

**CITY OF SACRAMENTO**

1231 I Street, Sacramento, CA 95814

Permit No: 0004172

Insp Area: 4

Site Address: 2300 INNOVATOR DR SAC

Thos Bros:

Sub-Type: NAPT

Parcel No: 225-0125-003

VILLAGIO CR BLDG#1022 UNITS 1-12

Housing (Y/N):

N

CONTRACTOR

OWNER

ARCHITECT

NATOMAS VILLAGIO LLC  
164 OAK RD  
ALAMO, CA 94507

Nature of Work: NEW APARTMENT #1022 TYPE 1

**CONSTRUCTION LENDING AGENCY :** I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

**LICENSED CONTRACTORS DECLARATION:** I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class \_\_\_\_\_ License Number \_\_\_\_\_ Date \_\_\_\_\_ Contractor Signature \_\_\_\_\_

**OWNER-BUILDER DECLARATION:** I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: \_\_\_\_\_

Date 10.15.01 Owner Signature \_\_\_\_\_

**IN ISSUING THIS BUILDING PERMIT,** the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and herby authorize representative(s) of this city to enter upon the above-mentioned property for inspection purposes.

Date 10.15.01 Applicant/Agent Signature \_\_\_\_\_

**WORKER'S COMPENSATION DECLARATION:** I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_ Exp Date \_\_\_\_\_

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 10.15.01 Applicant Signature \_\_\_\_\_

**WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.**

**THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.**

## FAX COVER LETTER

To:	Bill Schrader	From:	Brian D. Miller, AIA
Company:	The Austin Group	Date:	02/26/03
Fax:	(925) 743-8836	Pages:	3
Job Name:	Villagio Apartments	DA Job #:	99026.01
Re:	12 unit buildings	c:	Jayson Manley-Paramount-(918) 928-0565

Urgent     For Review     For approval     Please Reply     As Requested

Comments:

Please see the follow fax from John Tang of the City of Sacramento. According to John's fax there are no outstanding life-safety issues at the 12 unit apartments buildings slated for first openings pending site work issues.

We faxed the details to him and his supervisor, Jerry Lao, to review in regard to the deck/ patio conditions that we had discussed on site for final acceptance. As soon as those issues have been clarified I will inform you.

John Tang has raised a concern about a new issue regarding the definition of an "open staircase" and how it applies to the stair configurations in building type III. This issue has come to light as a result of an adjacent apartment project to ours. Apparently the adjacent apartment project has been shut down by the building inspectors and the owner has pointed to our project as a precedent for interpreting the "open stair". The adjacent project is complete and the city is asking them to "enclose" the stair conditions that the city is now saying are not in compliance with the building code.

We are currently discussing two alternatives with John Tang and his immediate supervisor and are preparing drawings to issue for the head plan checker, Dennis Richardson, to review. On scenario simply involves upgrading the unit doors to the living units of the corridor, perhaps only at the third floor, to 1 hour assemblies as opposed to 20 minute. The second alternative would be to remove the isolated trusses over the projecting stair tower so as to be open to the sky allowing smoke to clearly escape directly up. Our structural system will allow this without involving modifications to the main trusses that are in place. The face gable will remain as a parapet wall keeping the same look of the building.

We are working expeditiously to resolve these issues with the city in regard to re-interpretation of the open stair. Typically these type of issues are resolved during the plan check process and not during the construction process. We are resolving one issue at a time as a means to gain approvals with the highest

If you have received this transmission in error, please call (949) 474-6030

priority first and to not overload the city with to many issues. I will keep you informed on the process and resolutions as we get them.

Sincerely,



Brian D. Miller, AIA

If you have received this transmission in error, please call (949) 474-6030



## FAX TRANSMISSION

City of Sacramento

Building Division

1231 I Street, RM 200, Sacramento, CA 95814

Fax: (916) 264-5223 Administration

(916) 264-5987 Permit Services

To: Brian Miller Date: 2/26/03  
Fax #: (949) 474-1422 Pages: one (inc cover)  
From: John Tang Title: Senior Engineer  
Subject: Villagio Apartments - 12 unit apartment buildings  
(2-story)

Contents: There are no outstanding life-safety  
issues for 2-story 12 units buildings.  
However, our inspectors will not sign off  
pending finish remaining all site work  
including Landscape etc.

John Tang

The sheathing on the drag truss may be omitted on the front of Unit A as we discussed. Again I remind the framer that perpendicular blocking and A35 clips need to be installed per plans.

5) **Top plate on party walls cut for 3" DWV**

A "Simpson" MST strap centered at the cut and fully nailed must be used at the top plate of all such cuts.

6) **Typical jack truss hangers (7-S1.4)**

Hangers called out in detail 7-S1.4 are meant to be guides. Any equivalent hanger may be used. Furthermore, our detail and the showing of hangers should not supercede the truss manufacturer's design in this case. Connections are only necessary where called out by truss manufacturer.

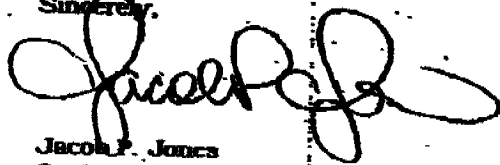
7) **Need clarification on balcony drop at all buildings.**

As we discussed on site, this is an architectural issue. The heights and slopes were set by Danielian and we have no authority to change it. However, the issue I believe is valid and should be presented to Danielian. After they have made their decision, we can act accordingly.

8) **Engineer to wet seal all framing fixes pertaining to structural.**

I hope these answers are sufficient.

Sincerely,

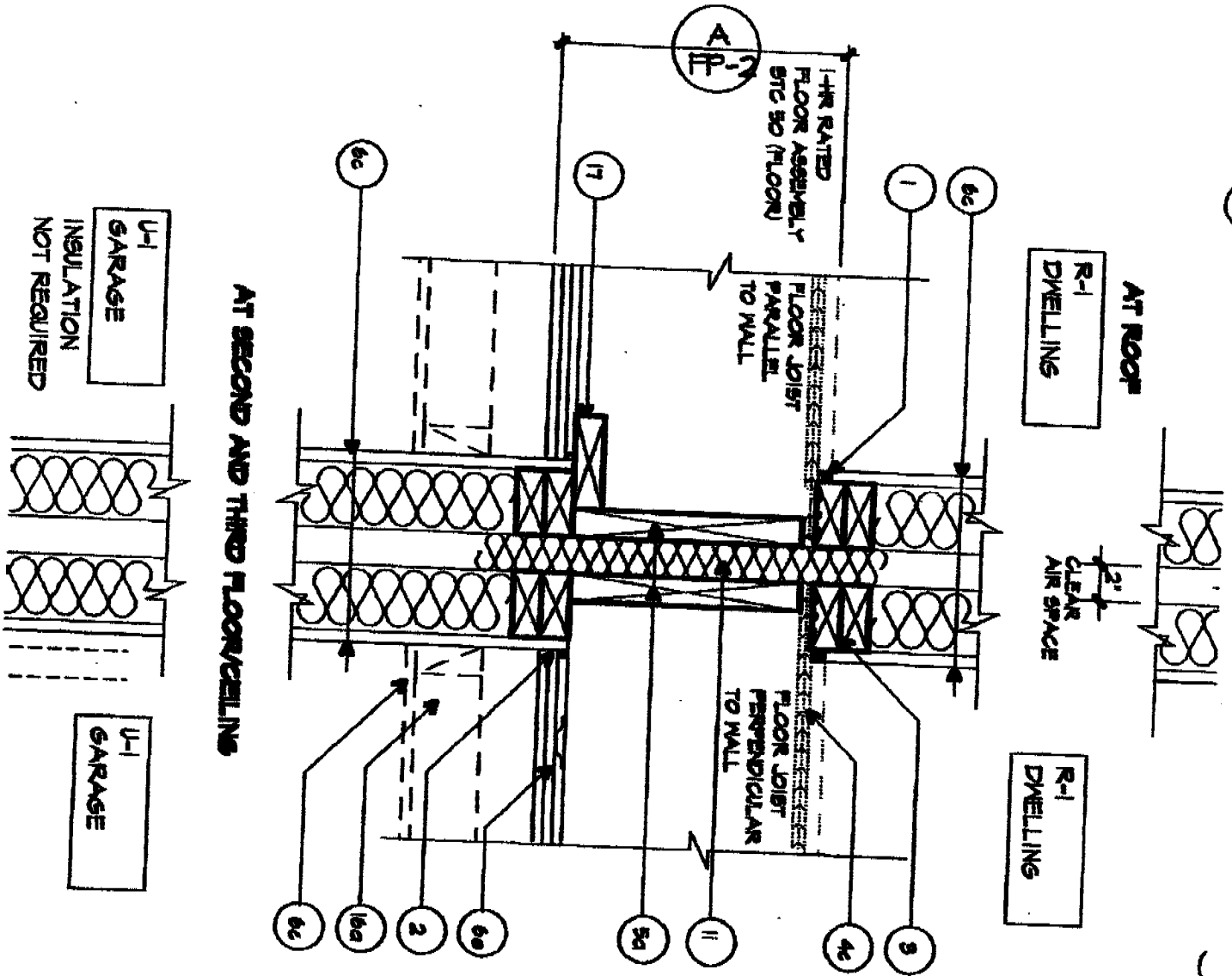


Jacob P. Jones  
Staff Engineer  
Complere Engineering Group



RFI 30  
 Revision  
 1 E 2 FP-2

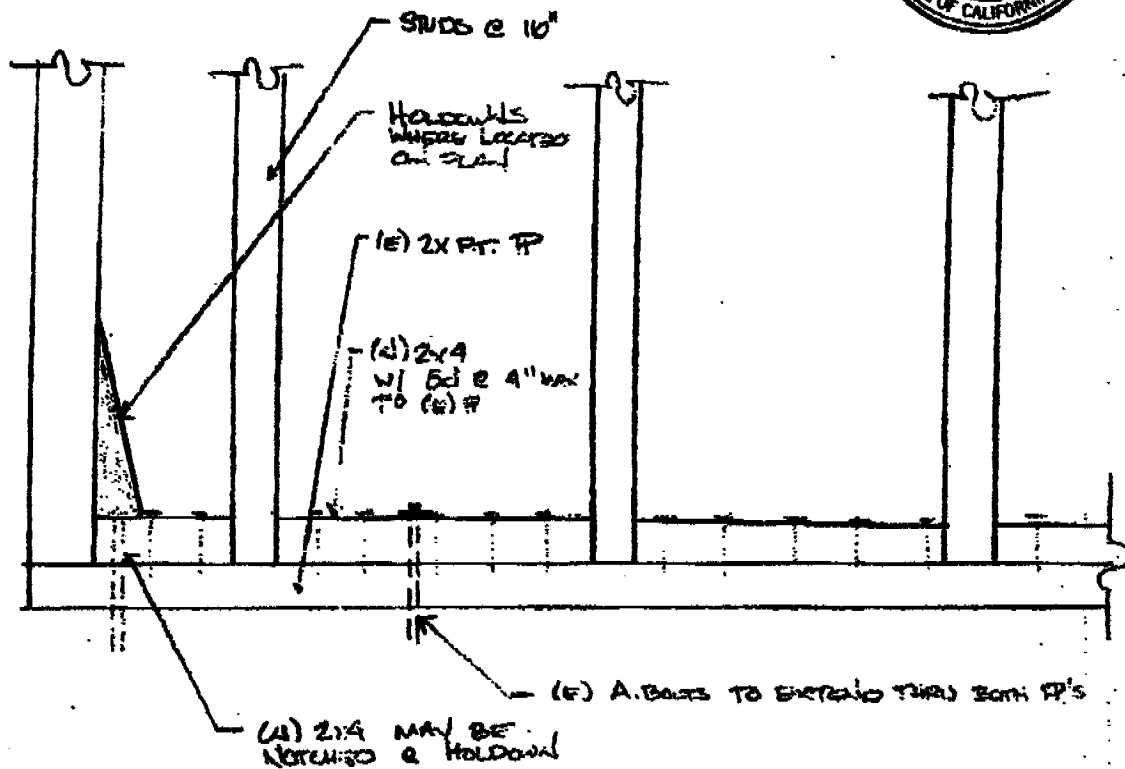
- 3
  - 4c
  - 11
  - 14
  - 6c
  - 2
  - 16a
  - 6c
- 1-HR DROPPED CEILING MAY OCCUR



AT SECOND AND THIRD FLOOR/CEILING

ACCORDI  
 MANUFAC  
 OVER 5/4  
 EXPOSURE  
 AN ALTER  
 FIRE-RESI  
 FOR TRUS

- 5. FRAMING, N
  - a. 14" TJI PLK AT PERP TO GREAT VERITY 5;
  - b. ROOF TRUS MAXIMUM.
- 6. STYRUM BOA
  - a. 1/2" STYRU (5/8" WITH
  - b. 1/2" TYPE (5/8" TYPE
  - c. 5/8" TYPE
  - d. 5/8" TYPE
  - e. 1/2" TYPE
- 7. RESILIENT CH
- 8. WALL INSULAT (SECTION TC)
- 9. FLOOR CEILIN
- 10. ROOF CEILING
- 11. FIRESTOPPING HORIZONTAL
- 12. 2X STUDS AT
- 13. 2X JOISTS.
- 14. 2X BLOCKING.
- 15. DOUBLE SILL F
- 16. 2X CEILING JO
  - a. METAL PURR (PER U.S.C. :
- 17. 2X NAILER



NOTE: WALL PLY ON OUTSIDE OF WALL  
STAGG E.W. @ BOT TO BOTH PLATES

VILLAGIO APTS.	Project No. 21107
MISSING SILL FP CORRECTION DETAIL	Date 11/7/02
RFI #02	Sheet 2 of 2

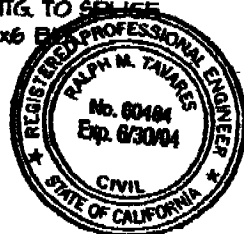
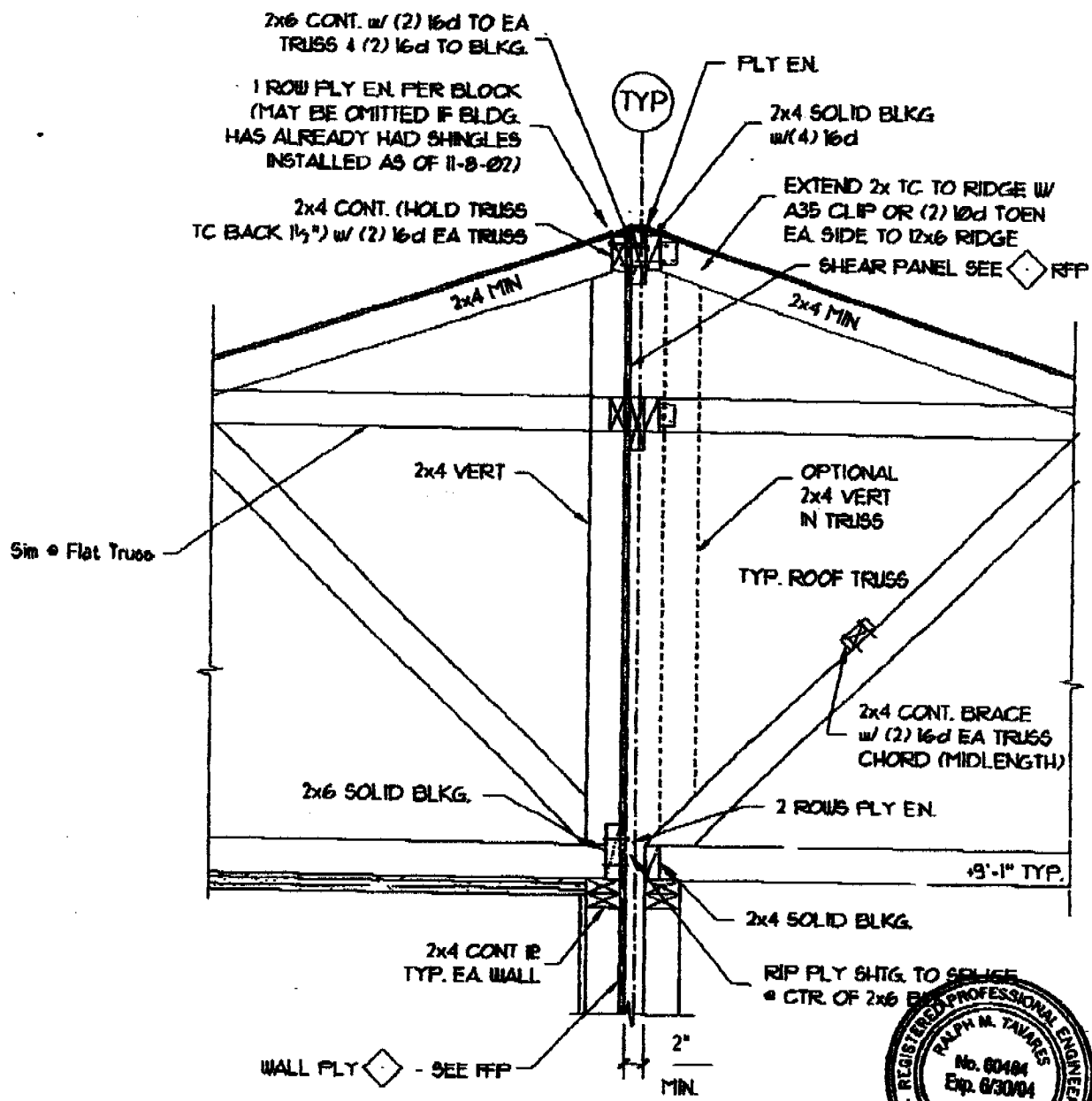
**COMPLERE**

**COMPLERE ENGINEERING GROUP, INC.**

4230 Kieman Avenue, Suite 210 Modesto, California 95358

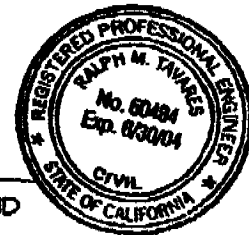
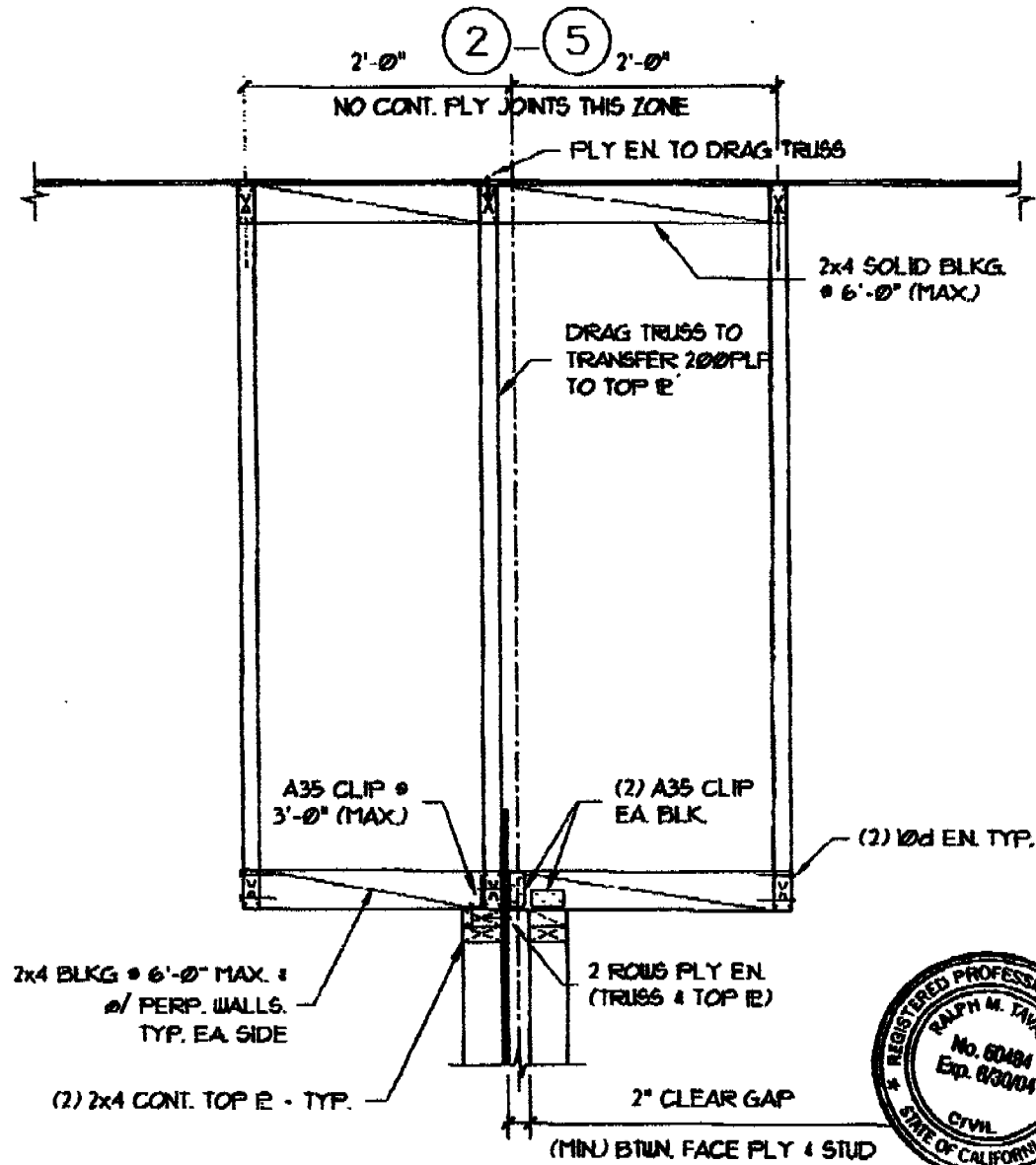
209-545-8185

Fax: 209-545-8170

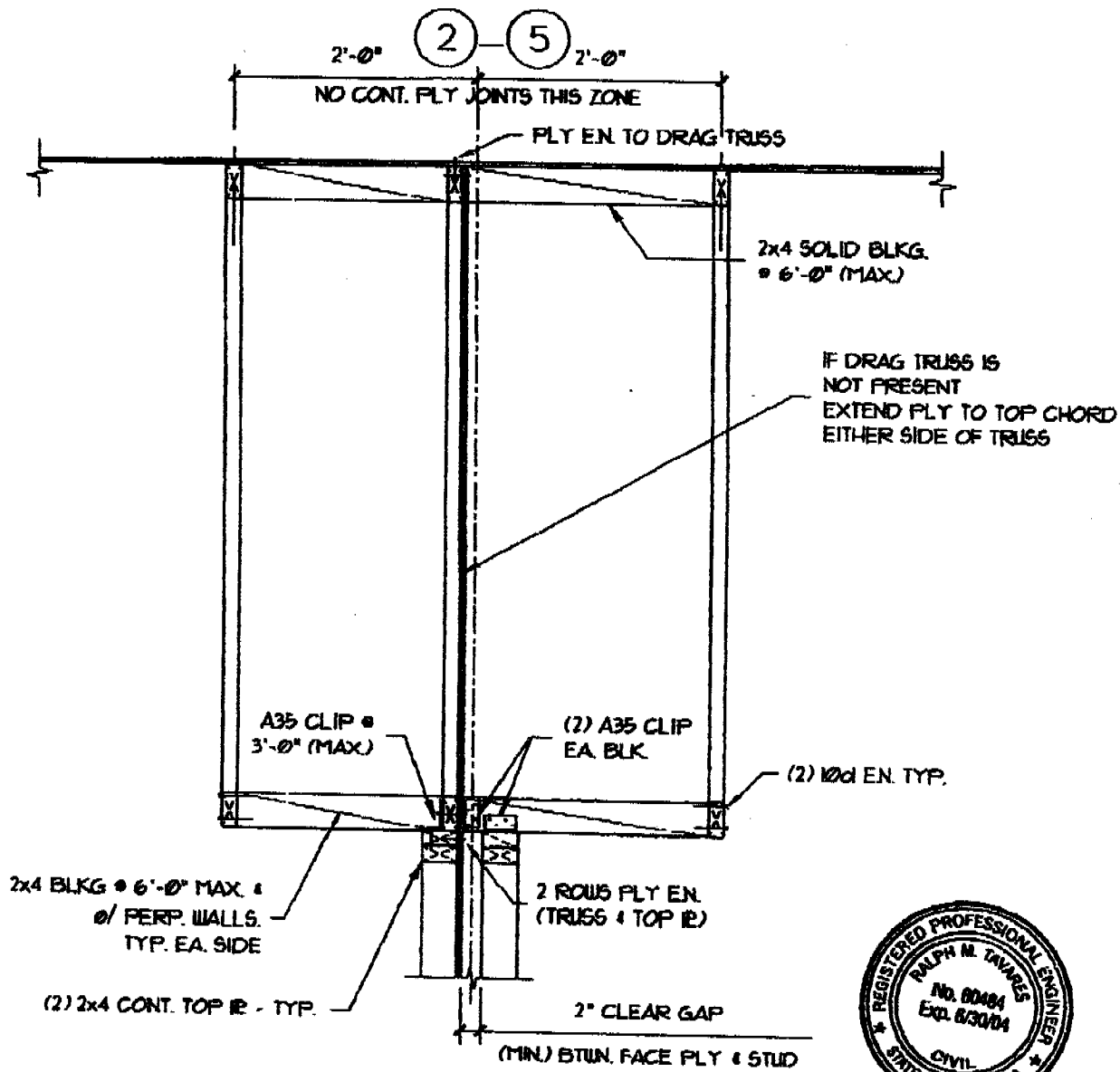


Project Name VILLAGIO APARTMENTS		Date 11/01/02	Project No. 2107
Subject REVISED DETAIL		DRG. NO. 2155.4a	
Scale 3/4" = 1'-0"	Checked JPJ		





Project Name VILLAGIO APARTMENTS		Date 11/07/02	Project No. 2107
Subject REVISED DETAIL		DWG. NO. 3/55.4a	
Scale 3/4"=1'-0"		Checked JPJ	



Project Name VILLAGIO APARTMENTS		Date 11/27/02	Project No. 21107
Subject REVISED DETAIL		DWG. NO. 3/S5.4a (alt)	
Scale 3/4"=1'-0"	Checked JPJ		

COMPLERE

September 20, 2002

George Tugaeff  
Paramount Builders  
(916)928-0529  
Fax: (916)928-0531

RE: Villagio Apartments  
RFI #47

George,

Please refer to RFI #47. The questions posed and responses are listed below.

(re: RFI #33) Detail 3 S5.5 - Need answer to be typical at all "A" units or letter Framing each building (see Answer 4 of letter on 9/4).

The sheathing on the drag truss may be omitted on the front of Unit A as we discussed. Again I remind the framer that perpendicular blocking and A35 clips need to be installed per plans. This shall be typical for all "A" units in building types I & II.

Also on 3 S5.5 - Flat 2x4 isn't applicable due to further trusses being different heights. Need deletion noted as typical or letter for each applicable building. Also on 3 S5.5 - call out A35 truss to top plate.

Also typical for all "A" units, the flat 2x4 in detail 3 on S5.5 is not applicable. The A35 clips, which are called-out already in the detail, need to be in place between the truss and the top plate.

(re: RFI #10) Need typical or for each building.

Detail 2 and 3 S5.4 - Break in shear at top plate A35 @ 16" oc. Truss to top plate. Typical at all buildings or letter for each. Answered partly on RFI #21. Also replace 2x6 with 2x4.

The shear ply at party walls may be spliced at blocking in truss. Originally the blocking was called out as 2x6, but a 2x4 will suffice. This splicing is ok as long as the 2x4 is attached to the top plate with A35 @ 16". This substitution is to be considered a valid option to that of the original detail, and can be considered acceptable for all buildings.

COMPLERE ENGINEERING GROUP, INC. • 4230 Kiernan Avenue, Suite 210 • Modesto, CA 95356-9323 • Tel. (209) 545-8185 • Fax (209) 545-8170

(re: RFI #21) Detail 1 85.1 - Lapping shear at rim joists. Answered on RFI #21.  
Need typical or letter for each building.

Lapping of shear ply at rim joist may be accomplished as shown in details on sheets #3 & 4 of this package. These substitutions are acceptable for all buildings of this project.

Need alternate for shear panel @ 855.6. Framers missed it but have flat A35's @ 16" top plate to bottom chord. Can this be typ. Or for each type of building with "D" units. Same Detail - lookouts are used instead of 2x4 at top. Is there some type of transfer metal we can use for this?

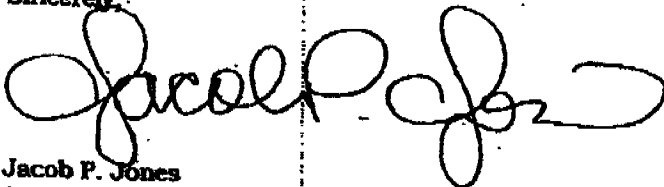
See altered detail on sheet #5 of this package. Acceptable changes have been clouded. These substitutions may be used for "D" units on building types I, II, & III.

(re: RFI #44) Need written response to RFI #44.

RFI has been answered by a separate letter dated 9/19/02.

I hope these answers are sufficient.

Sincerely,

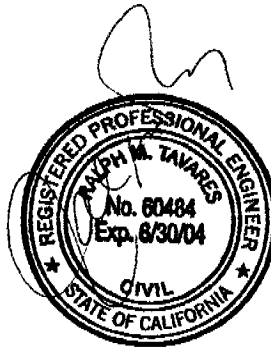
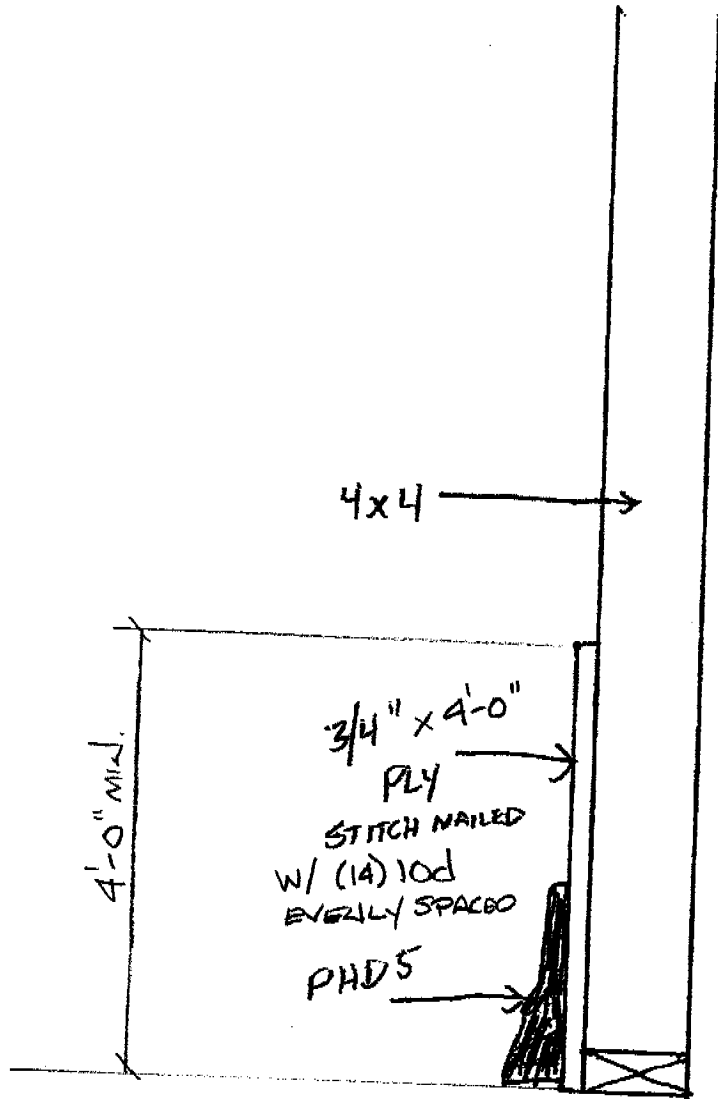


Jacob P. Jones  
Staff Engineer  
Complete Engineering Group



SEP 20 2002

CONDITION AT SHEAR WALL  
WHERE HD BOLT IS A LITTLE MISALIGNED



OCT 14 2002

# COMPLERE

September 4, 2002

George Tugaeff  
Paramount Builders  
916-928-0529  
Fax #: 916-928-0531

RE: Villagio Apartments  
RFI # 33

George,

Please refer to RFI #33. The questions posed and the responses are listed below.

1) **Blocking and Transfer issues at drag truss in Fitness Center. (Details 2 & 12 sht 87.3R)**

*First of all, as we pointed out in on our site visit 8/28, the truss in question is not a drag truss and in fact, is not even a truss. Along line 3.9, the 2x4 vert is referring to the ends of the jack trusses in the perpendicular direction. The only pertinent question of what was in the field was the 2x4 blocking on the top and bottom. I instructed the framer to make sure these were in place at the roof. Everything else, with respect to these details, was acceptable at the time of our visit.*

2) **Fitness Center Truss Details discrepancy with Truss Design.**

*The truss details as far as layout were based on assumptions before the framing design was completed and therefore do not always meet the exact field conditions. This is quite apparent on the front and rear entrance to the Fitness Building. The framer had constructed adequate shear transfer from the roof diaphragm to the wall at these positions using solid 2x12 blocking and fully sheathing the panel in between the roof levels and wall plates. These approvals are based upon our site visit 8/28.*

3) **Clubhouse (and typical) fix for Electrical and HVAC cutouts in shear panels, especially HVAC unit in MPOE room.**

*Typically, if the shearwall is greater than 4'-0" total length then the following fix can apply. All openings should fit in between 16" o.c. studs. If the opening is less than 16" in height, no strapping is needed. If the opening is 16" - 36" in height, a "Simpson" CS16 strap must be added top and bottom of opening. The strap must extend 32" past the opening or to end of shearwall, on both sides of the opening. The strap must have solid 2x blocking behind it. Any opening not meeting these typical dimensions needs to be approved specifically by engineer. At MPOE room, use "Simpson" CS16 strap top and bottom of opening, extending to both ends of wall panel. Fully block behind straps.*

*The sheathing on the drag truss may be omitted on the front of Unit A as we discussed. Again I remind the framer that perpendicular blocking and A35 clips need to be installed per plans.*

5) **Top plate on party walls cut for 3" DWV**

*A "Simpson" MST strap centered at the cut and fully nailed must be used at the top plate of all such cuts.*

6) **Typical jack truss hangers (7-S1.4)**

*Hangers called-out in detail 7-S1.4 are meant to be guides. Any equivalent hanger may be used. Furthermore, our detail and the showing of hangers should not supercede the truss manufactures design in this case. Connections are only necessary where called-out by truss manufacturer.*

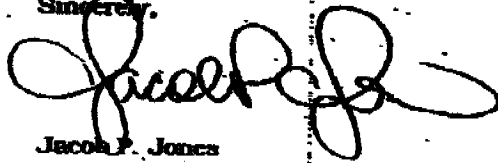
7) **Need clarification on balcony drop at all buildings.**

*As we discussed on site, this is an architectural issue. The heights and slopes were set by Danielian and we have no authority to change it. However, the issue I believe is valid and should be presented to Danielian. After they have made their decision, we can act accordingly.*

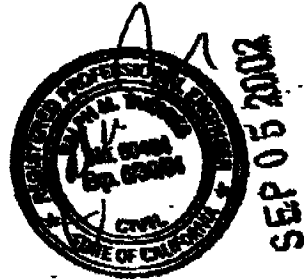
8) **Engineer to wet seal all framing fixes pertaining to structural.**

I hope these answers are sufficient.

Sincerely,

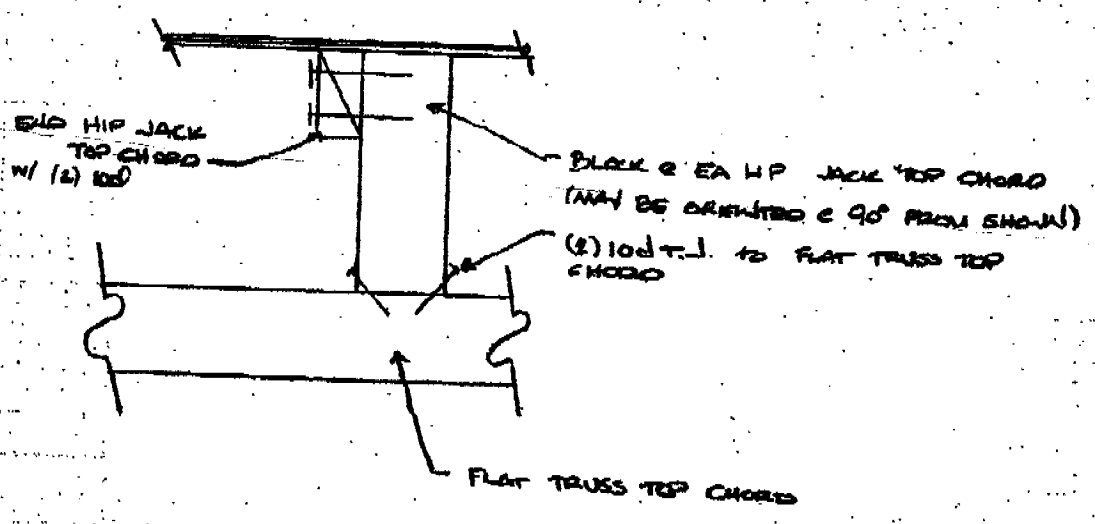


Jacob F. Jones  
Staff Engineer  
Compleo Engineering Group



# COMPLERE

**COMPLERE ENGINEERING GROUP, INC.**  
4230 KIERNAN AVENUE, SUITE 210 MODESTO, CA 95356-9323  
TEL 209-545-8165 FAX 209-545-8170



FOR ALL OTHER CALL-OUTS SEE  
WALKER LUMBER DETAILS



VILLAGIO APTS		Project No. 21107
TRUSS BLK DETAIL @ ERLO HIP JACK TOP CHORD		Date 11/14/02
		Sheet 2 of 2



DATE: 10-9-02 DSA FILE/APPL. NO. \_\_\_\_\_  
 PROJECT NO. 2009 4101 Innovator #1022 OSHPD NO. \_\_\_\_\_  
 PROJECT: VILLANO APARTMENTS PERMIT NO. \_\_\_\_\_  
 LOCATION: BLDG 7 @ 4101 INNOVATOR WEATHER: \_\_\_\_\_ TEMP: \_\_\_\_\_

**PROOF LOAD**     **TORQUE**     **WITNESSING**

Testing was performed on the following items. All tests were performed with the following calibrated equipment:

RAM: AT 255 GAGE: AT 1004 TORQUE WRENCH: \_\_\_\_\_  
 RAM: \_\_\_\_\_ GAGE: \_\_\_\_\_ TORQUE WRENCH: \_\_\_\_\_

LOCATION OF TEST	TYPE / SIZE	# TESTED	% of TOTAL	LOAD lb or Ft Lbs	GAGE (PSI)	# ACC.	# REJ.	# RETEST
<u>BLDG 7 @ 4101 Innovator Anchor Bolts</u>	<u>5/8</u>	<u>2</u>		<u>6855</u>	<u>2670</u>	<u>2</u>	<u>0</u>	<u>0</u>

Type of epoxy / grout used: \_\_\_\_\_ Method of application / cleaning: \_\_\_\_\_

Visual inspection was performed on \_\_\_\_\_

Show up / Stand by time. Job Canceled / Delayed due to: \_\_\_\_\_

All non-compliance items were brought to the attention of: \_\_\_\_\_ at the job site.

NON-COMPLIANCE REPORT ATTACHED     ADDITIONAL TESTS ATTACHED

NOTES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

To the best of my knowledge, the above WAS / WAS NOT performed in accordance with the approved plans, specifications, and regulatory requirements.

Superintendent/Representative: \_\_\_\_\_

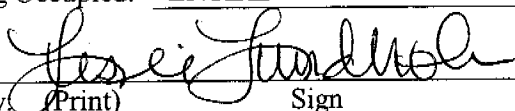
Inspector:

Pat R

CITY OF SACRAMENTO

**CERTIFICATE OF OCCUPANCY**

For Information Contact (916) 264-5716

Building Address: 4101 INNOVATOR DR BLD 6 Permit No.: 0004172  
Building Use: APARTMENTS Occupancy: R1  
Building Owner: NATOMAS VILLAGIO LLC Construction Type: V-1H  
Owner Address: ALAMO, CA Sprinkled?  Yes  No  
Portion of Building Occupied: ENTIRE Area: 10524 Sq. Ft.  
2/9/04  
Date By: (Print) Sign  **DENNIS RICHARDSON**  
**CHIEF BUILDING OFFICIAL**

[ Finaled By: DSP,RSB,JBB,SB,MJG ]

*This Certificate, issued pursuant to the requirements of Section 109 of the Uniform Building Code, certifies that at time of issuance the described portion of the building has been inspected for compliance with the Uniform Building Code, as adopted per Title 15 of the Sacramento City Code for the group and division of occupancy and use for which the proposed occupancy is classified. Issuance of this certificate shall not be construed as an approval of a violation of any Codes, or Federal, State and City Laws or Ordinances. Certificates presuming to give authority to such violation shall not be valid. This certificate shall be posted in a conspicuous place on the premises and shall not be removed except by the Chief Building Official. No changes shall be made in the character of occupancy or use without approval of the Chief Building Official.*

**POST IN A CONSPICUOUS PLACE**

# Villagio

Apartment Homes

March 12, 2004

**City of Sacramento**  
Planning and Building Department  
2101 Arena Boulevard, Room 200  
Sacramento, CA 95834

Re: Villagio Apartment Homes  
4101 Innovator Drive  
Sacramento, CA

To Whom It May Concern:

The heating system for the above referenced project will be maintained per code. In accordance with Section 605.5 of the 2001 California Plumbing Code:

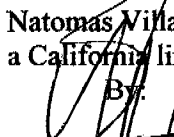
A control valve shall be installed immediately ahead of each water-supplied appliance and immediately ahead of each slip joint or non-metallic and fixture supply or appliance supply.

And, in accordance with section 310.11 of the UBC:

Dwelling units, great rooms & congregate residences shall be provided with heating facilities capable of maintaining a room temperature of 70 degrees at a point three feet above the floor in all habitable rooms.

In the event of a heat system failure and repairs will be longer than 24 hours, we will relocate the resident to a different apartment unit.

Sincerely,

Natomas Villagio LLC  
a California limited liability company  
By:  Villagio Apartments LLC  
a California limited liability company

---

William F. Schrader, Jr.  
Managing Member

4101 Innovator Drive  
Sacramento, CA 95834

916.419.4433 (O)

916.419.4002 (F)