

REPORT AMENDED BY CPC 12-13-90  
**CITY OF SACRAMENTO PLANNING COMMISSION**  
 1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

<b>APPLICANT</b>	Laurin Associates, 6363 Auburn Boulevard, Suite B, Citrus Heights, California 95621		
<b>OWNER</b>	Marriott Corporation, Marriott Drive, Washington, D.C. 20058		
<b>PLANS BY</b>	MWM and Associates, Inc., 2333 Harrison Street, Oakland, California 94612		
<b>FILING DATE</b>	August 28, 1990	<b>ENVIR. DFT.</b>	Negative Declaration
<b>ASSESSOR'S PCL. NO.</b>	024-0430-016		<b>REPORT BY</b> CG

- APPLICATION:**
- A. Negative Declaration.
  - B. Special Permit Modification to increase the number of nursing care beds from 30 to 42 and assisted living beds from 98 to 102 in a previously approved senior residential care facility on 4.04± acres in the Limited Commercial - Executive Airport Overlay Zone 4 (C-1(EA-4)) zone.
  - C. Special Permit Modification to amend the condition requiring horizontal wood lapped siding to allow vinyl siding.

**LOCATION:** 6000 South Land Park Drive

**PROPOSAL:** The applicant is requesting the necessary entitlements to increase the number of beds in a previously approved (P89-364) senior residential care facility and change the exterior building material.

**PROJECT INFORMATION:**

General Plan Designation:	Community/Neighborhood Commercial and Offices
Pocket Community Plan Designation:	Commercial/Shopping
Existing Zoning of Site:	C-1(EA-4)
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Commercial; C-1(EA-4)	Front:	7.5'	136'
South: Multi-family; R-3(EA-4)	Side(Int):	7.5'	11'
East: Duplexes; R-2	Rear:	15.0'	39'
West: Multi-family; R-3, R-1A			

Parking Required:	To be determined by CPC
Parking Provided:	51 spaces
Property Dimensions:	Irregular
Property Area:	4.04± acres
Square Footage of Building:	70,963 square feet
Height of Building:	33', 1 and 2 stories
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Exterior Building Materials:	Horizontal lapped vinyl siding
Roof Materials:	Asphalt composition

**BACKGROUND INFORMATION:** On September 5, 1975, the City Council approved a special permit (P6648) to expand the tennis club facility at this site. This facility has since been demolished. On September 24, 1987, the Planning Commission approved a special permit (P87-371) to develop a 117 unit complex for senior citizens with a reduction in parking and a lot line adjustment to merge two parcels. This facility was never built. On December 14, 1989, the Planning Commission approved a special permit (P89-364) to develop a senior residential care facility with 98 assisted living units and 30 nursing care beds. This is the special permit which is to be modified by this application.

**PROJECT EVALUATION:** Staff has the following comments:

A. Land Use and Zoning

The subject site consists of 4.04± acres in the Limited Commercial - Executive Airport Overlay Zone 4 (C-1(EA-4)) zone. The General Plan designates the site Community/Neighborhood Commercial and Offices. The Pocket Community Plan designates the site Commercial/Shopping. The surrounding land use and zoning includes commercial, zoned C-1(EA-4), to the north; multi-family, zoned R-3(EA-4), to the south; duplexes, zoned R-2, to the east; and multi-family, zoned R-3 and R-1A, to the west.

B. Applicant's Proposal

The applicant is requesting a special permit modification to increase the number of beds approved for a senior residential care facility. This includes an increase from 98 to 102 assisted living beds and an increase from 30 to 42 nursing care beds. The modification results in a total building square footage increase from 64,565 to 70,693 square feet. The main functions of the residential care facility are not changing. In addition to the increased number of beds, the applicant is requesting a modification of the condition which required horizontal wood siding. The applicant proposes to use vinyl siding.

C. Site Plan

The site plan indicates landscaping around the entire perimeter. There is also an eight foot wood fence to be provided. The project consists of 102 Assisted Living Units which are in the two-story portion of the structure to the southern part of the site. The 42 Nursing Care Units are single story located north of the Assisted Living Units. There is a Community Center which is single story located in the center of the site. There are also outdoor courtyards available for use by the residents. The special permit modification does not significantly alter the site plan previously approved.

D. Parking and Circulation

Parking requirements for a residential care facility are to be determined by the Planning Commission. The previous application was approved at a ratio of 0.32 parking spaces per bed. This ratio was determined by looking at the average parking demand for similar facilities. The Planning Commission has approved parking ratios for other senior residential care facilities ranging from 0.3 to 0.7 spaces per bed. The 144 beds in this facility require 46 spaces at the ratio of 0.32 spaces per bed. The site plan indicates 51 parking spaces to be provided. The previously approved site plan indicated 56 parking spaces. Some of these spaces, however, did not have adequate maneuvering area. The revised parking layout provides adequate maneuvering area. The applicant should review this revised circulation pattern with the Fire Department. The previous submittal also exceeded the maximum 30 percent allowable compact parking stalls. The Zoning Ordinance has since been revised to allow a maximum 40 percent compact spaces. The applicant may consider maximizing the parking provided by increasing to 40 percent compact spaces.

E. Building Design

The previously approved elevations indicated the exterior building siding to be horizontal lapped. The siding material was not specified. Staff recommended and conditioned the siding material be wood. The applicant

has requested this condition be modified to allow horizontal lapped vinyl siding. Staff consulted with a member of design review staff and visited sites where siding on the building consisted of vinyl siding. It was determined that with proper construction techniques, vinyl siding is an acceptable siding material. This siding should be used on all sides of the building, first and second floors. Staff suggests that the trim material be wood as indicated on Exhibit G. The windows and doors should be prepainted aluminum and the composition shingles should be laminated dimensional. Elevations indicating the trim wood as well as all other materials to be used should be submitted for Planning Director review and approval prior to the issuance of Building Permits.

F. Agency Comments

The proposed project was reviewed by City Traffic Engineering, Engineering Development Services, Building Inspection, Fire, and Community Services Divisions, as well as the Association to Preserve Land Park. No comments additional to those on the previous application were submitted.

ENVIRONMENTAL DETERMINATION: The Environmental Services Manager has determined that the project, as proposed, will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared. In compliance with Section 15070(B)1 of the California Environmental Quality Act Guidelines, the applicant has incorporated mandatory mitigation measures into the project plans to avoid identified effects or to mitigate such effects to a point where clearly no significant effects will occur. These mitigation measures are listed below.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Ratify the Negative Declaration;
- B. Approve the Special Permit Modification to increase the number of nursing care beds from 30 to 42 and assisted living beds from 98 to 102 in a previously approved senior residential care facility subject to conditions and based upon findings of fact which follow; and
- C. Approve the Special Permit Modification to amend the condition requiring horizontal wood lapped siding to allow vinyl siding subject to conditions and based upon findings of fact which follow.

Conditions

1. The applicant shall submit revised elevations for review and approval by the Planning Director which indicate all materials to be used. Vinyl siding may be used, however the trim shall be wood as indicated on Exhibit G.
2. The windows and doors shall be prepainted aluminum.
3. The roof shall consist of laminated dimensional composition shingles with a minimum life of 25 years.
4. *The applicant shall develop an evacuation plan for review and approval of the Planning Director prior to the issuance of building permits. (CPC added)*

Mandatory Mitigation Measures

1. Require construction contractors to implement a dust abatement program that will reduce the effect of construction on local PM 10 levels in the vicinity of construction zones. Elements of this program should include the following:
  - o Sprinkle all unpaved construction areas with water at least twice per day during demolition and excavation to reduce dust emissions. Additional watering should be carried out on hot or windy days. Watering could reduce particulate emissions by about 50 percent.

- o Cover stockpiles of sand, soil, and similar materials with a tarp.
  - o Cover trucks hauling dirt and debris to reduce spillage onto paved surfaces.
  - o Sweep up dirt or debris spilled onto paved surfaces immediately to reduce resuspension of PM 10 through vehicle movements over these surfaces.
  - o Require construction contractors to designate a person or persons to oversee the dust abatement program and to order increased watering, as necessary.
2. To reduce potential light and glare impacts to a less-than-significant level:
- o All exterior lighting will be directed away from or properly shaded to eliminate glare on existing residential uses and oncoming traffic.
3. To reduce potential impacts to cultural resources to less than significant level:
- o If subsurface archaeological or historical remains (including unusual amounts of bones, stones, or shells) are discovered during excavation or construction of the site, work shall stop immediately and a qualified archaeologist and a representative of the Native American Heritage Commission shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less-than-significant level before construction continues.

Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that:
- a. residential care facilities are allowed in the C-1(EA-4) zone with special permit approval;
  - b. The complex is adjacent to a shopping center and a bus stop; and
  - c. the project is compatible with the existing single, two and multi-family residential, and commercial land uses in the area.
2. The project, as conditioned, will not be detrimental to the public safety, nor result in the creation of a public nuisance in that:
- a. adequate parking and landscaping is provided on site;
  - b. van transportation is available to the residents and a bus stop is adjacent to the project; and
  - c. the project has adequate landscaping and building setbacks to protect adjacent properties.
3. The project is consistent with the General Plan which designates the site Community/Neighborhood Commercial and Offices, and the Pocket Community Plan designates the site Commercial/Shopping.

**CITY OF SACRAMENTO PLANNING COMMISSION**  
 1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

<b>APPLICANT</b> Laurin Associates, 6363 Auburn Boulevard, Suite B, Citrus Heights, California 95621
<b>OWNER</b> Marriott Corporation, Marriott Drive, Washington, D.C. 20058
<b>PLANS BY</b> MWM and Associates, Inc. 2333 Harrison Street, Oakland, California 94612
<b>FILING DATE</b> August 28, 1990 <b>ENVIR DET</b> Negative Declaration <b>REPORT BY</b> CG
<b>ASSESSOR'S PCL. NO.</b> 024-0430-016

**APPLICATION:**

- A. Negative Declaration.
- B. Special Permit Modification to increase the number of nursing care beds from 30 to 42 and assisted living beds from 98 to 102 in a previously approved senior residential care facility on 4.04± acres in the Limited Commercial - Executive Airport Overlay Zone 4 (C-1[EA-4]) zone.
- C. Special Permit Modification to amend the condition requiring horizontal wood lapped siding to allow vinyl siding.

**LOCATION:** 6000 South Land Park Drive

**PROPOSAL:** The applicant is requesting the necessary entitlements to increase the number of beds in a previously approved (P89-364) senior residential care facility and change the exterior building material.

**PROJECT INFORMATION:**

General Plan Designation: Community/Neighborhood Commercial and Offices  
 Pocket Community Plan Designation: Commercial/Shopping  
 Existing Zoning of Site: C-1(EA-4)  
 Existing Land Use of Site: Vacant

**Surrounding Land Use and Zoning:**

North: Commercial; C-1(EA-4)  
 South: Multi-family; R-3(EA-4)  
 East: Duplexes; R-2  
 West: Multi-family; R-3, R-1A

Setbacks:	Required	Provided
Front:	7.5'	136'
Side(Int):	7.5'	11'
Rear:	15.0'	39'

*See amended report*

Parking Required: To be determined by CPC  
 Parking Provided: 51 spaces  
 Property Dimensions: Irregular  
 Property Area: 4.04± acres  
 Square Footage of Building: 70,963 square feet  
 Height of Building: 33', 1 and 2 stories  
 Topography: Flat  
 Street Improvements: Existing  
 Utilities: Existing  
 Exterior Building Materials: Horizontal lapped vinyl siding  
 Roof Materials: Asphalt composition

**BACKGROUND INFORMATION:** On September 5, 1975, the City Council approved a special permit (P6648) to expand the tennis club facility at this site. This facility has since been demolished. On September 24, 1987, the Planning Commission approved a special permit (P87-371) to develop a 117 unit complex for senior citizens with a reduction in parking and a lot line adjustment to merge two parcels. This facility was never built. On December 14, 1989, the Planning Commission approved a special permit (P89-364) to develop a senior residential care facility with 98 assisted living units and 30 nursing care beds. This is the special permit which is to be modified by this application.

**PROJECT EVALUATION:** Staff has the following comments:

A. Land Use and Zoning

The subject site consists of 4.04+ acres in the Limited Commercial - Executive Airport Overlay Zone 4 (C-1(EA-4)) zone. The General Plan designates the site Community/Neighborhood Commercial and Offices. The Pocket Community Plan designates the site Commercial/Shopping. The surrounding land use and zoning includes commercial, zoned C-1(EA-4), to the north; multi-family, zoned R-3(EA-4), to the south; duplexes, zoned R-2, to the east; and multi-family, zoned R-3 and R-1A, to the west.

B. Applicant's Proposal

The applicant is requesting a special permit modification to increase the number of beds approved for a senior residential care facility. This includes an increase from 98 to 102 assisted living beds and an increase from 30 to 42 nursing care beds. The modification results in a total building square footage increase from 64,565 to 70,693 square feet. The main functions of the residential care facility are not changing. In addition to the increased number of beds, the applicant is requesting a modification of the condition which required horizontal wood siding. The applicant proposes to use vinyl siding.

C. Site Plan

The site plan indicates landscaping around the entire perimeter. There is also an eight foot wood fence to be provided. The project consists of 102 Assisted Living Units which are in the two-story portion of the structure to the southern part of the site. The 42 Nursing Care Units are single story located north of the Assisted Living Units. There is a Community Center which is single story located in the center of the site. There are also outdoor courtyards available for use by the residents. The special permit modification does not significantly alter the site plan previously approved.

D. Parking and Circulation

Parking requirements for a residential care facility are to be determined by the Planning Commission. The previous application was approved at a ratio of 0.32 parking spaces per bed. This ratio was determined by looking at the average parking demand for similar facilities. The Planning Commission has approved parking ratios for other senior residential care facilities ranging from 0.3 to 0.7 spaces per bed. The 144 beds in this facility require 46 spaces at the ratio of 0.32 spaces per bed. The site plan indicates 51 parking spaces to be provided. The previously approved site plan indicated 56 parking spaces. Some of these spaces, however, did not have adequate maneuvering area. The revised parking layout provides adequate maneuvering area. The applicant should review this revised circulation pattern with the Fire Department. The previous submittal also exceeded the maximum 30 percent allowable compact parking stalls. The Zoning Ordinance has since been revised to allow a maximum 40 percent compact spaces. The applicant may consider maximizing the parking provided by increasing to 40 percent compact spaces.

E. Building Design

The previously approved elevations indicated the exterior building siding to be horizontal lapped. The siding material was not specified. Staff recommended and conditioned the siding material be wood. The applicant

has requested this condition be modified to allow horizontal lapped vinyl siding. Staff consulted with a member of design review staff and visited sites where siding on the building consisted of vinyl siding. It was determined that with proper construction techniques, vinyl siding is an acceptable siding material. This siding should be used on all sides of the building, first and second floors. Staff suggests that the trim material be wood as indicated on Exhibit G. The windows and doors should be prepainted aluminum and the composition shingles should be laminated dimensional. Elevations indicating the trim wood as well as all other materials to be used should be submitted for Planning Director review and approval prior to the issuance of Building Permits.

**F. Agency Comments**

The proposed project was reviewed by City Traffic Engineering, Engineering Development Services, Building Inspection, Fire, and Community Services Divisions, as well as the Association to Preserve Land Park. No comments additional to those on the previous application were submitted.

**ENVIRONMENTAL DETERMINATION:** The Environmental Services Manager has determined that the project, as proposed, will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared. In compliance with Section 15070(B)1 of the California Environmental Quality Act Guidelines, the applicant has incorporated mandatory mitigation measures into the project plans to avoid identified effects or to mitigate such effects to a point where clearly no significant effects will occur. These mitigation measures are listed below.

**RECOMMENDATION:** Staff recommends the Planning Commission take the following actions:

- A. Ratify the Negative Declaration;
- B. Approve the Special Permit Modification to increase the number of nursing care beds from 30 to 42 and assisted living beds from 98 to 102 in a previously approved senior residential care facility subject to conditions and based upon findings of fact which follow; and
- C. Approve the Special Permit Modification to amend the condition requiring horizontal wood lapped siding to allow vinyl siding subject to conditions and based upon findings of fact which follow.

**Conditions**

- 1. The applicant shall submit revised elevations for review and approval by the Planning Director which indicate all materials to be used. Vinyl siding may be used, however the trim shall be wood as indicated on Exhibit G.
- 2. The windows and doors shall be prepainted aluminum.
- 3. The roof shall consist of laminated dimensional composition shingles with a minimum life of 25 years.

**Mandatory Mitigation Measures**

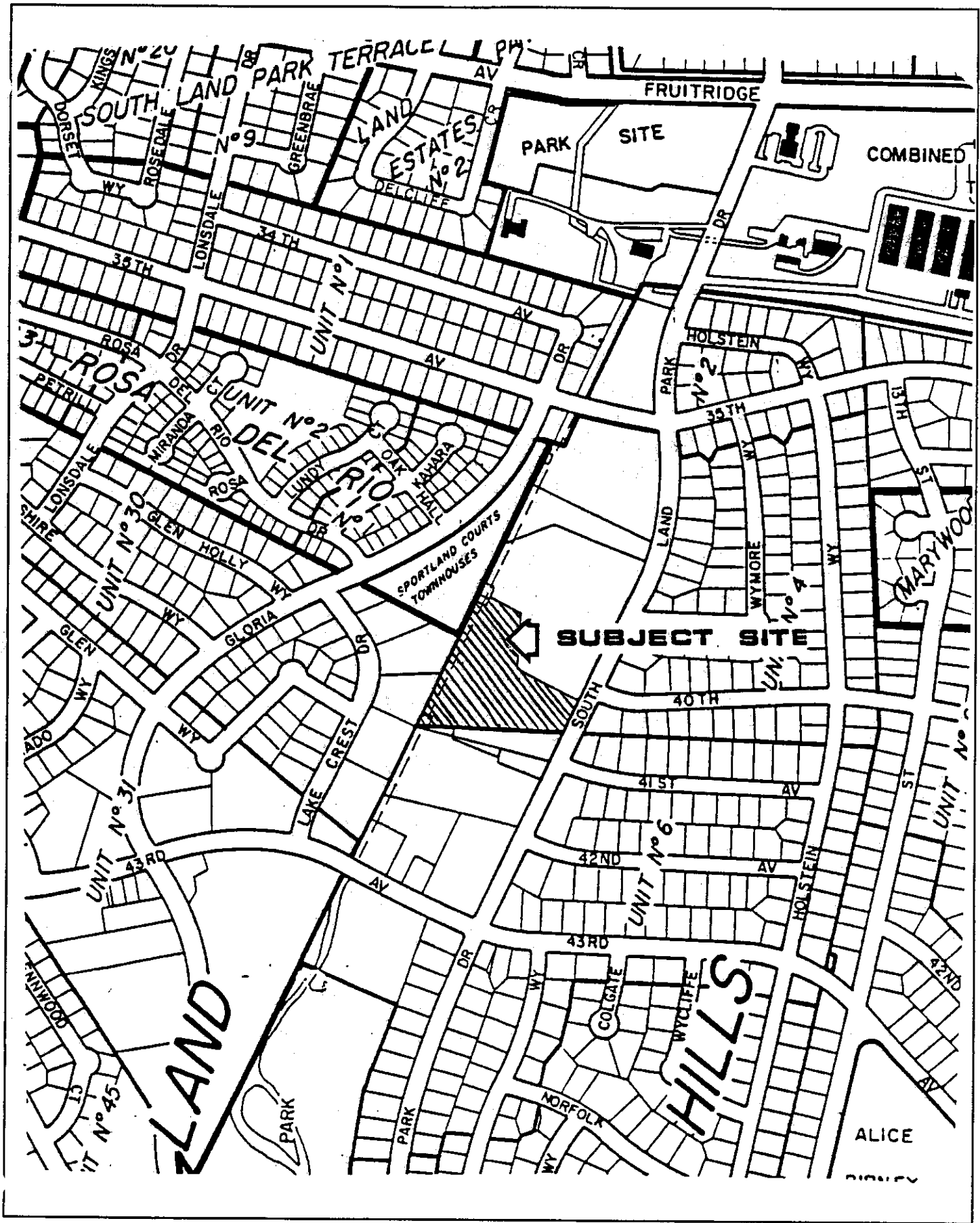
- 1. Require construction contractors to implement a dust abatement program that will reduce the effect of construction on local PM 10 levels in the vicinity of construction zones. Elements of this program should include the following:
  - o Sprinkle all unpaved construction areas with water at least twice per day during demolition and excavation to reduce dust emissions. Additional watering should be carried out on hot or windy days. Watering could reduce particulate emissions by about 50 percent.
  - o Cover stockpiles of sand, soil, and similar materials with a tarp.

- o Cover trucks hauling dirt and debris to reduce spillage onto paved surfaces.
  - o Sweep up dirt or debris spilled onto paved surfaces immediately to reduce resuspension of PM 10 through vehicle movements over these surfaces.
  - o Require construction contractors to designate a person or persons to oversee the dust abatement program and to order increased watering, as necessary.
2. To reduce potential light and glare impacts to a less-than-significant level:
- o All exterior lighting will be directed away from or properly shaded to eliminate glare on existing residential uses and oncoming traffic.
3. To reduce potential impacts to cultural resources to less than significant level:
- o If subsurface archaeological or historical remains (including unusual amounts of bones, stones, or shells) are discovered during excavation or construction of the site, work shall stop immediately and a qualified archaeologist and a representative of the Native American Heritage Commission shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less-than-significant level before construction continues.

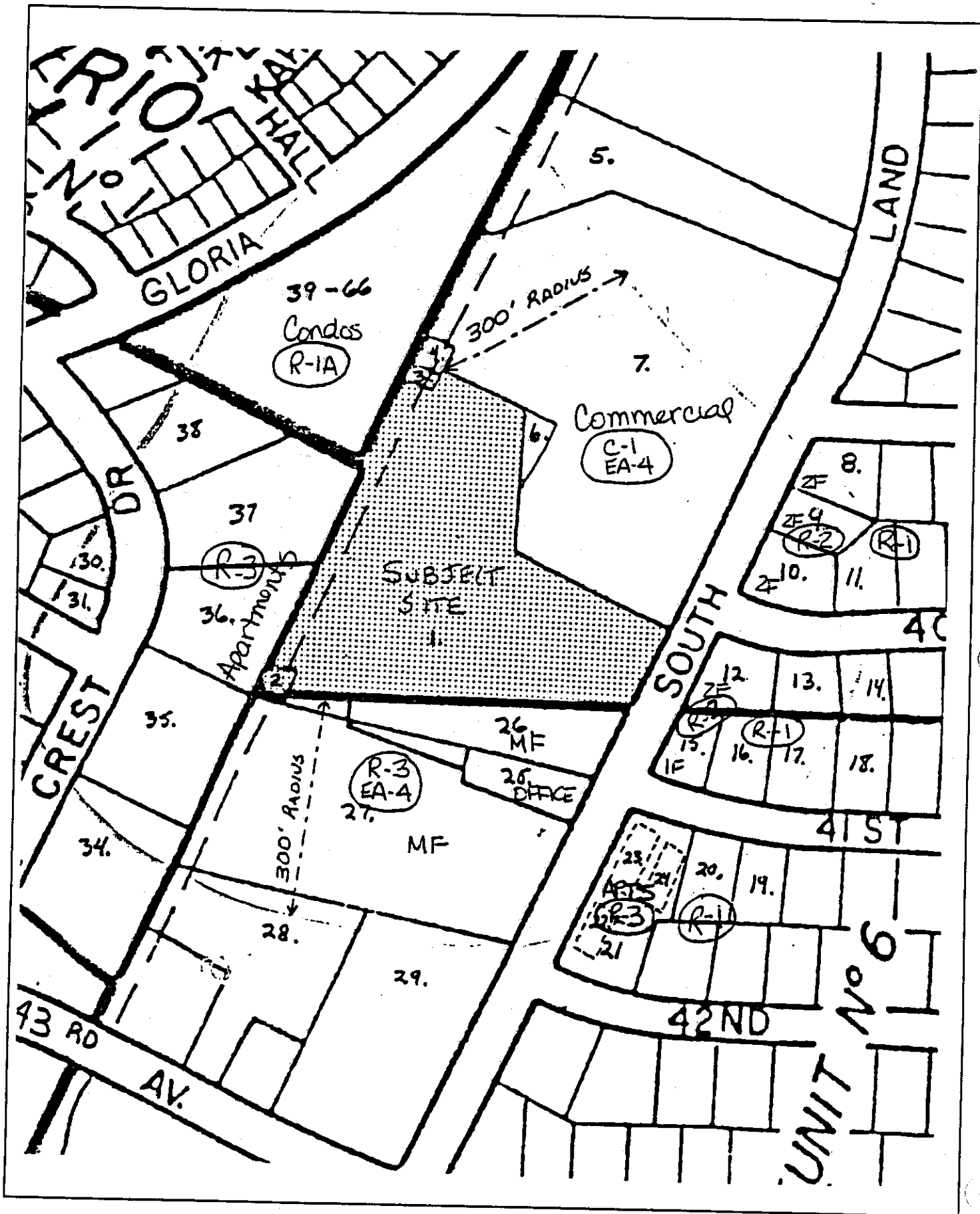
Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that:
- a. residential care facilities are allowed in the C-1(EA-4) zone with special permit approval;
  - b. The complex is adjacent to a shopping center and a bus stop; and
  - c. the project is compatible with the existing single, two and multi-family residential, and commercial land uses in the area.
2. The project, as conditioned, will not be detrimental to the public safety, nor result in the creation of a public nuisance in that:
- a. adequate parking and landscaping is provided on site;
  - b. van transportation is available to the residents and a bus stop is adjacent to the project; and
  - c. the project has adequate landscaping and building setbacks to protect adjacent properties.
3. The project is consistent with the General Plan which designates the site Community/Neighborhood Commercial and Offices, and the Pocket Community Plan designates the site Commercial/Shopping.





**VICINITY MAP**



**LAND USE & ZONING MAP**



Date: 28 September 1990  
 Job No. 1-80752  
 Drawn  
 Checked  
 Approved for the Owner

# EXHIBIT A

Approved by \_\_\_\_\_  
 \_\_\_\_\_  
 No. \_\_\_\_\_

Marriott Corporation

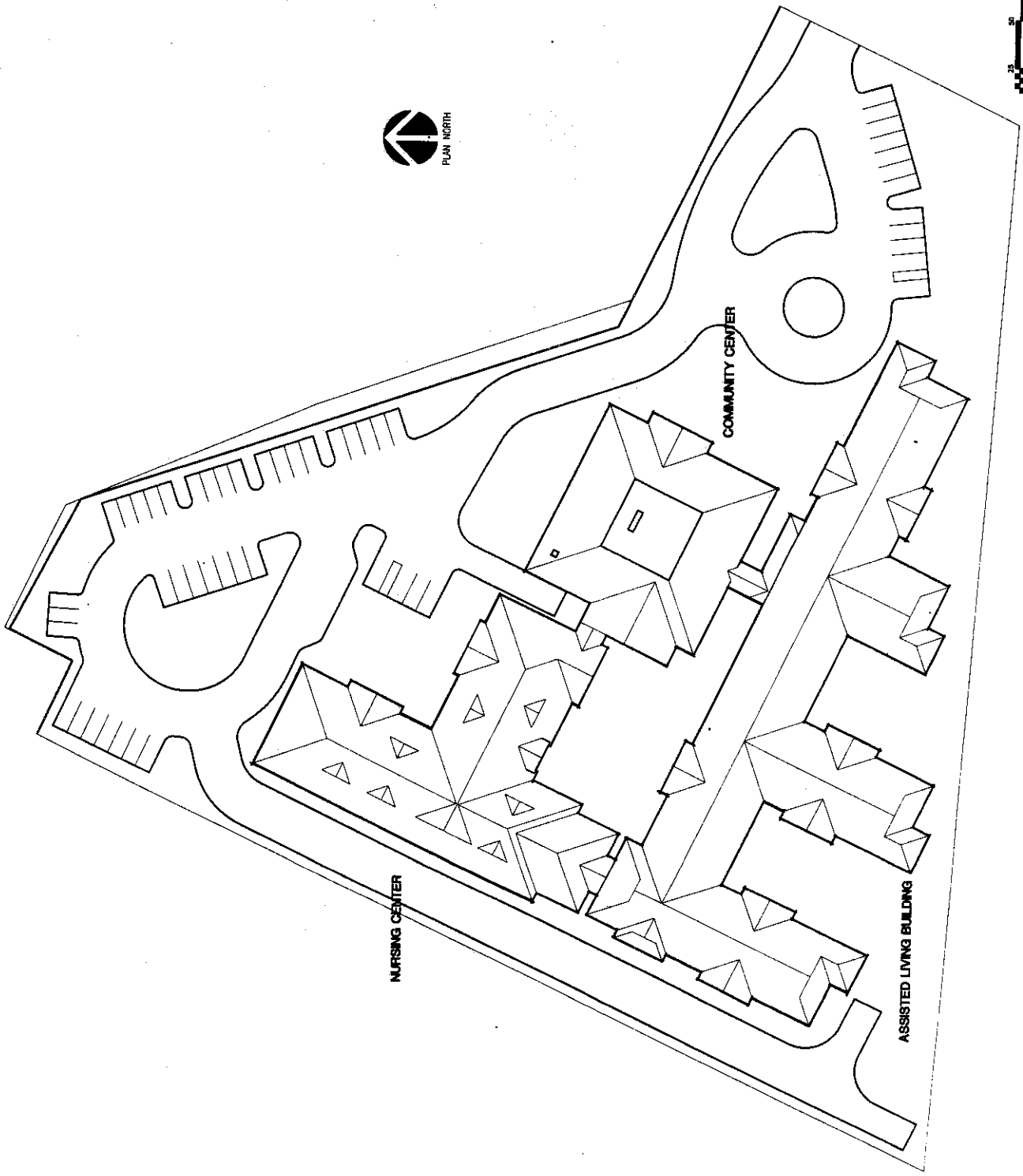


8000 SOUTH LAND PARK  
 SACRAMENTO, CALIFORNIA

ROOF PLAN

Sheet No. 1

LP-AL/NC/CC



P90-418

December 13, 1990

He m# 32

CS M&L 10/80







MUM  
 6000 SOUTH LAND PARK  
 SACRAMENTO, CALIFORNIA  
 95821  
 TEL: (916) 231-2000 FAX: (916) 231-2002

# EXHIBIT D

Merritt Corporation



6000 SOUTH LAND PARK  
 SACRAMENTO, CALIFORNIA

GROUND FLOOR PLAN

4

Date: 28 September 1990  
 Job No. 1-80752  
 Drawn:  
 Checked:  
 Approved for the Owner:  
 Approved by the Architect:

Assisted Living Units		
Type	SF Area	Number Unit
A1	332	52
A2	427	16
A2HC	427	12
A3	336	11
A4	336	11
		102 Units

Nursing Care Beds		
Type	SF Area	# Beds
NC1	229	5
NC3	317	18
Isolation	270	1
		24 Rooms 42 Beds



- KEY**
- A2HC HANDICAPPED ACCESSIBLE
  - A/C ARTS & CRAFTS
  - B BATHING
  - B/B BEAUTY / BARBER
  - CL CLEAN LINEN
  - CS COUNTRY STORE
  - CU CLEAN UTILITY
  - DR DRINKING ROOM
  - E/T ELECTRIC / TELEPHONE
  - J JANITOR
  - K KITCHEN
  - L LOUNGE
  - LR LOUNGE
  - M MENS ROOM
  - M/E MECHANICAL / ELECTRICAL
  - NC1 1 BED NURSING CARE ROOM
  - NC2 2 BED NURSING CARE ROOM
  - NC2HC HANDICAPPED ACCESSIBLE
  - NL NURSING LOUNGE
  - NS NURSING STATION
  - O OFFICE
  - P PANTRY
  - PT PHYSICAL THERAPY
  - R RECEPTION
  - RL RESTROOM
  - SL STORAGE
  - SL CLEAN LINEN
  - SU SOLDER UTILITY
  - TV LOUNGE
  - W WOMEN

P90-418

December 13, 1990

Item # 3P  
 01/21/1991  
 1510 3000 00

LP-AL/MC/CC



Date 28 September 1990  
 Job No. 1-9007.52  
 Drawn \_\_\_\_\_  
 Checked \_\_\_\_\_  
 Approved for the Drawn \_\_\_\_\_

# EXHIBIT E

Approved by the Arc \_\_\_\_\_

No. \_\_\_\_\_  
 Revisio \_\_\_\_\_

Merritt Corporation



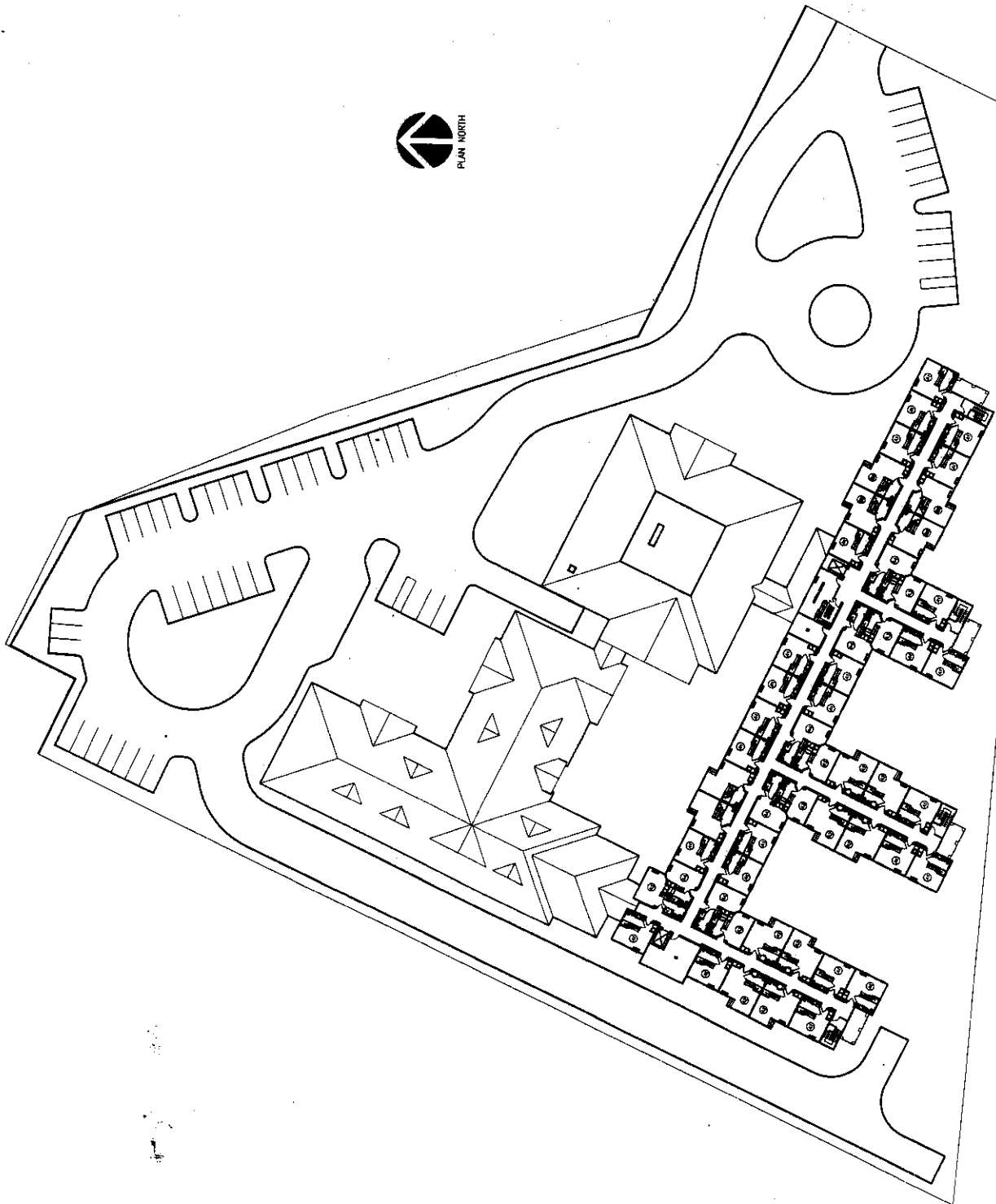
6000 SOUTH LAND PARK  
 SACRAMENTO, CALIFORNIA

SECOND FLOOR PLAN

Sheet No.

5

LF-AL/MC/CC



290-418

December 13, 1990

Item #32  
06/02/1974  
 04/21/1994 09







Mullum  
 Architects, Planners, & Engineers  
 1000 South Land Park  
 Sacramento, CA 95833  
 Tel: (916) 433-2822 Fax: (916) 433-2823

Date 28 September 1990  
 Job No. 1-8607-82  
 Drawn \_\_\_\_\_  
 Checked \_\_\_\_\_  
 Approved for the Owner \_\_\_\_\_  
 Approved by the Architect \_\_\_\_\_

# EXHIBIT G

No. \_\_\_\_\_  
 Revision \_\_\_\_\_

Marrriott Corporation



6000 SOUTH LAND PARK  
 SACRAMENTO, CALIFORNIA

EXTERIOR  
 ELEVATIONS

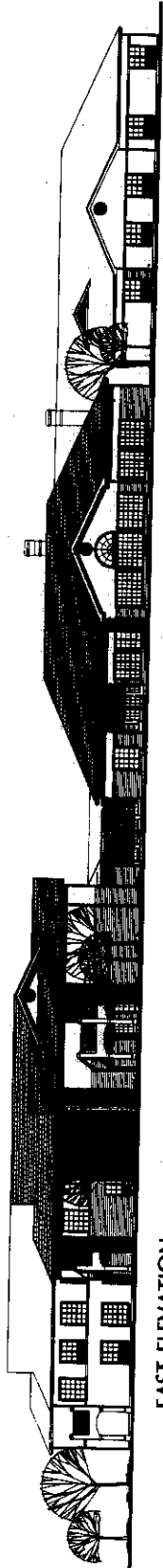
Sheet No.

7

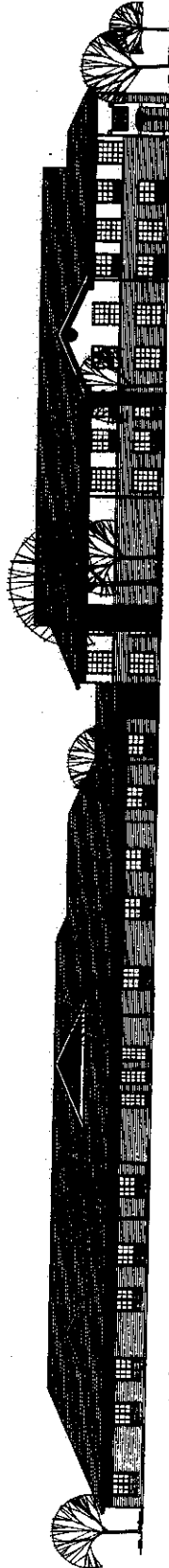
LP-AL/NO/CC



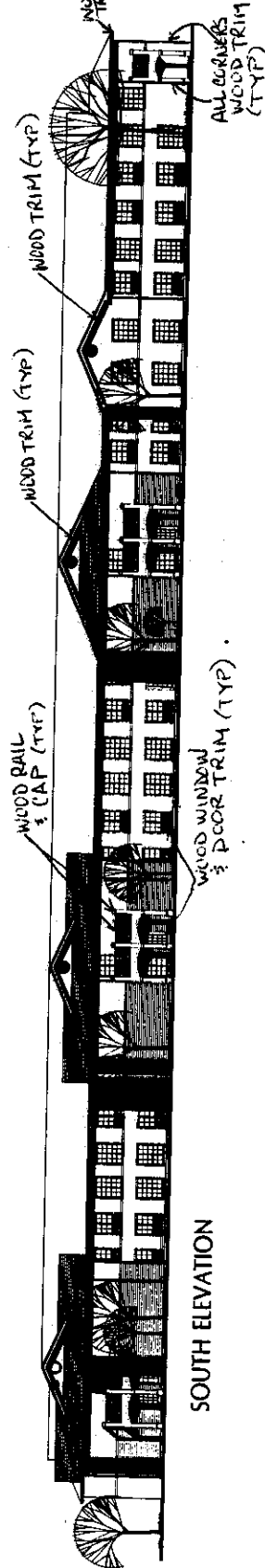
NORTH ELEVATION



EAST ELEVATION



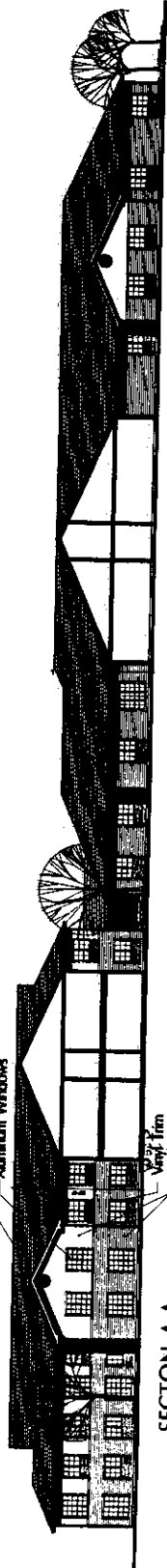
WEST ELEVATION



SOUTH ELEVATION

Composition Sillings  
 Aluminum Windows

Wood Trim  
 Vinyl Siding



SECTION A-A



P90-418

December 13, 1990

Hem # 31