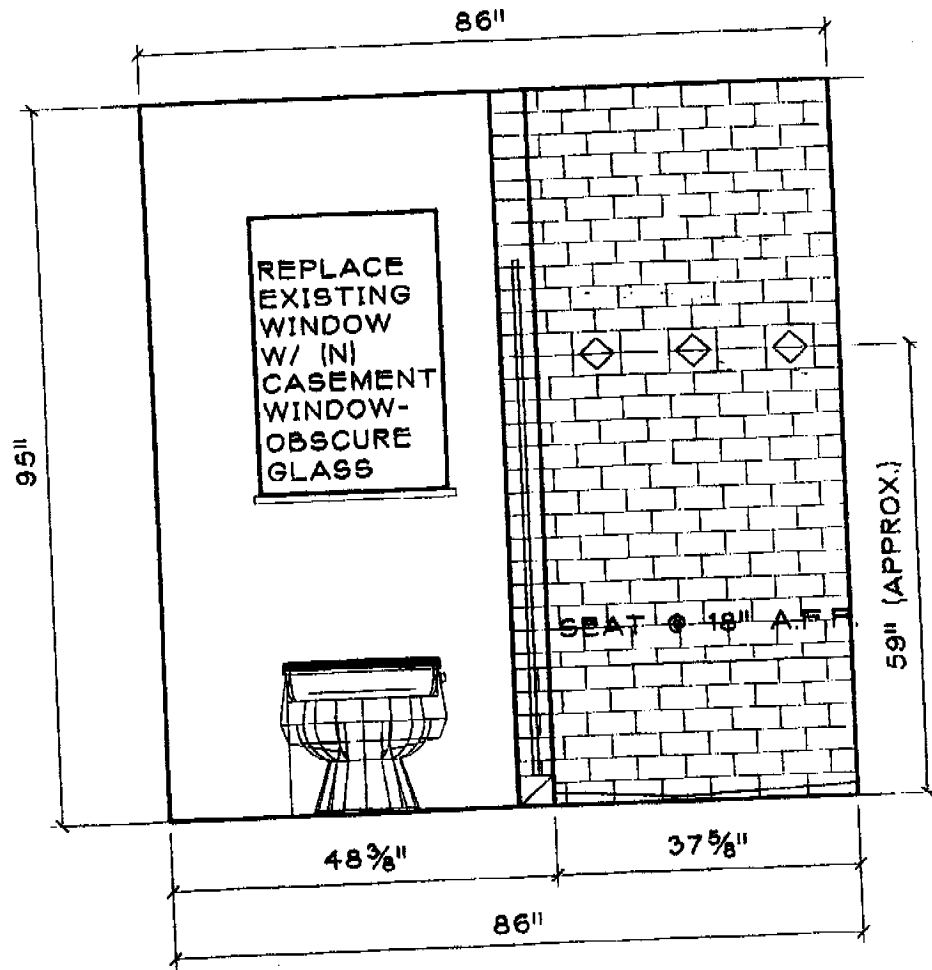
PROPOSED FLOOR PLAN

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Plans and specifications must be
submitted for approval and it is unlawful
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same without written permission from the
Building Inspection Division

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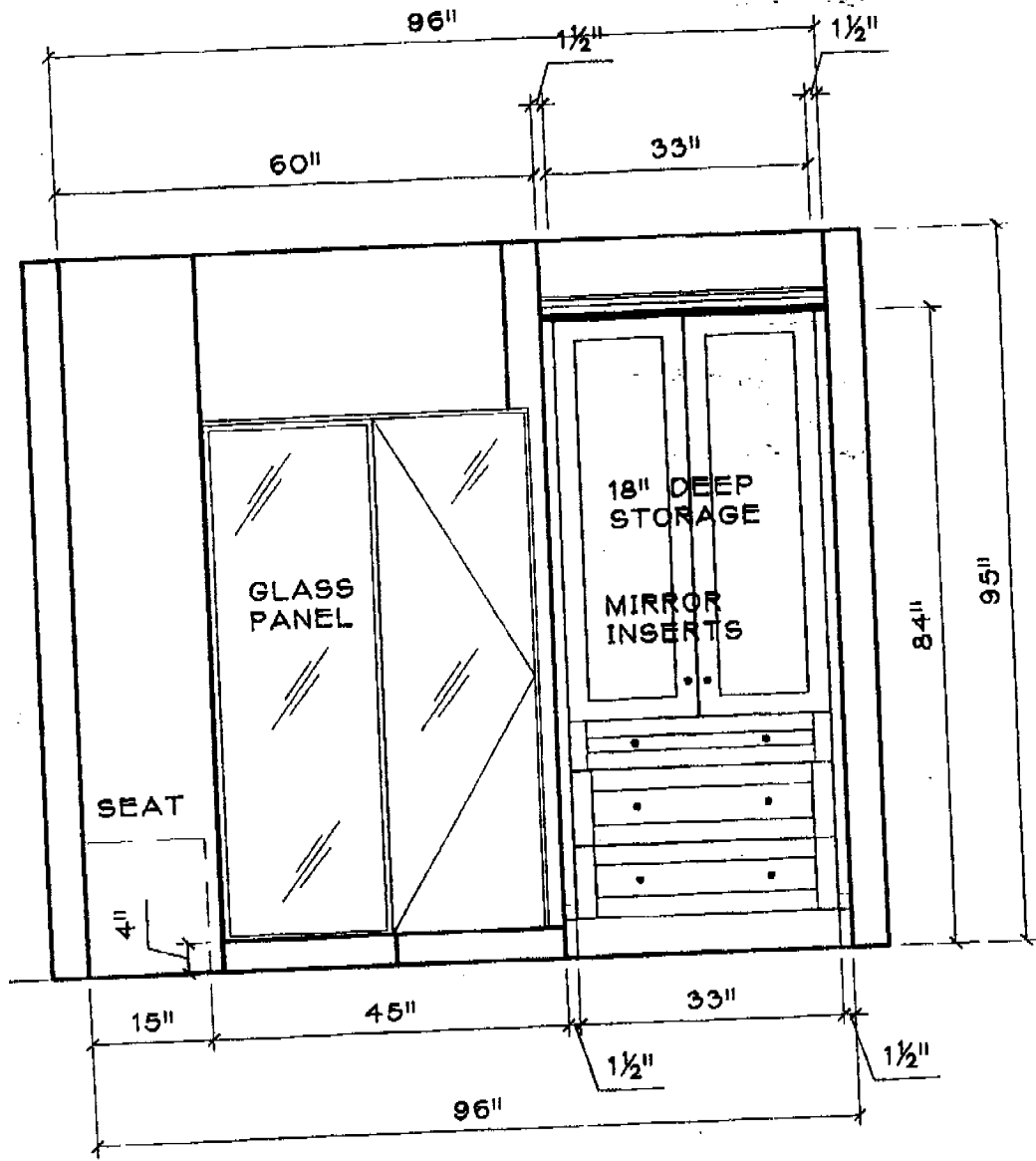
ELEVATION A

THE APPROVAL OF ALL PLUMBING MECHANICAL AND ELECTRICAL IS SUBJECT TO FIELD INSPECTION



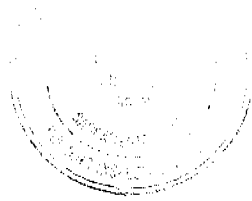
THIS PLAN IS SUBJECT TO THE APPROVAL OF THE BUILDING INSPECTION DIVISION TO CORRECT ANY CHANGES OR OMISSIONS NOT SHOWN WITHIN PERMISSIBLE USE OF THE BUILDING INSPECTION DIVISION

THE APPROVAL OF THIS PLAN IS NOT A GUARANTEE OF THE QUALITY OF THE WORK OR THE ADHERENCE TO ANY CITY ORDINANCE OR STATE LAW



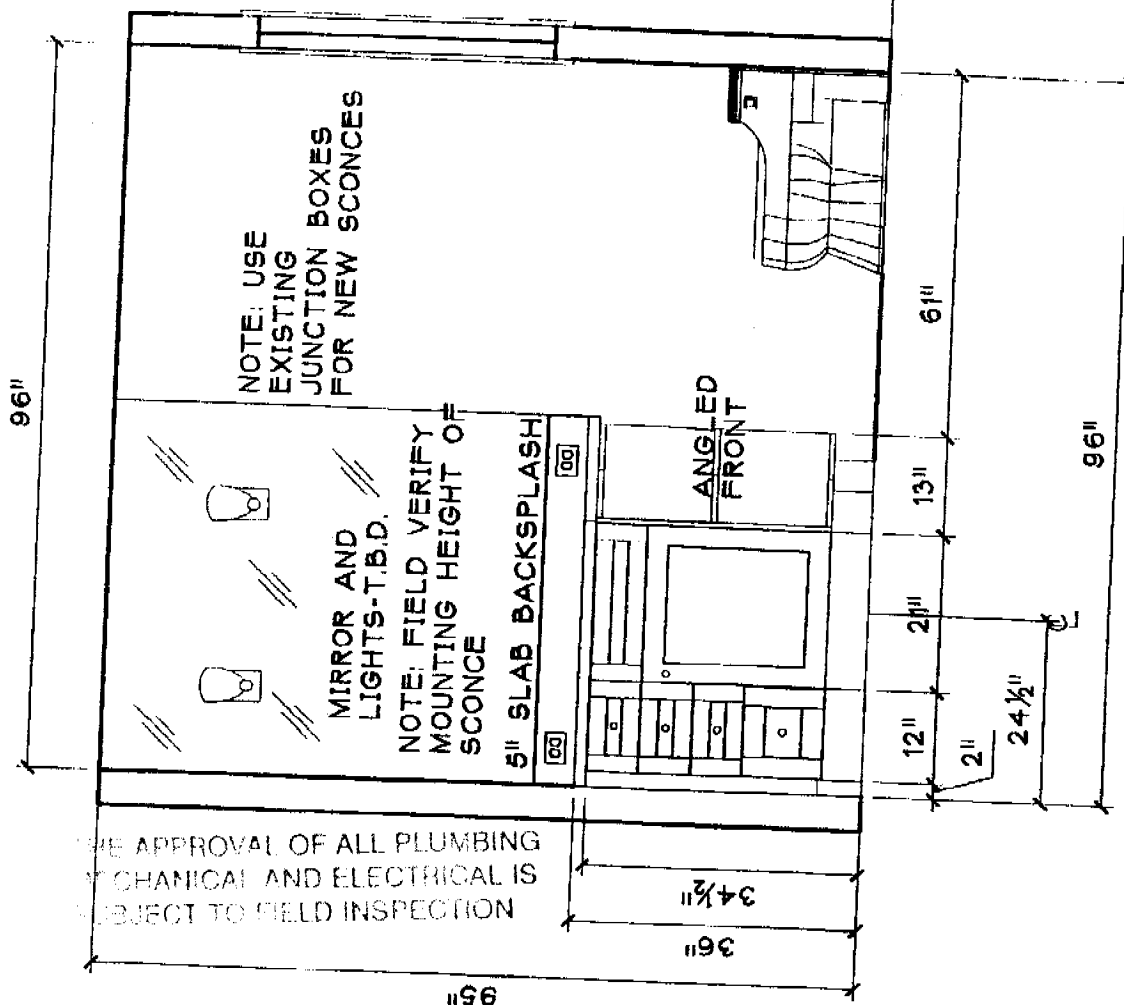
ELEVATION B

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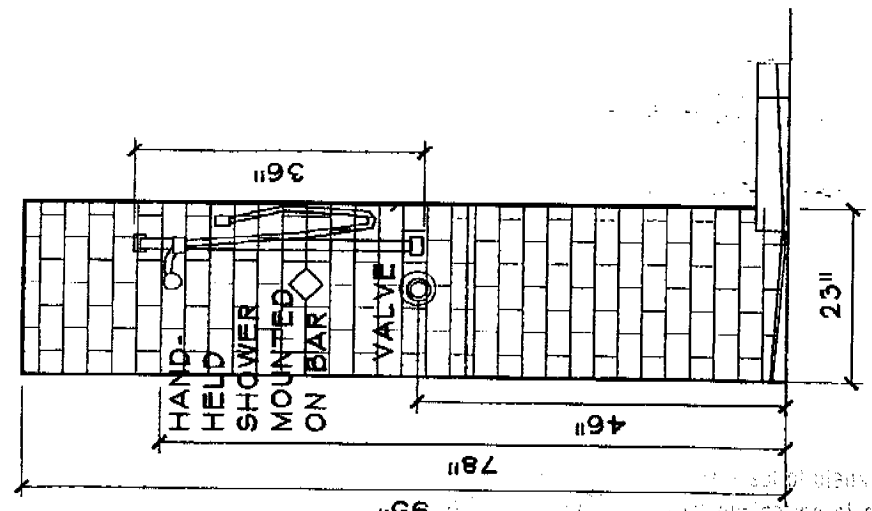


RECEIVED FROM THE ARCHITECT FOR THE
BUILDING INSPECTION DIVISION

THE APPROVAL OF THIS PLAN AND SPECIFICATION
SHALL NOT BE HELD TO PERMIT OR APPROVE THE
VIOLATION OF ANY CITY ORDINANCE OR STATE LAW.



ELEVATION C

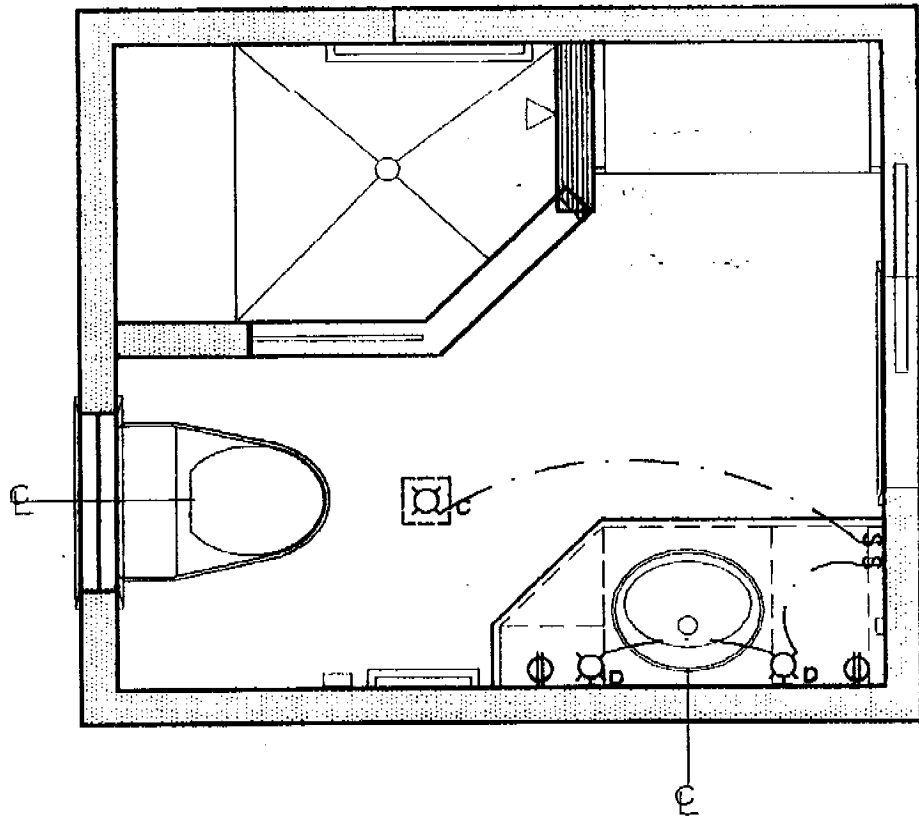


ELEVATION D

The seal of plans and specifications must be kept in the office at all times and it is unlawful to make any changes or alterations from the original without written permission from the Building Inspection Division.

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SMOKE DETECTORS ARE REQUIRED
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 \$1,000 OR WHEN ONE OR MORE SLEEPING
 ROOMS ARE ADDED OR CREATED (GROUP R)



PROPOSED ELECTRICAL PLAN

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THIS PLAN IS THE PROPERTY OF THE CITY OF WINSTON-SALEM, NORTH CAROLINA. IT IS LOANED TO YOU FOR YOUR INFORMATION AND SPECIFICATION ONLY. IT IS NOT TO BE REPRODUCED OR APPLIED TO ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.

PROPOSED ELECTRICAL PLAN

P

ELECTRICAL SCHEDULE					
TYPE	SYM.	MANUF.	CAT. NO.	LAMPS	REMARKS
REC.	<input checked="" type="checkbox"/> WP	ELCKO	T.B.D.		6" CAN-WATERPROOF TRIM/LEN
REC.	<input checked="" type="checkbox"/> B	ELCKO	T.B.D.		4" CAN-WHITE TRIM
REC.	<input checked="" type="checkbox"/> C	ELCKO	T.B.D.	FLOURESCENT	6" FLOURESCENT CAN-WHITE T
SCONCE	<input checked="" type="checkbox"/> D	T.B.D.	T.B.D.		
FAN/LT	<input checked="" type="checkbox"/> E	PANASONIC	T.B.D.	FLOURESCENT	MEETS TITLE 24 REQUIREMENT
REC.	<input checked="" type="checkbox"/> F	HALO	T.B.D.		4" CAN-DIRECTIONAL TRIM
TYPE		SYMBOL		NOTES	
GFI DUPLEX OUTLET		⊕ GFI			
DEDICATED APPLIANCE OUTLET		⊕			
220V OUTLET		⊕			
3 WAY SWITCH		⊕ S		SMOKE DETECTORS ARE REQUIRED WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT ARE IN EXCESS OF \$1,000 OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED (GROUP B)	
DIMMER SWITCH		⊕ D			
GAS LINE		-⊕ GAS			
T.V. OUTLET		-⊕ CA T.V.			
TELEPHONE OUTLET		Δ PH			

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THE APPROVAL OF THIS PLAN AND EXECUTION THEREOF IS NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON NOR IS IT A GUARANTEE OF THE ACCURACY OF ANY CITY ORDINANCE OR STATE LAW.