

CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Morton & Pitalo, Inc. 1767 J Tribute Rd., Sacramento, Ca. 95815				
OWNER	G. Tsakopoulos Land Development, 300 Florin Rd., Sacramento, Ca. 95831				
PLANS BY	Morton & Pitalo, Inc. 1767 J Tribute Rd., Sacramento, Ca. 95815				
FILING DATE	2/2/84	50 DAY CPC ACTION DATE		REPORT BY:	SD:sm
NEGATIVE DEC.	2-27-84	EIR		ASSESSOR'S PCL. NO.	031-060-08

- APPLICATION:
1. Negative Declaration
 2. Amend South Pocket Community Plan from Low Density Residential to Low Density Multiple Family
 3. Rezone 29± acres from Agricultural (A) to Garden Apartment (R-2B) (Section 13)
 4. Tentative Map (P84-066)

LOCATION: Southwest side of Pocket Road, south of Garcia Bend Park

PROPOSAL: The applicant is requesting the necessary entitlements to subdivide 29± vacant acres into one airspace lot for development of 544 condominium units.

PROJECT INFORMATION:

1974 General Plan Designation:	Residential
1976 South Pocket Community Plan Designation:	Low Density Residential
Proposed Plan Designation:	Low Density Multiple Family
Existing Zoning of Site:	A
Existing Land Use of Site:	Vacant structures and debris
Proposed Zoning:	R-2B
Proposed Land Use:	544 condominium units

Surrounding Land Use and Zoning:

North:	Vacant; A
South:	Garcia Bend Park; F
East:	Vacant; A
West:	Garcia Bend Park; A

Property Dimensions:	Irregular
Property Area:	29± acres
Density of Development:	18.9 DU/Ac gross
Topography:	Flat
Street Improvements:	To be provided
Utilities:	To be provided
Exterior Building Colors:	Earth tones
Exterior Building Materials:	5/8" Douglas Fir or Redwood T-1-11 siding
Square Footage of Buildings:	152 1 bedroom, 1 bath units (756 sq. ft.) 392 2 bedroom, 1-½ bath units (1016 sq. ft.)
Height of Structures:	32 feet; 2 story

APPLC. NO. P84-066

MEETING DATE April 26, 1984

CPC ITEM NO. 5

Parking: Covered - 544 spaces
Uncovered - 437 spaces
Parking Ratio: 1.8 spaces/unit
Spaces Required: 816

Subdivision Review Committee Recommendation:

On February 22, 1984, by a vote of 6 ayes, 1 absent and 2 abstentions, the Subdivision Review Committee voted to recommend denial of the Tentative Map. The vote reflects the Committee's concerns regarding plan inconsistency and sewer capacity.

Staff Evaluation:

Staff has the following concerns with regard to this project:

1. The subject site is located in an undeveloped area of the Pocket. It is surrounded on the North and East by large, vacant parcels zoned Agricultural. Garcia Bend Park is adjacent to the West and South. The subject site, as well as the surrounding property, except Garcia Bend Park, is designated for Low Density Residential uses in the 1976 South Pocket Specific Plan.
2. The subject site is located within the boundaries of Pocket Road Assessment District Number 2. When the district is formed, it will provide the area with sewer, water and drainage facilities. The City Engineer indicates that plans for the district are complete, and are based on a maximum overall density of 10 dwelling units per acre. This density is based upon assumptions made from land use designations in the Pocket Community Plan. The City will be accepting bids for construction of the system in the spring of this year. It is now anticipated that the facility will be operational within 2½ years. The City Engineering Department has expressed concerns regarding sewer capacities (see Exhibit A). They indicate that this project could be accommodated by the proposed district, only if it is the only project within the district that exceeds the density designation of the Pocket Plan. However, they are recommending against the project, because the granting of this rezoning would encourage other properties to request density increases.
3. The Planning Staff believes that a multiple family project (apartment or condominiums) would be appropriate for the site, because of its relationship to Garcia Bend Park, which is a regional park. Also, the site is located at the intersection of a future major "T" intersection. Conventional single family would not be as desirable at this location. Staff, however, is concerned with the proposed density of 19 units per acre (R-2B zone). An R-1A zone, which permits a maximum of 15 units per acre, would be appropriate for the site. This zone is more compatible to future single family, and would be less demanding on the sewer capacity.
4. Community Services indicates that the landscaping islands located at the main entrances are to be privately maintained or eliminated. Staff has no objection to the proposed landscaping islands.
5. The Fire Department indicates a private, on-site water system and fire hydrants are necessary to meet fire code requirements (see Exhibit B). They also indicated that all units must be within 150 feet of a paved access road.

6. The applicant did not request Special Permit approval at this time. Prior to issuance of building permits, a special permit must be approved by the Planning Commission. Detailed site plan problems can be solved when the Special Permit is reviewed.
7. The Planning and Community Services Departments have determined that 5.313 acres of land are required for parkland dedication purposes, and that fees are required in lieu of the required dedication. Based upon preliminary review of the site plan, it appears some credit can be given for proposed recreational facilities. The applicant shall submit an appraisal of the property to be subdivided. The appraisal shall be dated and submitted not more than 90 days prior to filing the final map.
8. The Subdivision Map Act requires dedication of reasonable public access to the river. Determination of reasonableness lies with the local agency. Due to the proximity and relationship of the subject site to Garcia Bend Park, the Community Services Department has determined reasonable access is already provided.

Environmental Determination

The Environmental Coordinator has filed a conditional negative declaration with the following mitigation measure, to reduce the impact on plant life to a less than significant level:

The applicant shall protect and retain the existing Heritage Oak Tree in the proposed open lawn area by prohibiting grading, trenching, cut or fill, soil compaction resulting from stacked construction materials, parked equipment and vehicles and irrigation systems by placing a temporary 6-ft. high chain link fence around the dripline of the tree to the satisfaction of the Planning Director and City Arborist prior to the issuance of any building permits for the subject site. The other trees designated for retention are smaller oaks and walnuts, and should be trimmed to the City Arborists specifications to treat mistletoe infestation.

Staff Recommendation:

Staff recommends the following:

1. Ratification of the Negative Declaration with mitigation measures.
2. Approval of the South Pocket Community Plan Amendment from Low Density Residential to Low Density Multiple Family.
3. Approval of a rezoning of 29± acres from Agricultural (A) to Townhouse (R-1-A).
4. Approval of the Tentative Map subject to the following conditions:

The applicant shall satisfy each of the following conditions prior to filing the final map, unless a different time for compliance is specifically stated:

1. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code;
2. Prepare a sewer and drainage study for the review and approval of the City Engineer; extending lines are required.
3. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided, and pay the required parkland dedication in-lieu of fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map.
4. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service.
5. Pay Pocket Bridge fees.
6. Final map cannot be filed until proposed Pocket Rd. A/D #2 facilities are constructed and functioning (approximately 2± years. Anticipated advertising date, Spring, 1984).
7. Prepare a right-of-way study for Pocket Rd.
8. Locate the landward toe of the levee on the final map.
9. Dedicate a 10 foot easement, landward, from the landward toe of the levee, to the Corp of Engineers, for maintenance of the levee.
10. Remove irrigation pump, fence and pipe from the levee, if necessary.
11. Construct a redwood fence or masonry wall between Garcia Bend Park and the subject site. The homeowners association shall be responsible for maintenance of the wall or fence.



CITY OF SACRAMENTO

DEPARTMENT OF PUBLIC WORKS

Engineering and Transportation Division
 915 I Street - Room 300
 Sacramento, California 95814

	Telephones (916)
Civil Engineering	449-5281
Electrical Engineering	449-5287
Architecture	449-5144
Construction	449-5281
Real Estate	449-5626
Traffic Engineering	449-5307
Parking	449-5354
Street Maintenance	449-5236

March 15, 1984

MEMORANDUM

TO: Will Weitman, Planning Department


FROM: N. Dee Lewis, Supervising Engineer

SUBJECT: River Landing Condos (P84-066)

The proposed sewer system for the Pocket Road Storm and Sanitary Sewer Assessment District No. 2 was designed for a maximum density of 10 units per acre. The proposed River Landing Condos development has a density of 20 units per acre. The increased sewage flow will cause some surcharging of the lines in Pocket Road. Assuming this to be the only development of this density, it will probably not be necessary to increase the size of the proposed lines in Pocket Road.

It should be noted, however, that any additional developments of this nature will cause serious capacity problems not only in the lateral lines but also at the pump station and along the gravity outfall main, both of which are designed to full capacity.

For the above reasons, we will continue to recommend denial of any development proposals that may cause surcharging of the proposed sewer system.


 N. Dee Lewis
 Supervising Engineer

cc: Kim Yee

CITY PLANNING DEPARTMENT

MAR 20 1984

RECEIVED

P-84-066

4-26-84

#5

CITY OF SACRAMENTO



DIVISION OF BUILDING INSPECTIONS
927 - 10th STREET SACRAMENTO, CALIFORNIA 95814
ROOM 100

March 22, 1984

M E M O R A N D U M

TO: Will Weitman - Planning Department
FROM: Dennis Loheit - Fire Department
SUBJECT: River Landing - Pocket Road

The Fire Department review of River Landing has been completed.

There are many buildings on the site that don't meet fire code requirements for distance from access roads. All portions of the exterior walls of the buildings shall be within one hundred fifty feet of paved access.

The drive entries don't appear to meet city standards.

Private water mains and fire hydrants will be required onsite. These will have to be installed and working prior to wood construction.

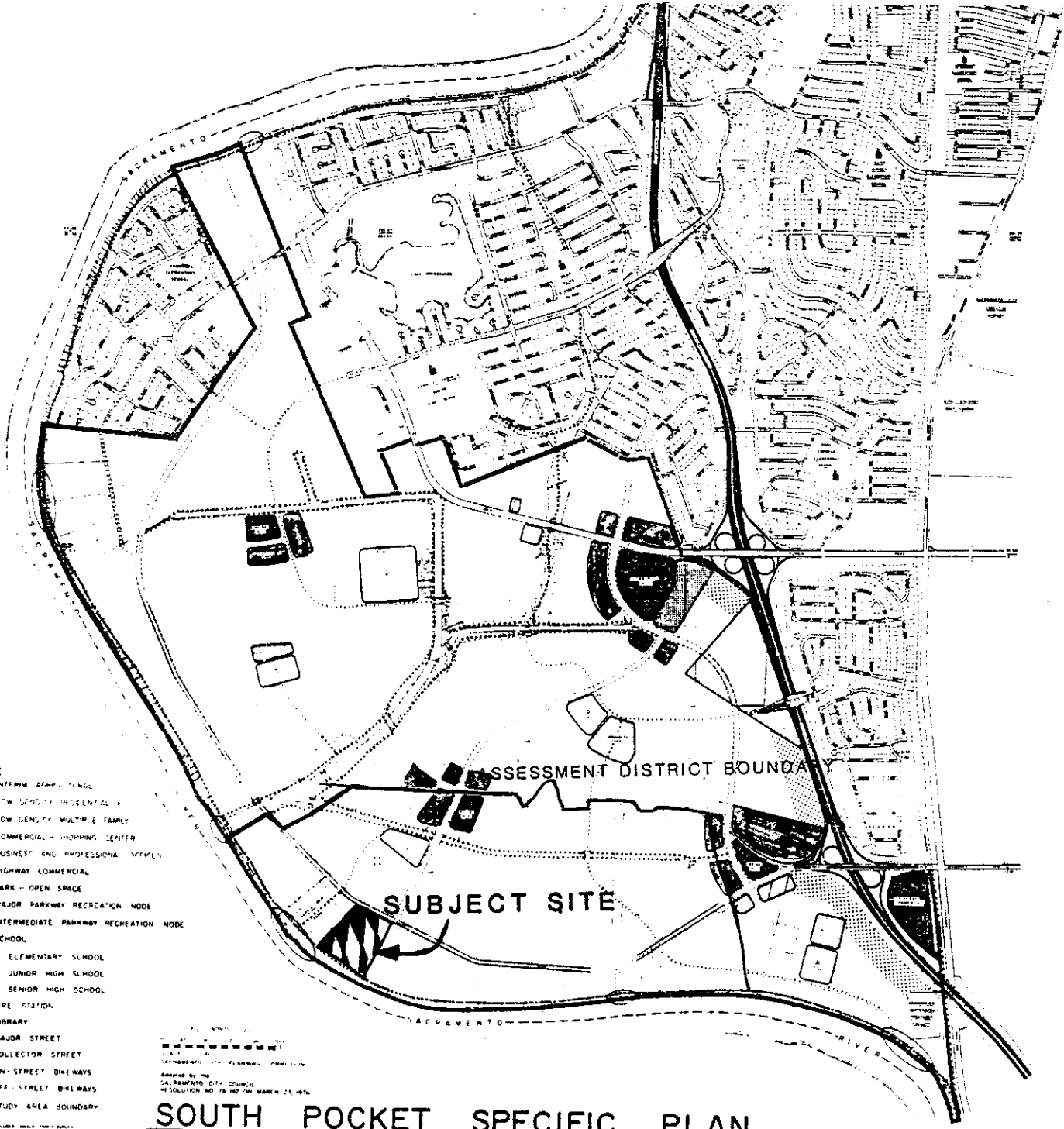
Dennis Loheit
Fire Inspector

DL/efm

P84-066

4-26-84

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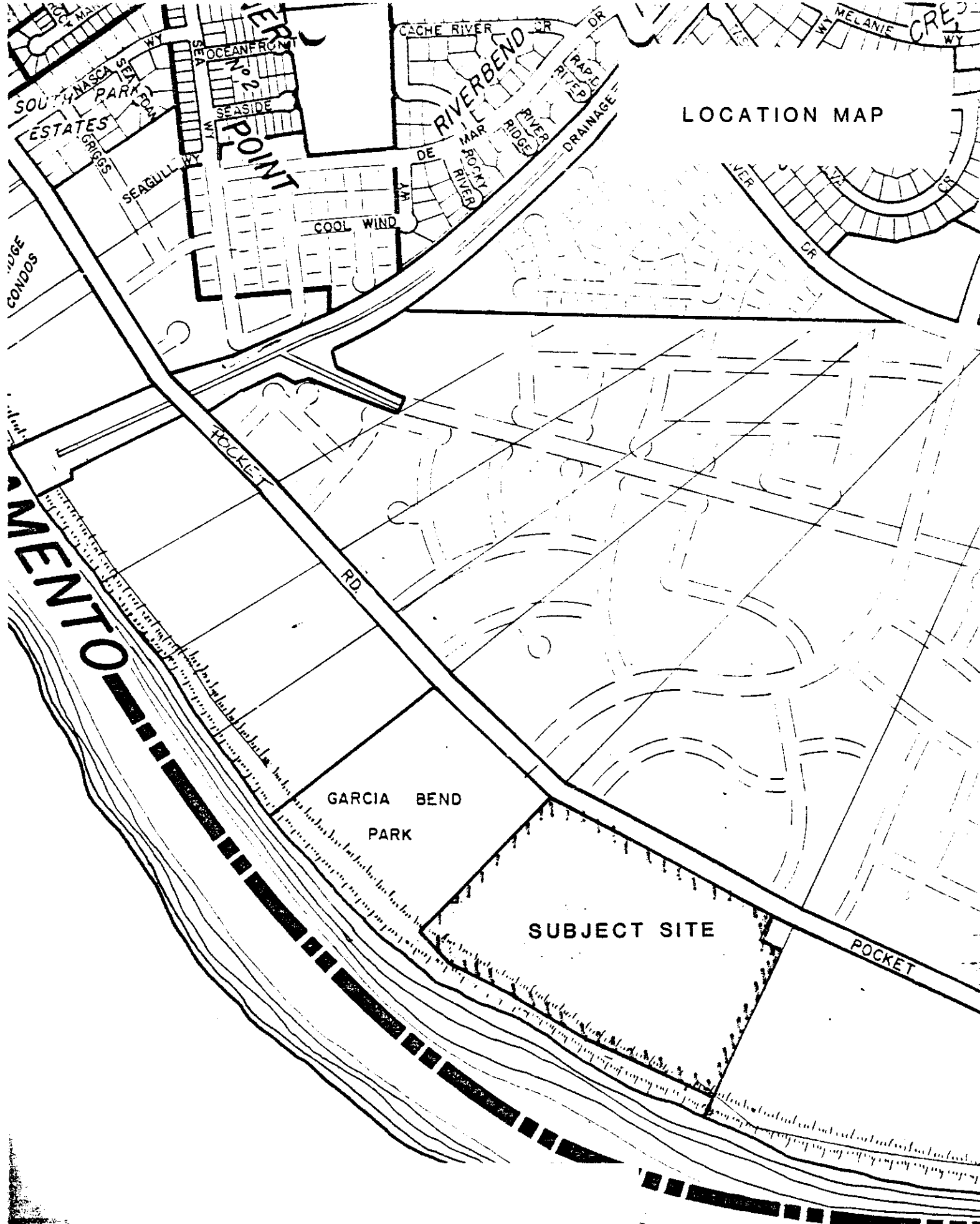


LEGEND

- INTERMEDIATE DENSITY RESIDENTIAL
- LOW DENSITY RESIDENTIAL
- LOW DENSITY MULTIPLE FAMILY
- COMMERCIAL - SHOPPING CENTER
- BUSINESS AND PROFESSIONAL OFFICE
- HIGHWAY COMMERCIAL
- PARK - OPEN SPACE
- MAJOR PARKWAY RECREATION NODE
- INTERMEDIATE PARKWAY RECREATION NODE
- SCHOOL
 - ELEMENTARY SCHOOL
 - JUNIOR HIGH SCHOOL
 - SENIOR HIGH SCHOOL
- FIRE STATION
- LIBRARY
- MAJOR STREET
- COLLECTOR STREET
- ON-STREET BIKEWAYS
- OFF-STREET BIKEWAYS
- STUDY AREA BOUNDARY
- FREEWAY NOISE IMPACTED AREA

APPROVED BY THE
SACRAMENTO CITY COUNCIL
RESOLUTION NO. 78 487 ON MARCH 25, 1976

SOUTH POCKET SPECIFIC PLAN



LOCATION MAP

SEMENTO

GARCIA BEND
PARK

SUBJECT SITE

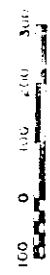
POCKET

TENTATIVE MAP FOR
RIVER LANDING
CITY OF SACRAMENTO, CALIFORNIA

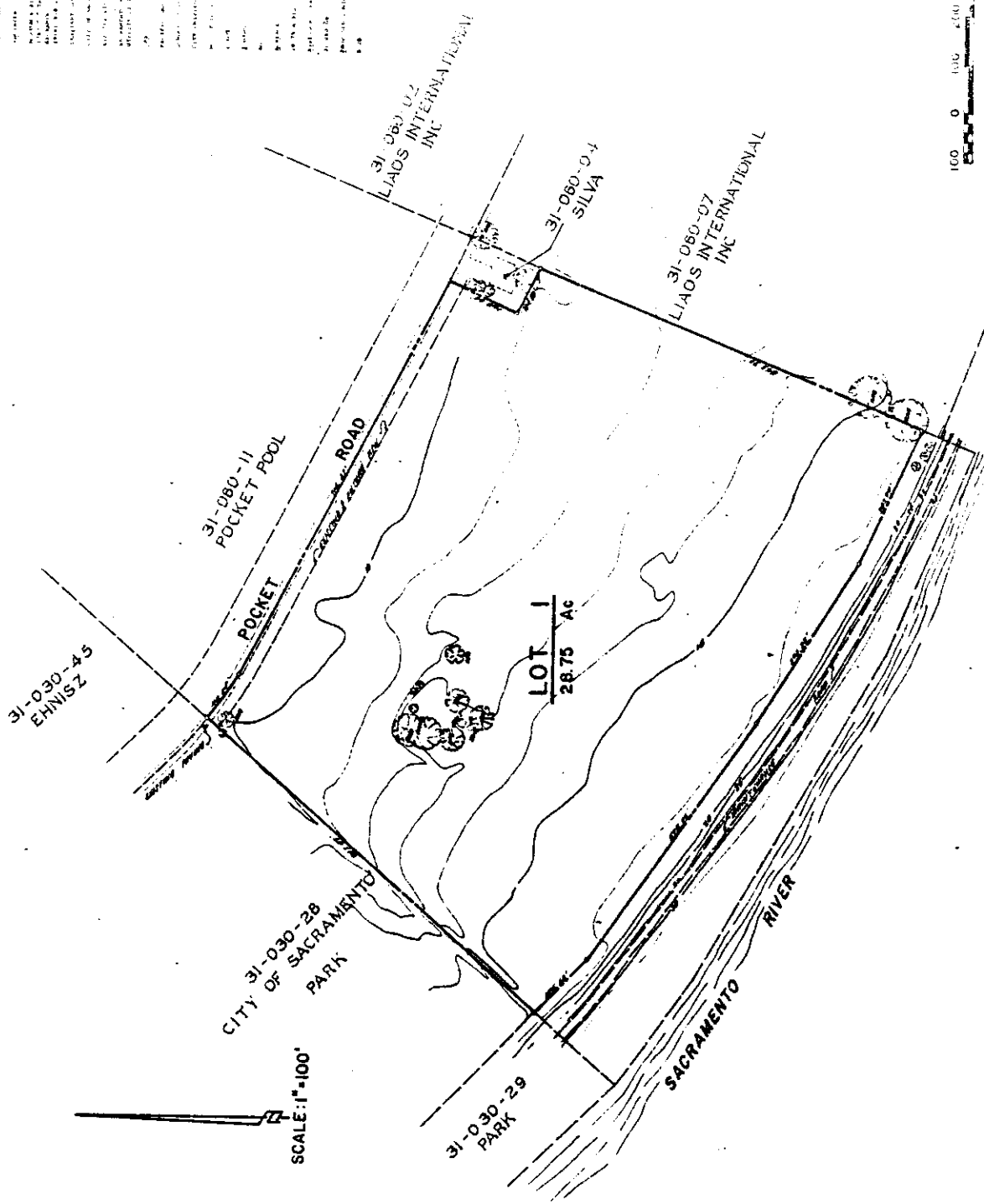
mp
MORTON & PITALO, INC.
CIVIL ENGINEERING
PLANNING SURVEYING

SCALE: _____
DATE: _____
SHEET NO. _____

APPROVED: _____
DATE: _____



DATE: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____
PROJECT NO.: _____
SHEET NO.: _____



SCALE: 1" = 100'

RIVER LANDING SACRAMENTO CALIFORNIA

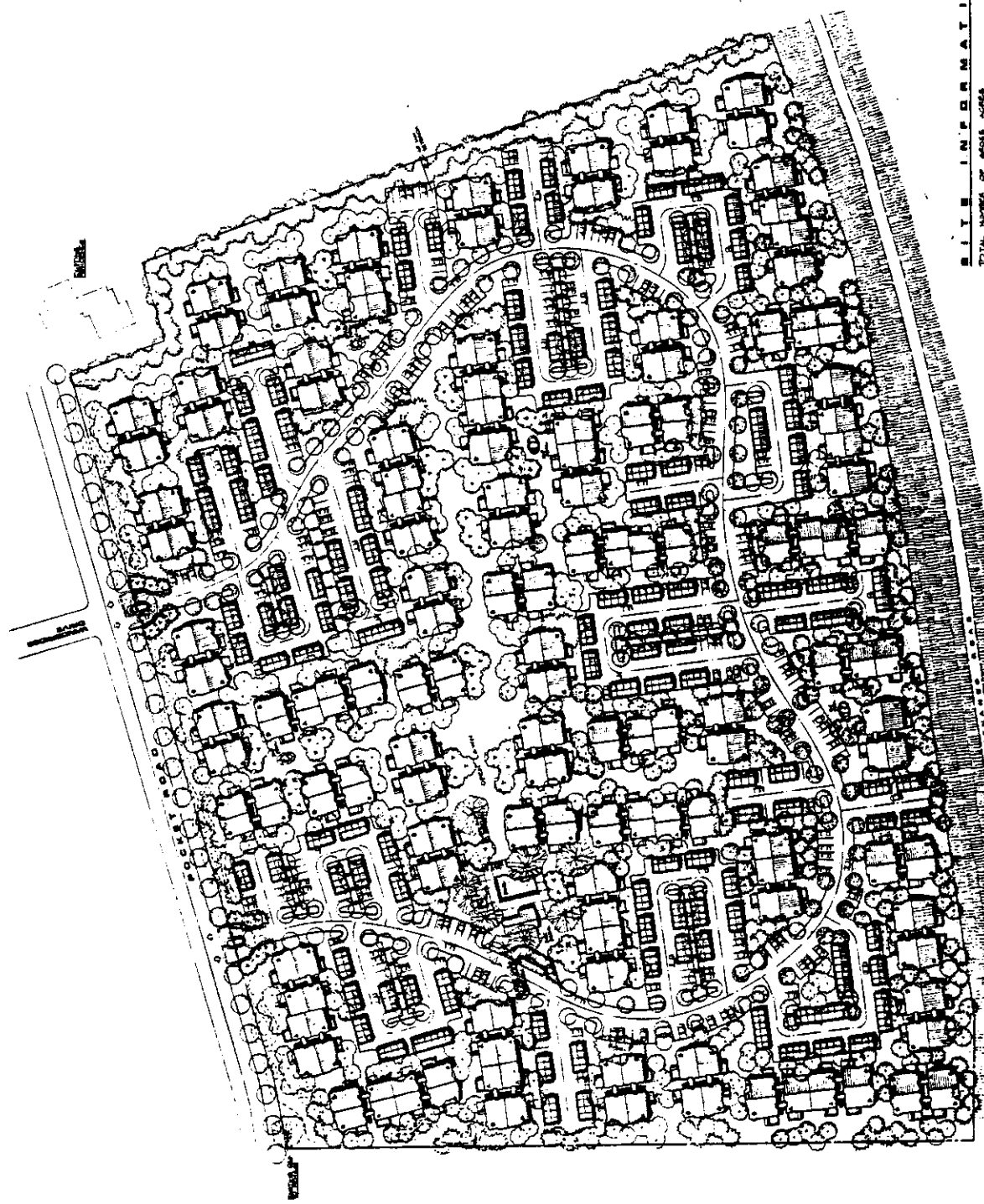
GEORGE TRATONOLLO, JR.
GENERAL DEVELOPMENT
DEVELOPER

ANTHONY M. GUZZARDO
AND ASSOCIATES INC.
LANDSCAPE ARCHITECTS
LAND PLANNERS

MORTON & INTALD INC.
CIVIL ENGINEERS



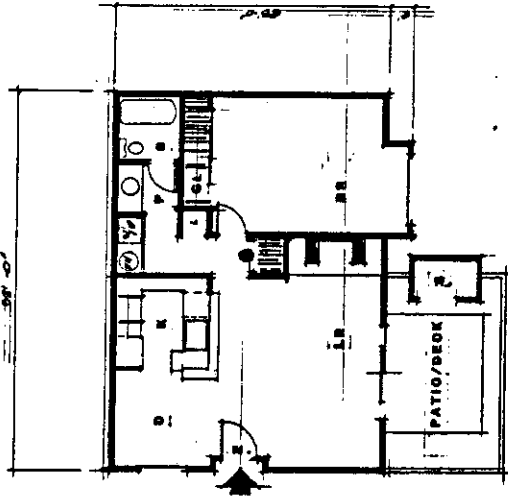
DATE: 4/26/84



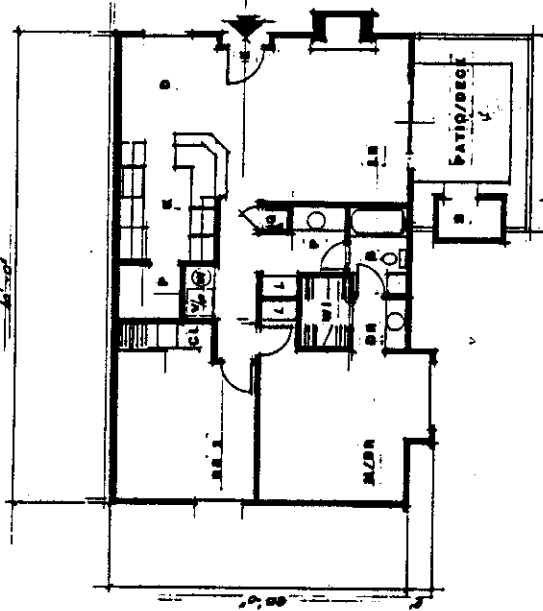
SITE INFORMATION

TOTAL NUMBER OF ADULT UNITS	437
NUMBER OF UNITS PER ACRE	84
TOTAL NUMBER OF PUBLISHING UNITS	941
A UNITS (1 BEDROOM) (283)	192
B UNITS (2 BEDROOM) (758)	749
TOTAL NUMBER OF PARKING (180)	70
NUMBER OF COVERED PARKING (18)	54
NUMBER OF OPEN PARKING (162)	497

SCHEMATIC SITE PLAN



FLOOR PLAN UNIT A 756 sq ft



FLOOR PLAN UNIT B 706 sq ft

RIVER LANDING

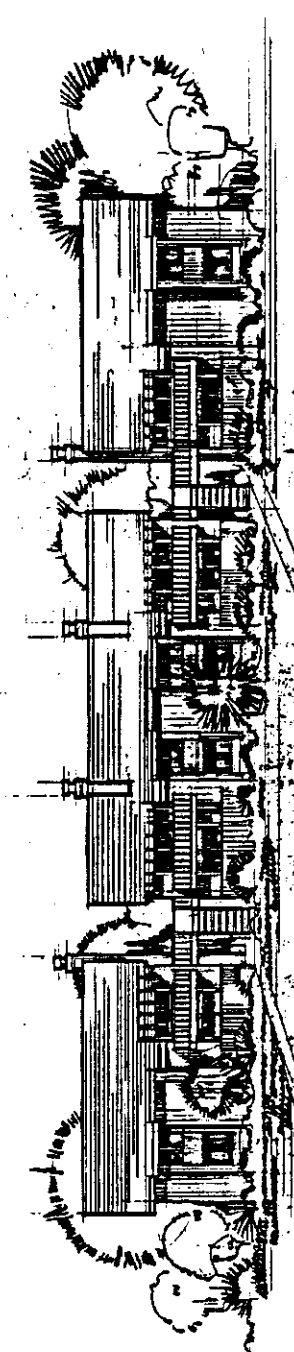
SACRAMENTO CALIFORNIA

GEORGE T. SAKOPPOULDS
LAND DEVELOPMENT
COMPANY, INC.
DEVELOPER
THE LINDEN GROUP
ARCHITECTS, P.C.



DEL. 10/11

4/8



ELEVATION STUDY
TYPICAL BUILDING CLUSTER

RIVER LANDING

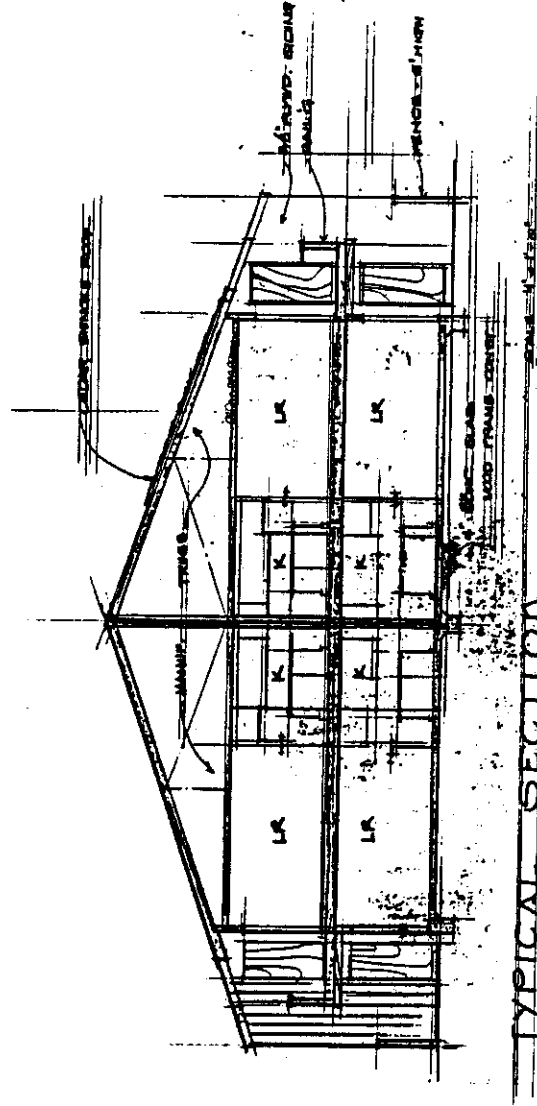
SACRAMENTO
CALIFORNIA

GEORGE IBAKPOULOS
LAND DEVELOPMENT
COMPANY, INC.
DEVELOPER
200 F STREET, S.W.
WASHINGTON, D.C.

SEE PLAN

1/8

RIVER LANDING SACRAMENTO CALIFORNIA



TYPICAL SECTION

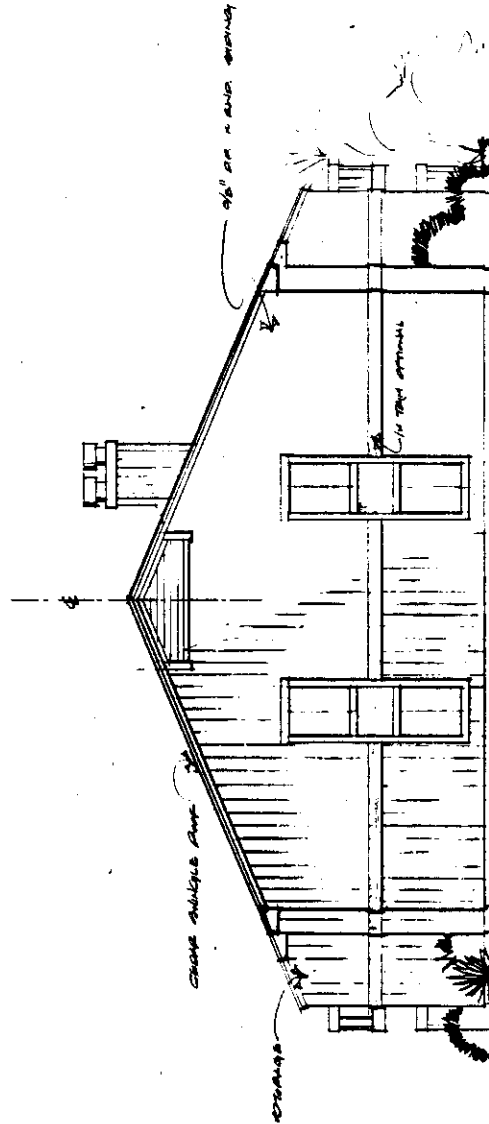
GEORGE IBAKOPULOS
 LAND DEVELOPMENT
 COMPANY, INC.
 DEVELOPER
 300 PULASKI AVENUE
 SACRAMENTO, CA



SCALE

RIVER LANDING SACRAMENTO CALIFORNIA

GEORGE TSAKOPOULOS
LAND DEVELOPMENT
COMPANY, INC.
DEVELOPER
SACRAMENTO, CA



END ELEVATION - UNIT B - TYPICAL BUILDING CLUSTER