

**CITY PLANNING COMMISSION**  
 1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

<b>APPLICANT</b>	The Spink Corp., 2590 Venture Oaks Way, Sacramento, CA 95833
<b>OWNER</b>	Beard and Howard, 4121 Westerly Place, #105, Newport Beach, CA 92660
<b>PLANS BY</b>	Fleetwood Joiner and Associates
<b>FILING DATE</b>	3/7/89
<b>ENVIR. DET.</b>	Negative Dec. 4/17/89
<b>REPORT BY</b>	PW:kjr
<b>ASSESSOR'S PCL. NO.</b>	225-0960-003

- APPLICATION:**
- A. Negative Declaration
  - B. Rezone 5.4 vacant acres from Single Family Alternative (R-1A) to Shopping Center Planned Unit Development (SCPUD) zone
  - C. Special Permit to develop a 40,656 square foot shopping center and three free standing pads consisting of 4000, 5000, and 1200 square feet each
  - D. PUD designation for 5.4+ vacant acres to be known as Stone Creek Center PUD
  - E. Adopt PUD Schematic Plan and Development Guidelines for Stone Creek Center PUD

**LOCATION:** Northeast Corner of Truxel Road and West El Camino Avenue

**PROPOSAL:** The applicant is requesting the necessary entitlements to develop a 40,656 square foot shopping center and three commercial pads.

**PROJECT INFORMATION:**

General Plan Designation:	Community/Neighborhood Commercial and Office
South Natomas Community	
Plan Designation:	Neighborhood Commercial
Existing Zoning of Site:	R-1A
Existing Land use of Site:	Vacant

Surrounding Land Use and Zoning:	Setbacks	Required	Provided
North: Residential; R-1A	Front:	25'	25'
South: Commercial; SC-12	Side(Int):	15'	15'
East: Residential; R-2B	Side(St):	5'	15'
West: Residential; R-3R	Rear:	25'	44'

Parking Required:	255 Spaces
Parking Provided:	262 Spaces
Property Dimensions:	Irregular
Property Area:	5.4+ acres
Square Footage of Building:	Main Center: 40,656      Pad B: 4,000
	Pad C: 5,000      Pad D: 1,200 (Gas Station)
Height of Building:	35 feet
Topography:	Flat
Street Improvements:	Existing

Utilities:	Existing
Exterior Building Materials:	Wood lap siding
Roof Material:	Fire resistant shingles
Exterior Building Colors:	Gray with white trim, with accent colors

**BACKGROUND INFORMATION:** On November 29, 1988, the City Council adopted the South Natomas Community Plan. With the adoption of the plan, the Council redesignated the subject site from low density residential to neighborhood commercial. The designation to neighborhood commercial was done with the intent that a rezone request for a specific shopping center development would be forthcoming.

**STAFF EVALUATION:** Staff has the following comments:

A. Land Use and Zoning

The subject site consists of 5.4+ vacant acres in the single family alternative (R-1A) zone located at the northeast corner of Truxel Road and West El Camino Avenue. Both the General Plan and South Natomas Community Plan designate the site for neighborhood commercial uses. The proposed retail commercial center is consistent with this plan designation. The site is surrounded on the north, east, and west by multi-family residential uses. Across El Camino to the south and southwest are two existing shopping centers.

B. Applicant's Proposal

The applicant is proposing to develop a 40,656 square foot neighborhood shopping center. The development also includes three free standing buildings as follows:

Building B	4,000 sq. ft. restaurant
Building C	5,000 sq. ft. restaurant
Building D	1,200 sq. ft. service station

The site is currently zoned R-1A and will require a rezone to SC. The applicant intends to develop the site as a Planned Unit Development (PUD) to be known as Stone Creek PUD. Therefore, the rezoning of the site will be from R-1A to SC PUD. A special permit is also required for the actual development of the site because of its PUD designation.

C. Rezoning and PUD Designation

The subject site has been previously evaluated in terms of appropriate land uses during the South Natomas Community Plan adoption process. The current designation of neighborhood commercial was approved after several public hearings on the Community Plan. Therefore, the rezoning to SC is appropriate and consistent with the existing plan designation. The extent of the discussion on the subject site lies not with the land use but with the specific project proposal. The South Natomas Community Plan requires all development proposals be placed in the Plan Unit Developments (PUD). The intent of a PUD is to provided for greater flexibility in the design of integrated uses. The result of which is to achieve a higher quality development which includes a strict set of development guidelines. The applicant

has submitted guidelines which staff has reviewed and found appropriate for the 5.4 acre site.

D. Site Plan

The submitted site plan indicates a 40,656 square foot main center located along the northern portion of site with the majority of the parking in the front off of West El Camino Avenue. Two restaurant pads are provided along the front of the site. The site plan indicates that these restaurants are not designated for drive-thru facilities. Staff compliments this feature. At the southwest corner of the site where Truxel and West El Camino intersect is a full-service gas station pad. The South Natomas Community has indicated to Planning Staff a great need for both restaurants and full-service gas stations. Staff supports the uses proposed for the three pads. Access to the site is to be provided from both West El Camino and Truxel Road. The project's main entrance will be off of West El Camino. A painted, two-way center left turn lane will be established for eastbound cars wanting to utilize the main entrance from West El Camino. Both gas station access points will be right-in and right-out as well as the southern driveway into the shopping center from Truxel Road.

The parking configuration is good with its use of head-on spaces in front of the main retail center and other spaces located in close proximity to the restaurant. The site plan indicates parking calculations as follows:

<u>Building</u>	<u>Area</u>	<u>Parking</u>
A Retail	40,656 sq. ft.	164 Spaces
B Restaurant	4,000 sq. ft.	40 Spaces
C Restaurant	5,000 sq. ft.	50 Spaces
D Service Station	1,200 sq. ft.	8 Spaces
TOTAL	50,856 sq. ft.	262 Spaces Provided

Staff suggests marking, or in some other way, designating the parking along the rear of the center for employee parking.

The various areas of contrasting, decorative paving throughout the project is a beneficial feature that helps break up the expanse of asphalt. Please note that any paved surface that intends to carry vehicles must meet the City Zoning Ordinance. The use of decorative walkways connecting the restaurants with the main center is also a complimentary feature that promotes pedestrian use within the site.

The proposed landscaping is consistent with other commercial developments within South Natomas. The site plan indicates a 3 foot turfed berm within the 25 foot landscape setback along West El Camino and Truxel. A 10 foot wide planter is located along the entire northern perimeter adjacent to the Discovery Village residential complex. This planter will consist of evergreen trees planted approximately 15 feet on center to screen the shopping center from the residential uses. The applicant should submit a detailed landscape plan for review and approval by Planning Staff prior to issuance of building permits.

A six foot wall is required along the eastern and northerly property lines which abuts residential uses. Staff is recommending the wall be increased to 7 feet to help lessen the noise impacts associated with the shopping center. The wall should have a decorative design which should be reviewed by Planning Staff.

No detail has been provided for the loading area. Staff assumes that a loading area will be needed for the large anchor tenant. A wing wall should be extended off of the rear of the building to screen the loading area from the adjacent residential complex.

No proposed sign details have been submitted. The sign criteria in the proposed PUD development guidelines are consistent with other shopping centers with PUDs. The applicant should submit a detailed sign program to the Planning Director for review and approval prior to issuance of sign permits.

E. Air Quality Monitoring Station

The South Natomas Community Plan implementation includes a provision for an air quality monitoring station. The plan calls for the station to be funded from the Facilities Benefit Assessment District (FBA) at a time no later than 1994. Specifically the FBA may provide \$60,000 in funding for an air quality monitoring station. The subject site has been selected as the most logical location for monitoring station in that it is one of the only undeveloped pieces of land in the vicinity. The Air Pollution Control District (APCD) at this time has not submitted a site specific location but has indicated the site should be as close to the Truxel/West El Camino intersection as possible. The monitoring station consists of a trailer, equipment racks, calibrators, and clean air generator. The timing of the air quality monitoring station will depend on the availability of the FBA funds and will certainly lag far behind the development of the shopping center. Staff recommends that the specific location of the monitoring station be determined at a later time to the satisfaction of the Planning Director.

F. Building Elevations

The submitted elevations for the 40,656 square foot main commercial structure indicate a one story building constructed out of wood ship lapped siding. The building will be painted gray with white trim and accent colors. Roof material will consist of tile or metal shingles. The design and materials of the shopping center is very similar to the Loehman's Plaza on Fair Oaks Boulevard. Staff finds the proposed design and materials of the shopping center structure compatible with existing residential and commercial developments in the area.

Elevations for the three free-standing pads have not been submitted. Planning Staff recommends that the Planning Director review and approve all proposed elevations for these pads to insure design compatibility with the main shopping center. This review and approval includes the service station. The design should include uniform signage and building design, color, and materials.

G. Housing Trust Fund

The proposed project is subject to the requirements of the City's Housing Trust Fund.

H. Transportation System Management

The proposed project is required to comply with the City Transportation Systems Managements (TSM) Ordinance. The Ordinance requires the applicant to prepare and submit a Transportation Management Plan (TMP) to the City's Traffic Engineer and Planning Director for review and approval prior to issuance of building permits. The TMP is required to achieve a 35 percent alternative commute mode goal.

I. Agency Comments

The proposed project has been reviewed by the City's Traffic Engineering, Engineering, and Fire Inspection Divisions as well as the Natomas Community Association and the Discovery Village Homeowner's Association. The following comments were received:

Traffic Engineering

1. A minimum of 26' maneuvering depth for parking stalls
2. A minimum 18' stall depth
3. Right-in, right-out only from service station
4. Repair and replace all substandard improvements
5. Driveway shall be a minimum of 24 feet and maximum of 35 feet
6. Right-in and right-out only for south shopping center driveway on Truxel Road
7. A Transportation Management Plan (TMP) is required under the new Transportation Systems Management (TSM) Ordinance

Engineering

1. Prior to issuance of any building permit, the applicant shall enter into an agreement to participate in a Facilities Benefit Assessment (FBA) District or other fair and appropriate financing mechanism to be formed to finance needed public infrastructure and community facilities in South Natomas. The exact amount of dollar participation by the FBA District for each of the improvements will be specified at the time that the District is formed.

If the FBA District has not yet been approved, the Council shall determine the contribution to the FBA. Credit shall be granted against any FBA subsequently levied for any payment made pursuant to this paragraph. The fee amounts shall be adjusted annually. The method of adjustment shall be specified when the District is formed.

2. Grading and drainage to be approved by Public Works at time of building permit.

3. Access from West El Camino shall be to the satisfaction of the Traffic Engineer.

Fire

1. Fire hydrants needed at front and rear of site

Natomas Community Association

No written comments were received. However, the Association has indicated to staff no objections to the project as proposed.

Discovery Village Association

The Discovery Village Homeowner's Association has submitted a letter of objection to the project. The letter is attached (Exhibit A).

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the project as proposed will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared. In compliance with Section 15070(B)1 of the California Environmental Quality Act Guidelines, the applicant has incorporated the following mandatory mitigation measures into the project plans to avoid identified effects or to mitigate such effects to a point where clearly no significant effects would occur:

- A. Comply with any applicable requirements of the current citywide TSM ordinance.
- B. All tenants of the project development shall join other South Natomas employers in working with the Sacramento County Air Pollution Control District to develop a mitigation program consisting of new traffic and air quality mitigation measures not already identified in the SNCP and EIR.
- C. Submit with each special permit application a letter from Regional Transit verifying that Regional Transit has been consulted with regard to the impacts of the development design on transit efficiency and effectiveness in serving the site.
- D. Incorporate in the final site plan any needed elements of the bicycle master plan. All easements and final alignment shall be to the satisfaction of the City Traffic Engineer.

In addition, the development guidelines for Stone Creek Center require that submittal of the special permit application necessary to develop parcels in a PUD must include "...documentation demonstrating successful performance in implementation of TSM facilities for the development."

- E. The owners and other principals of development in the PUD shall have and assume the obligation to acquire information reasonably available to the public relevant to the development which is sufficient to inform subsequent purchasers of the existing level of flood protection and the applicable floor elevations in the possession of the Army Corps of Engineers, whether or not

such information has been adopted as part of an official FEMA flood map or the City's flood plain management ordinance, and to pass on such information to subsequent purchasers and tenants of the development. The City shall provide to owners any requested public information it possesses relating thereto. The City Manager is authorized to develop and implement procedures and requirements to carry out the intent of this paragraph, including defining the meaning of "other principals" of the development to include lenders and others related to the project.

As a condition to any future discretionary land use entitlement, the Developer shall execute and record in the County Recorder's Office, in favor of the City of Sacramento in a form satisfactory to the City Attorney, hold harmless, waivers, exculpation, and assumption to risk clauses for all new development which is not built at an elevation consistent with an elevation that is one foot above the flood date currently being prepared by the Army Corps of Engineers.

The aforementioned recorded documents shall include a provision that these obligations shall cease upon substantial completion of 100 year flood control protection.

- F. The gas station shall be operated in accordance with all City, County, State, and Federal laws governing hazardous materials handling, transport, storage, and disposal.
- G. Participate in the City's Housing Trust Fund.
- H. Participate in Facilities Benefit Assessment (FBA) District or other fair and appropriate mechanism to be formed to finance needed public infrastructure and community facilities in South Natomas. The exact amount of dollar participation by the Facilities Benefit Assessment District for each of the improvements will be specified at the time that the District is formed.

Granting of future discretionary land use entitlements beyond zoning shall be withheld until the FBA or other financing mechanism is in place, unless the applicants agree to participate in the FBA or other equitable funding mechanism needed to finance needed community facilities at the time of such future discretionary entitlements.

- I. Implement SMUD's conservation load management measures.
- J. Implement standard water conservation measures into the site design.
- K. If at anytime during construction, artifacts, bones, or unusual amounts of shells are discovered, construction will cease until a qualified archaeologist can examine the find and recommend preservation or possible mitigation if the find is significant.

RECOMMENDATION: Staff recommends the Commission take the following actions:

- A. Ratify the Negative Declaration
- B. Recommend Approval of the Rezone of 5.4 acres from R-1A to SC PUD and forward to the City Council
- C. Approve the Special Permit to develop a 40,656 square foot shopping center and three free-standing pads with conditions and based on findings of fact which follow
- D. Recommend approval of the PUD designation of 5.4 acres to be known as Stone Creek Center PUD and forward to City Council
- E. Recommend approval of the PUD Schematic Plan and Development Guidelines for Stone Creek Center PUD and forward to City Council

Conditions - Special Permit

1. The applicant shall comply with the following environmental mitigation measures:
  - a. Comply with any applicable requirements of the current citywide TSM ordinance
  - b. All tenants of the project development shall join other South Natomas employers in working with the Sacramento County Air Pollution Control District to develop a mitigation program consisting of new traffic and air quality mitigation measures not already identified in the SNCP and EIR.
  - c. Submit with each special permit application a letter from Regional Transit verifying that Regional Transit has been consulted with regard to the impacts of the development design on transit efficiency and effectiveness in serving the site.
  - d. Incorporate in the final site plan any needed elements of the bicycle master plan. All easements and final alignment shall be to the satisfaction of the City Traffic Engineer.

In addition, the development guidelines for Stone Creek Center require that submittal of the special permit application necessary to develop parcels in a PUD must include "...documentation demonstrating successful performance in implementation of TSM facilities for the development."



- e. The owners and other principals of development in the PUD shall have and assume the obligation to acquire information reasonably available to the public relevant to the development which is sufficient to inform subsequent purchasers of the existing level of flood protection and the applicable floor elevations in the possession of the Army Corps of Engineers, whether or not such information has been adopted as part of an official FEMA flood map or the City's flood plain management ordinance, and to pass on such information to subsequent purchasers and tenants of the development. The City shall provide to owners any requested public information it possesses relating thereto. The City Manager is authorized to develop and implement procedures and requirements to carry out the intent of this paragraph, including defining the meaning of "other principals" of the development to include lenders and others related to the project.

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The aforementioned recorded documents shall include a provision that these obligations shall cease upon substantial completion of 100 year flood control protection.

- f. The gas station shall be operated in accordance with all City, County, State, and Federal laws governing hazardous materials handling, transport, storage, and disposal.
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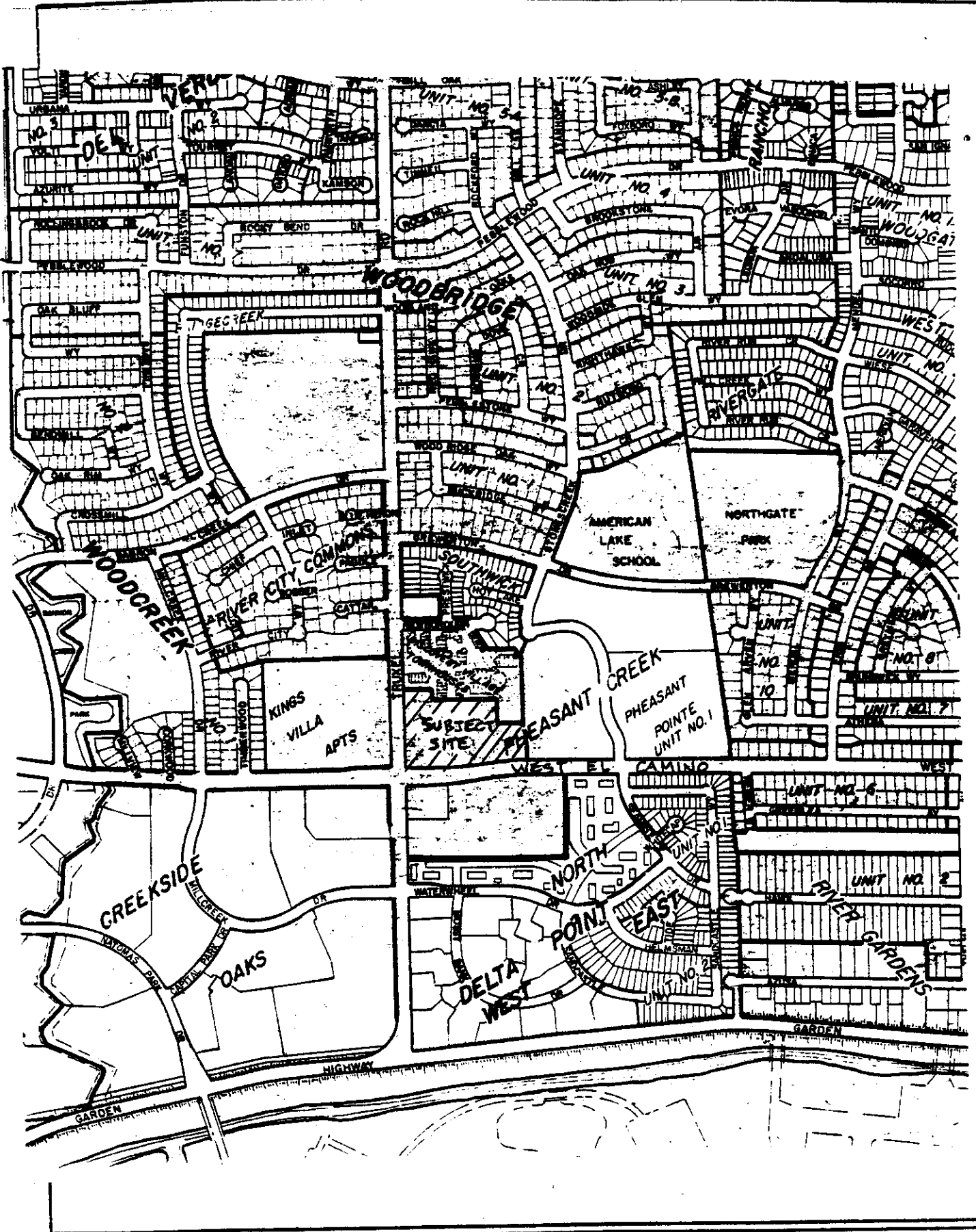
Granting of future discretionary land use entitlements beyond zoning shall be withheld until the FBA or other financing mechanism is in place, unless the applicants agree to participate in the FBA or other equitable funding mechanism needed to finance needed community facilities at the time of such future discretionary entitlements.

- i. Implement SMUD's conservation load management measures.
  - j. Implement standard water conservation measures into the site design.
  - k. If at anytime during construction, artifacts, bones, or unusual amounts of shells are discovered, construction will cease until a qualified archaeologist can examine the find and recommend preservation or possible mitigation if the find is significant.
2. The service station shall not operate on a 24-hour basis, contain a mini-mart, or have alcohol sales.
  3. Proposed elevations for the three building pads shall be compatible with the main commercial structure and are subject to Planning Director's review and approval prior to issuance of building permits.
  4. The applicant shall submit detailed landscape plans for review and approval by the Planning Director prior to issuance of building permits.
  5. The location and design of all driveways shall be to the satisfaction of the City's Traffic Engineer.
  6. The applicant shall design a wing wall on the rear of the main building to screen the loading area. The design of the wing wall shall be reviewed and approved by the Planning Director prior to issuance of building permits.
  7. The applicant shall construct a 7 foot high decorate masonry wall along the northern property line. The design of the wall shall be reviewed and approved by the Planning Director prior to issuance of building permits.
  8. The applicant shall provide trash enclosures and bicycle storage facilities in accordance with the Zoning Ordinance.
  9. The roofing material shall consist of tile or metal shingles and shall be reviewed and approved by the Planning Director.

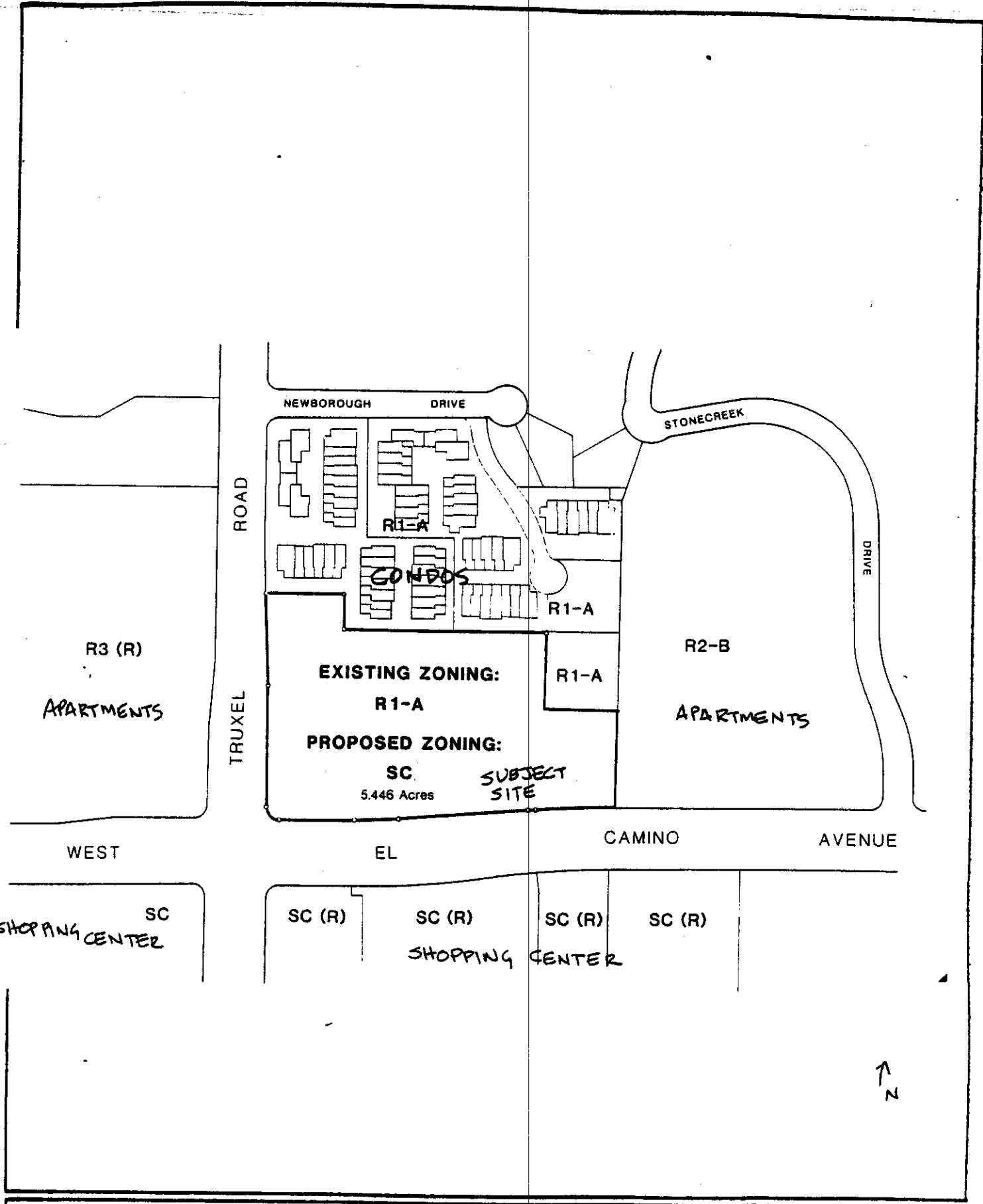
10. The applicant shall submit a detailed sign program for the project including the monument sign. All signage shall conform to the proposed PUD sign guidelines. The sign program shall be reviewed and approved by the Planning Director prior to issuance of sign permits.
11. All lighting shall be directed toward the subject site and shielded or directed so that adjacent residential areas are not subject to light and glare.
12. An air quality monitoring station shall be permitted to be located within the site at a future time to the satisfaction of the Planning Director. The location will be determined by the Director prior to issuance of building permits.
13. The applicant shall submit a Transportation Management Plan (TMP) for review and approval by the City's Traffic Engineer and Planning Director prior to issuance of building permits.
14. Prior to approval of the final inspection of the project by the City Building Division, the Planning Director shall inspect the site for compliance with all conditions.

#### Findings of Fact

1. The proposed project, as conditioned, is based upon sound principles of land use in that the proposed commercial center will be compatible with the existing multi-family residential and commercial development in the area.
2. The proposed project, as conditioned, will not be detrimental to the public health, safety, or welfare, nor result in the creation of a nuisance in that adequate parking, landscaping, and setbacks will be provided.
3. The proposed project is consistent with both the General Plan and 1986 South Sacramento Community Plan in that the Plan's designate the site for neighborhood commercial uses and the proposed shopping center conforms to this designation.

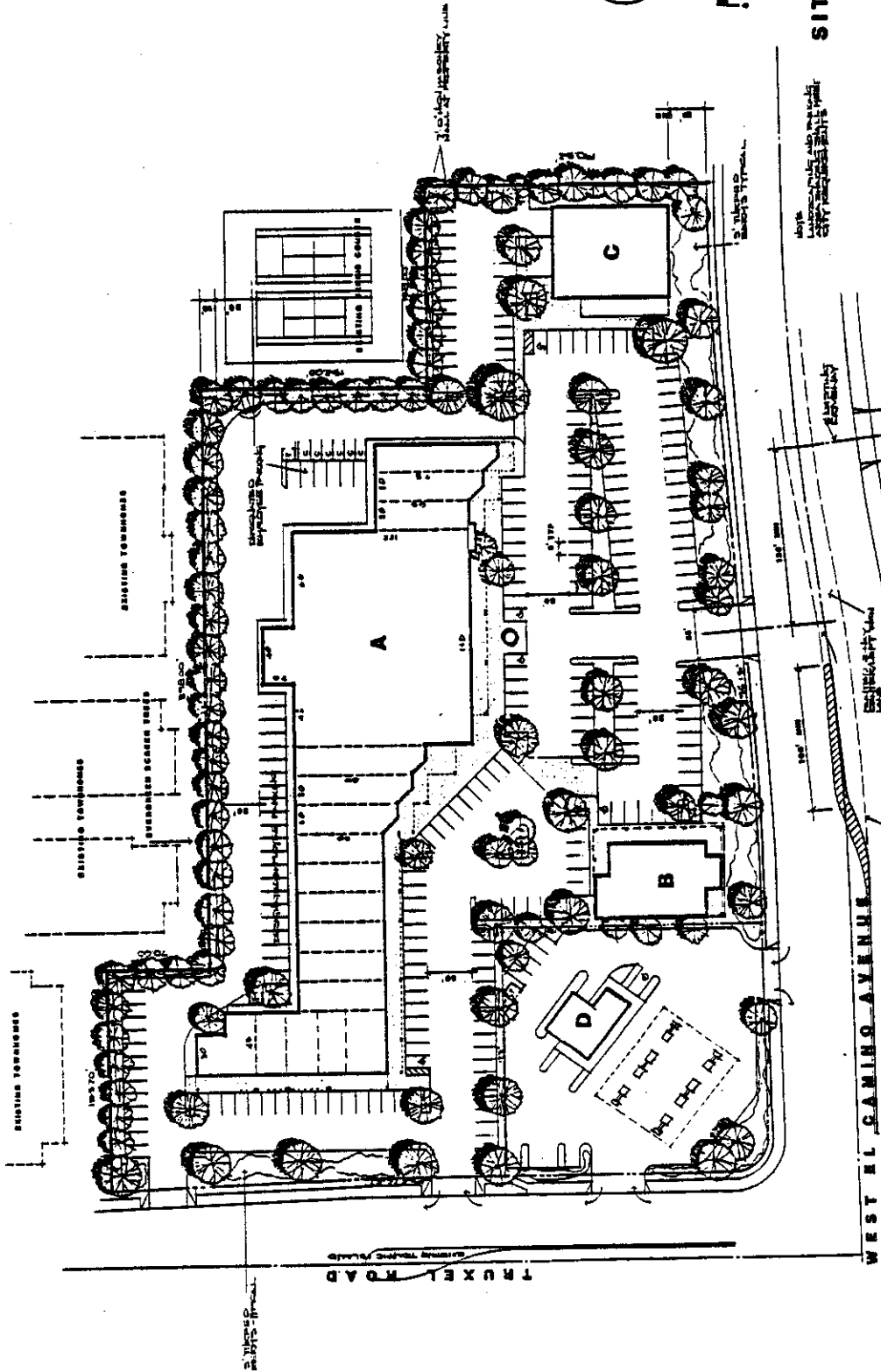


# VICINITY MAP



# LAND USE & ZONING MAP

# SCHEMATIC PLAN

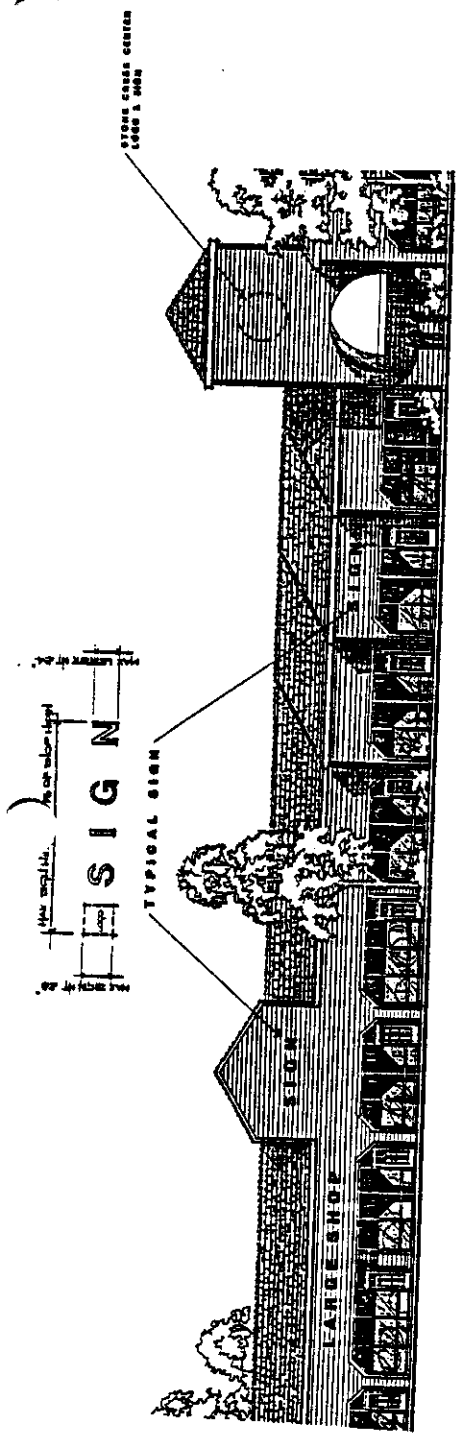


SITE  
0.46 ACRES

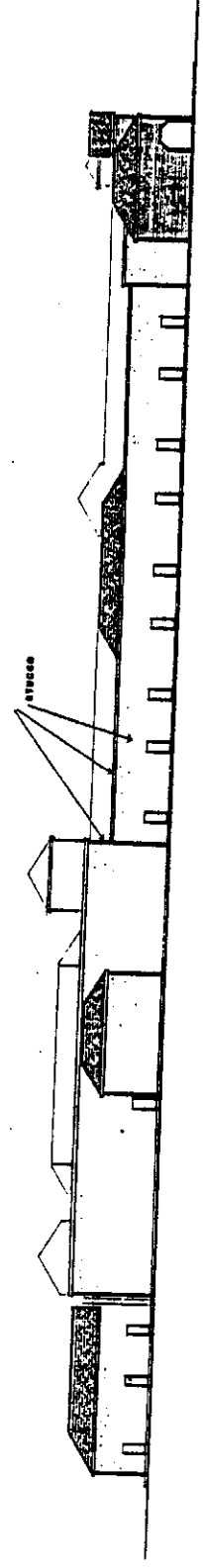
BUILDING	AREA	PARKING
A RETAIL	40,056 S.F.	163 CARS REQUIRED
B RESTAURANT	4,000 S.F.	40 "
C RESTAURANT	5,000 S.F.	50 "
D SERVICE STATION	1,200 S.F.	"
<b>TOTAL</b>	<b>50,256 S.F.</b>	<b>263 CARS REQUIRED</b>
		<b>264 CARS PROVIDED</b>

**STONE CREEK CENTER**  
**BEARD & HOSHAW COMPANY, INC**  
 4121 WESTERLY PLACE SUIT 109 NEWPORT BEACH, CALIFORNIA 92660

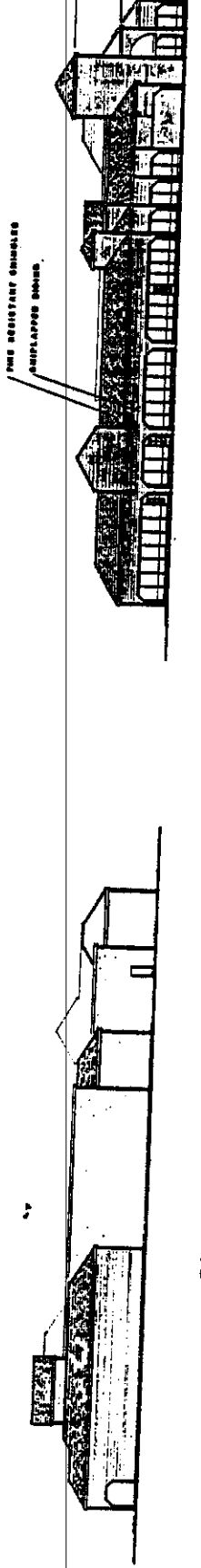




**SIGNAGE**

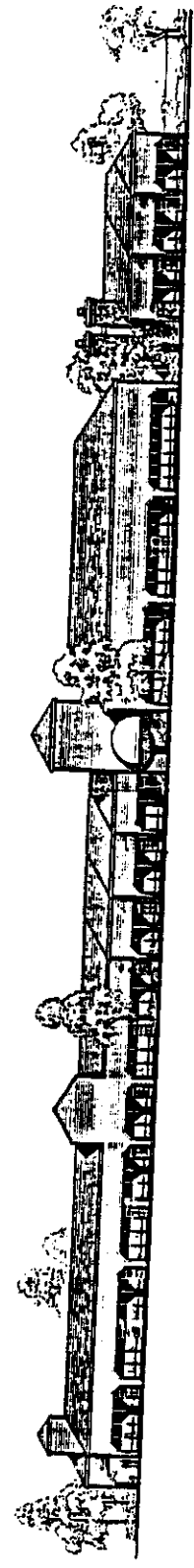


**NORTHELEVATION**



**EAST ELEVATION**

**WEST ELEVATION**



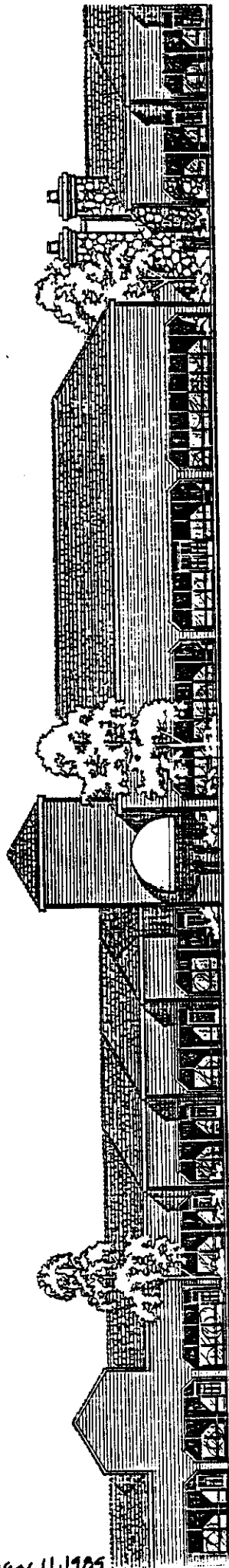
**SOUTH ELEVATION**

# ELEVATIONS

**STONE CREEK CENTER**  
**BEARD & HOSHAU COMPANY, INC**  
 4121 WESTERLY PLACE SUIT 105 NEWPORT BEACH, CALIFORNIA 92660



PLANNING  
 AND  
 ARCHITECTURE  
 19700 N. 111th St.  
 Seattle, WA 98148



# ELEVATIONS



## STONE CREEK CENTER

BEARD & HOSHAU COMPANY, INC  
 4121 WESTERLY PLACE SUIT 105 NEWPORT BEACH, CALIFORNIA 92660  
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PLANNED UNIT  
DEVELOPMENT GUIDELINES  
STONE CREEK CENTER  
(P-89021)

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January 1989

P 89021

May 11, 1989

# 8

## I. PURPOSE AND INTENT

Stone Creek Center is a planned unit development. These guidelines, as approved and accepted by the City of Sacramento Council, shall be adopted and used by the Stone Creek Center Architectural Review Committee established by the declarants and providing for successors which shall be set forth in the respective CC and R's governing the project. The Architectural Review Committee shall adhere to the following objectives in reviewing the development plans:

1. To provide adequate natural light, pure air, and safety from fire and other dangers.
2. To minimize congestion due to vehicular and pedestrian circulation within the project area.
3. To preserve and enhance the aesthetic values throughout the project.
4. To promote public health, safety, comfort, convenience, and general welfare.

These Development Guidelines shall incorporate the Schematic Plan for the Stone Creek Center approved by the Sacramento City Council by Resolution No. 89-021. These guidelines are intended to act as a supplement to existing City Ordinances. Upon request of the applicant, the Planning Director may amend or modify the Schematic Development Plan without compliance with procedural provisions of the Zoning Ordinance or any other notice of public hearing if the Planning Director determines that the requested amendment or modification is consistent with the Development Guidelines. With the exception noted above, any amendments hereto can only become effective upon approval by the Planning Commission of the City of Sacramento.

## II. PROCEDURES FOR APPROVAL

Development of parcels in FUD are subject to special permit approval by the City Planning Commission. Special permit development plans shall be in conformance with the schematic plan and FUD guidelines approved by the City Council.

A preliminary review of special permit applications may be required when the City determines that such review, by City, County, State and other agencies, is essential to a thorough review.

The following information shall be submitted with a special permit application:

1. Names and address of builder, contractor, developer, and architect.
2. Project site plat with dimensions taken from signed recorded plat.
3. All submissions must include topography showing existing grades and proposed grades at one foot intervals with spot elevations as required to clarify drawings. Also show building corner elevations and floor landscaping.

4. Proposed landscaping, indicating an automatic irrigation system.
5. Retaining walls as needed.
6. Proposed locations and details of temporary and permanent signs, including dimensions.
7. Temporary and permanent fences.
8. Front, side, and rear setbacks from building to property lines.
9. Easements and rights-of-way.
10. Pipes, berms, ditches, swales.
11. Driveways, parking areas, pathways, and lighting, existing and proposed.
12. Locations and details of benches and patios, if applicable.
13. Exterior storage and screening devices for trash, mechanical and communications equipment, and meters.
14. Location of light poles and transformers, with height and proposed type indicated.
15. Sewer alignments and location of manholes and inverts.
16. Mailboxes, if any.
17. Roof projections and/or roof plan and screening treatment.
18. Land use distribution, percent and square footage of site used for the following:
  - o Building pad;
  - o Surface parking and any other paved area;
  - o Landscaping (includes private sidewalks and patios).
19. Building elevations for all sides and height to top plate and top of roof.
20. Location of existing and proposed buildings.
21. Street names and right-of-way widths.
22. Cross sections of structures indicating relationship to adjacent buildings and roadways.
23. Dimensions for typical parking stalls and maneuvering areas, including setbacks of buildings and building separation.

24. Bar scales on all plans.
25. Written approval of the Architectural Review Committee.
26. Phasing scheme and proposed timing schedule for buildout.
27. Written documentation of consultation with Regional Transit regarding the impact of the development design on transit efficiency and effectiveness in serving the site.
28. Submit for review and approval with each special permit application documentation demonstrating successful performance in implementation of TSM facilities for the development.

### III. PERMITTED USES IN THE SHOPPING CENTER ZONE

- A. It is the intent of the shopping center zone on Stone Creek Center (5.446 acres) to serve the surrounding residential with neighborhood commercial uses.
- B. Any offices shall be limited to those providing services to local residents and shall not impair the primary objective of a neighborhood shopping center.
- C. Prohibited uses include hotels, motels, business colleges or trade schools, and offices greater than 2,500 square feet of gross leasable area per tenant.
- D. A seven foot high masonry wall shall be placed along the property line abutting residentially designated land.

### IV. ENVIRONMENTAL STANDARDS IN THE SHOPPING CENTER ZONE

#### A. General

All buildings, structures, paved areas and building materials, color schemes, and landscape elements shall be designed and constructed so as to create a desirable environment for the intended use and relate harmoniously to other buildings and to adjacent residential communities.

#### B. Landscaping

1. General: Natural ground covers with permanent automatic irrigation interspersed with tree plantings will tie together the individual elements throughout the project. All landscaping referred to in this section shall be maintained in a neat and orderly fashion.
2. Minimum Landscaping Coverage per Project: Minimum landscape coverage percentage for property within the PUD and for any project within the PUD shall be 15 percent in the shopping center zone.

3. Planting Types. All trees, shrubs, and ground cover planting types shall conform to the Stone Creek Center approved plant list unless an alternative type is approved by the Director of Community Services or designee. A plant list for the FUD shall be approved by the Planning Director prior to the submittal of the first special permit application to the Planning Department.
4. Setbacks Adjacent to Public Right-of-Way and Private Drives. For the purpose of providing screening of parking lots from the roadways, the abutting frontages shall have landscaped undulating berms. The height of the berms shall be determined with special permit. The berms shall be landscaped with predominantly evergreen trees, shrubs, and ground cover matching existing adjacent properties.
5. Irrigation. All landscaped areas shall be irrigated with timed permanent automatic underground systems.
6. Surfaced Parking Lots. Trees shall be planted and maintained throughout the surfaced parking lot to insure that within 15 years after the establishment of the parking lot, at least 50 percent of the parking area will be shaded at noon on August 21st.
7. Approval of Landscaped Plans. Project special permit approvals shall be subject to submittal of detailed landscape and irrigation plans for review and approval of staff prior to issuance of a building permit. A tree shading diagram shall be submitted with each building permit application for the review and approval of the Director of Community Services or his designee.
8. Front and Street Side Yard Setback Area. Landscaping in these areas shall consist of an effective combination of trees, ground cover and shrubbery.
9. Side and Rear Yard Setback Area. All unpaved areas not utilized for parking and storage shall be landscaped utilizing ground cover and/or shrubbery and tree material. Undeveloped areas proposed for future expansion shall be maintained in a reasonably weed free condition but need not be landscaped.

Boundary landscaping is required on all interior property lines with a minimum of four feet on each property. Said boundary landscaping areas shall be placed along the entire breadth of these property lines or be of sufficient length to accommodate the required number of trees. In addition to trees, the boundary landscaping areas shall be landscaped with shrubbery and ground cover.

10. Installation of Landscaping. Prior to the issuance of any temporary or final occupancy permits, each project's landscaping, including permanent automatic irrigation system, shall either be installed or

security, in a form satisfactory to the City, shall be posted to insure installation as soon as climatically possible after occupancy. Plants shall be varied in size: one and five gallon shrubs and 5 and 15 gallon and 24 inch box trees.

11. The FUD plant list, examples of acceptable design treatment such as berming and screening, and typical street corner treatments shall be approved by the Planning Director prior to submittal of Building Permit Plan Check.

C. Pedestrian Circulation

Primary and secondary walkways shall be designed indicating a relationship with street access, bus stops, parking areas, adjacent structures and abutting properties through the boundary landscaping. Both walkways and bikeways shall be designed with pedestrian health and safety in mind. Pedestrian walkways and bikeways shall be landscaped to provide shade in the summer.

D. Parking Area Standards

1. Adequate off-street parking shall be provided to accommodate all parking needs of the site. The intent is to eliminate the need for any on-street parking.
2. Required off-street parking shall be provided on the site served.
3. Parking Requirements:
  - a. Shopping Center (SC Zone)
    - 1) Retail Store. One automobile space for each 250 square feet of gross floor area.
    - 2) Restaurant/Bar. One automobile space for every three seats based upon capacity of the fixed and moveable seating area as determined under the Uniform Building Code.
    - 3) All other allowed uses shall conform to City requirements for each use.
    - 4) One Class II or Class III bicycle space for every 25 required automobile parking spaces as defined in Section 22.A.6 of the Zoning Ordinance.
  - b. Carpooling and Vanpooling is encouraged for each building and shall be addressed in the Special Permit application for each development.
  - c. Curbs, walls, decorative fences with effective landscaping or similar barrier devices shall be located along the perimeter of

parking lots and enclosed storage areas except at entrances and exits indicated on approved parking plans. Such barriers shall be designated and located to prevent parking vehicles from extending beyond property lines of parking lots or into yard spaces where parking is prohibited and to protect public right-of-way and adjoining properties from damaging effects of surface drainage from parking lots.

Minimum stall dimensions shall correspond to standards provided in the City Zoning Ordinance except that the front two feet of all stalls, the area into which the vehicle bumper overhangs, shall be incorporated into the adjacent landscape or walkway improvements resulting in a net decrease of two feet of the required surfaced depth of the parking stall and a minimum net increase of two feet in width of the landscaped planter. No individual prefabricated wheel stop will be permitted. A continuous six-inch raised concrete curb shall be provided along all landscaped areas abutting parking or drives.

- d. Maximum of 30 percent of all vehicle parking spaces may be compact spaces.
- e. Curbs and drives shall be constructed in accordance with the latest requirements of the City of Sacramento.

E. Exterior Lighting:

- 1. Lighting shall be designed in such a manner as to provide safety and comfort for occupants of the development and the general public.
- 2. Lighting design shall be such as not to produce hazardous and annoying glare to motorists and building occupants, adjacent residents, or the general public.
- 3. Lighting shall be oriented away from the properties adjacent to the FUD.
- 4. Exterior lighting fixtures shall be similar and compatible throughout the FUD.

F. Performance Standards:

- 1. Purpose and Intent. It is the intent of these restrictions to prevent any use in the FUD which may create dangerous, injurious, noxious, or otherwise objectionable conditions.
- 2. Nuisances. No nuisance shall be permitted to exist in the business parks. The term "nuisance" shall include, but not be limited to, any use which:

- a. Emits dust, sweepings, dirt, fumes, odors, gases, or other substances into the atmosphere which may adversely affect the health, safety, or welfare of persons working at Stone Creek Center or residing in adjacent neighborhoods.
- b. Discharges of liquid or solid wastes or other harmful matter into any stream, river, or other body of water which may adversely affect the health, safety, or welfare of those working at Stone Creek Center or residing in adjacent neighborhoods.
- c. Exceeds permissible noise levels as established by the City of Sacramento.

Any onsite bicycle/pedestrian facilities that have not been dedicated to the City shall have connections to the City's bikeway/pedestrian circulation system. These connections shall be designed and constructed to the satisfaction of the Traffic Engineer.

V. BUILDING STANDARDS IN THE SHOPPING CENTER ZONE

A. Purpose and Intent

The purpose and intent of this section is 1) to encourage the creative and innovative use of materials and methods of construction, and 2) to prevent indiscriminate and insensitive use of materials and design.

- B. The architectural design of the shopping center shall be compatible with the adjacent residential as well as visually interesting from the surface streets.

C. Building Setbacks

	<u>Building Setback</u>	<u>Landscaped Setback</u>
West El Camino	25'	25' *
Truxal	50'	25' *
All Other Public and Private Streets	25'	25'

Setbacks shall be per these guidelines.

- \* Gas Station pad/site not part of these guidelines. Setbacks not identified above shall be per the Zoning Ordinance or approval of the City Planning Department.

D. Building Height

The following is the maximum building height:

- 1. SC Zone - 35 feet.

If a mechanical penthouse is provided, an additional 7 feet shall be permitted.



E. Exterior Wall Materials

1. Finished building materials shall be applied to all sides of a building, including trash enclosures and mechanical and communications equipment screens.
2. Tilt-up concrete construction technique shall be allowed, only if full compliance with all of the other conditions of the guidelines is maintained. The intent is not to allow for full tilt-up concrete structures (like a warehouse facility), but only to provide that tilt-up concrete materials may form a portion of the surface area of the structures; e. g., to provide for sheer walls, decorative forms, etc., with other construction materials making up the majority of the surface, such as combination of glass and spandrel.
3. Exposed concrete block shall not be acceptable for exterior surfaces. The intent is not to preclude such concrete block construction as split face block, texture block, slump stone, or other similar material.
4. The effect of exterior wall materials shall be compatible with those used on all other buildings in the development. Examples of acceptable exterior wall materials are stucco, concrete, wood, glass, metals, and brick.

F. Colors

1. Building colors shall be harmonious and compatible with the colors of other buildings in the development and with the natural surroundings.
2. The general overall atmosphere of color shall be earth tones, which includes muted shades of gray and muted shades and medium to dark tones of burnt umber, raw umber, raw sienna, burnt sienna, Indian red, English red, yellow ochre, chrome green, and terra verts. Redwood, natural stone, brick, dark duranodic aluminum finishes, etc. shall be background colors. If painted surfaces are used, these shall be earth toned. Accent colors shall be used whenever necessary, but shall be subject to review by the Architectural Review Committee and approval of the City Planning Department.

G. Roof Projections and Design

1. All air conditioning units, ventilating equipment, other mechanical equipment and communications equipment shall be completely screened or enclosed with materials compatible with the building siding.
2. Projections shall be painted to match the roof or building.

#### H. Energy Conservation Standards

1. Purpose and Intent. The purpose of these energy conservation standards is to set forth cost-effective energy saving measures which shall be incorporated into building design at Stone Creek Center.
2. Standards:
  - a. Buildings shall be designed to meet current State and Federal energy requirements at the time of construction.
  - b. Landscaping shall be designed to shade structure, walks, streets, drives, and parking area so as to minimize surface heat gain and shall at a minimum comply with all current City of Sacramento standards.
  - c. Site design shall take into consideration thermal and glare impact of construction materials on adjacent structures, vegetation, and roadways.
  - d. Outdoor lighting should be designed to provide the minimum level of site lighting commensurate with site security.
  - e. Periodic energy-use audits shall be conducted by SMUD to identify wasteful consumption practices and opportunities for energy use reduction.

#### I. Temporary Structures

1. Temporary structures, including but not limited to trailers, mobile homes and other structures not affixed to the ground, are permitted only during construction and shall be removed promptly upon completion of the permanent building.
2. Such structures shall be as inconspicuous as possible and shall cause no inconvenience to the general public.

#### J. Loading Areas

Truck loading dock(s) shall be designed as an integral part of the structure(s) and whenever possible shall not be oriented to any public right-of-way. The intent is to assure that these facilities are located in the most inconspicuous manner possible and that they do not create a nuisance.

#### K. Outside Storage

1. No open-air storage of materials, supplies, equipment, mobile equipment, finished or semi-finished products or articles of any nature shall be allowed. Storage is to be inside structures.

L. Garbage Services/Trash Enclosures

1. These facilities shall not create a nuisance and shall be located in the most inconspicuous manner possible.
2. All exterior garbage and refuse facilities shall be concealed by a screening wall of a material similar to and compatible with the building(s) it serves.
3. Such facilities shall relate appropriately to the building(s) and shall not be obtrusive in any way or detract from the building design theme.

M. Utility Connections, Mechanical Equipment, and Communications Equipment

1. Mechanical and communications equipment, utility meters, and storage tanks shall not be visible.
2. If concealment within the building is not possible, then such utility elements shall be concealed by screen walls, which shall be appropriately landscaped.
3. All utility lines shall be underground.
4. All mechanical equipment shall be located so as not to cause nuisance or discomfort from noise, fumes, odors, etc.
5. Penthouse and mechanical and communications equipment screening shall be of a design and material similar to and compatible with those used in the related buildings.
6. Mechanical equipment shall not be located adjacent to residences.

N. Onsite Drainage

Each building site owner shall be required to provide adequate drainage facilities in accordance with City of Sacramento standards.

O. Exterior Fire Stairs

Unenclosed exterior fire stairs shall not be permitted.

P. Walkways and Courtyards

Walkway and courtyard materials shall be compatible with the exterior wall materials of adjacent buildings and with walk and path system standards of the FUD. Surfaces shall have a non-skid finish. Layout and design shall provide maximum comfort and safety to pedestrians.

VI. SIGN CRITERIA AND REGULATIONS

- A. The criteria will aid in eliminating excessive and confusing sign displays, preserve and enhance the appearance of the Stone Creek Center development, safeguard and enhance property values, and will encourage signage which by good design is integrated with and is harmonious to the buildings and sites that it occupies. These sign regulations are intended to complement the City of Sacramento Sign Ordinance No. 2868, Fourth Series. In all cases, the more restrictive requirements shall apply.
- B. General Requirements
1. A sign program shall be submitted with individual project special permit applications or to the City Planning staff if submitted subsequent to the City Planning Commission special permit hearing.
  2. In no case shall flashing, moving, or audible signs be permitted.
  3. In no case shall the wording of signs describe the products sold, prices, or any type of advertising except as part of the occupant's trade name or insignia.
  4. No signs shall be permitted on canopy roofs or building roofs.
  5. No sign or any portion thereof may project above the building or top of the wall upon which it is mounted.
  6. No exterior signs perpendicular to the face of the building shall be permitted.
  7. No exposed bulb signs are permitted.
- C. Design Requirements
1. The location of signs shall be only as shown on the approved special permit site plan.
  2. All electrical signs shall bear the UL label and their installation must comply with all local building and electrical codes.
  3. No exposed conduit, tubing, or raceways will be permitted.
  4. No exposed neon lighting shall be used on signs, symbols, or decorative elements.
  5. All conductors, transformers, and other equipment shall be concealed.
  6. All signs, fastenings, bolts, and clips shall be of hot dipped galvanized iron, stainless steel, aluminum, brass, or bronze, or black iron of any type will be permitted.

7. All exterior letters or signs exposed to the weather shall be mounted at least three fourths inch (3/4") from the building to permit proper dirt and water drainage.
8. Location of all openings for conduit and sleeves in sign panels of building shall be indicated by the sign contractor on drawings submitted to the Architectural Review Committee. Installation shall be in accordance with the approved drawings.
9. No signmakers' labels or other identification will be permitted on the exposed surface of signs, except those required by local ordinance which shall be located in an inconspicuous location.

D. Miscellaneous Requirements

1. Each occupant will be permitted to place upon each entrance to its premises not more than 144 square inches of lettering indicating hours of business, emergency telephone numbers, and proprietorship. No other window signs will be allowed.
2. Each occupant who has a non-consumer door for receiving merchandise may have uniformly applied on said door in a location as directed by the Architectural Review Committee in two-inch high block letters the occupant's name and address. Where more than one occupant uses the same door, each name and address shall be applied. Color of letters will be selected by the Architectural Review Committee.
3. Occupants may install street address numbers as the U.S. Post Office requires in the exact location stipulated by the Architectural Review Committee. Size, type, and color of the numbers shall be stipulated by the Architectural Review Committee.

E. Special Signing

1. Floor signs, such as inserts into terrazzo, special tile treatment, etc., will be permitted with the occupant's lease line or property line if approved by the Architectural Review Committee.
2. Informational and directional signs relating to pedestrian and vehicular flows within Stone Creek Center shall conform to the standards of the City of Sacramento Sign Ordinance.
3. One standard sign denoting the name of the project, the marketing agent, the contractor, architect, and engineer shall be permitted on the site upon the commencement of construction. Said sign shall be permitted until such a time as a final City inspection of the building(s) designate said structure(s) fit for occupancy or the tenant is occupying said building, whichever occurs first. These signs must be kept in good repair.

4. A sign advertising the sale or lease of the site or building shall be permitted, but shall not exceed a maximum area of six (6) square feet.

F. SC Shopping Center Zone

1. Shopping Center Identification Sign. One monument sign as defined by Section 3.250 of the City Sign Ordinance, not to exceed twelve feet in height and 48 square feet in area shall be allowed. The monument sign may be located in the setback area; however, it shall be located farther than ten feet from the public right-of-way and from any driveway.
2. Tenant Occupancy Signs
  - a. One attached sign indicating the name for each occupancy shall be allowed. The color of the face of each sign shall be in keeping with the overall color scheme of the development.
  - b. Sign area shall be determined by the lineal frontage of each individual shop as follows:
    - 1) Width of sign, including logo, shall not exceed 70 percent of the shop's width.
    - 2) Total vertical sign height shall not exceed 28" inches.
    - 3) Maximum letter height shall be limited to 24" inches.

VII. RESIDENTIAL DESIGN CRITERIA

Residential developers are required to meet with staff prior to preliminary review to discuss residential design criteria.

VIII. ISSUANCE OF BUILDING PERMITS

Except as otherwise provided in the Special Permit or in the Resolution, no building permit shall be issued for any building or structure in a Planned Unit Development Project or a land area covered by a Planned Unit Development Designation until the plans submitted for the building permit have been reviewed by the Planning Director and he has determined that said plans conform to a valid special permit issued for a Planned Unit Development under this Section.

IX. BUILDING OCCUPANCY

In accordance with Section 8 of the Zoning Ordinance, "no building or structure unit within a Planned Unit Development may be occupied until an inspection of the project has been made by the Planning Director to see that all conditions of the special permit have been complied with".

# EXHIBIT A

72 Derow Court  
Sacramento, California 95833  
May 1, 1989

Sacramento City Planning and Development Department  
1231 I Street  
Sacramento, California 95814-2998  
ATTN: Price Walker

Ref: Stone Creek Center(P-89021)

Gentlemen:

The Discovery Village Homeowners Association, consisting of 67 homeowners, has major objections as to the design and use of the proposed Stone Creek Development, which is to be situated at the intersection of Truxel and West El Camino Avenues.

Even a cursory review of the development's specifications raises difficulties for all of our homeowners.

First, the restaurants, gas station, and additional traffic will create odors and vapors in great abundance. Since we are located so close to these businesses, the prevailing south, southwest winds will carry any stench or even dangerous chemical vapors immediately into Discovery Village. The cooking odors, which can be significant, from the Bel Air supermarket and Jaspers restaurant which are even farther away, routinely now come into Discovery Village.

Second, the dirt, dust, and noise from these proposed businesses will be immediately felt by our homeowners and cause devaluation of our properties.

Third, the proposed fence, which is too low, separating Discovery Village from the development, and the 'setback' land separating us from the development, are grossly inadequate. We are being placed, in effect, directly in the development.

Fourth, the traffic problems already obvious at this intersection(Truxel and West El Camino) will be greatly multiplied. The proposed businesses are particularly shortsighted for a congested, even unsafe intersection such as this one. Poor entrance and exits are depicted on the plans.

We have other objections and the foregoing are meant only to demonstrate our opposition to the development as presently proposed. We intend, in the very near future, to be more specific regarding this project.

page two

Sincerely,



Jean Perry  
President  
Discovery Village Homeowners Association

cc: Jim Beard  
Holly Keeler



City of Sacramento  
Planning and Development Dep't  
1231 I St., Room 200  
Sacramento CA 95814

5/10/89  
26 Derow Ct  
Sacramento 95833 OF SACRAMENTO  
CITY PLANNING DIVISION

RE: P 89-021  
Proposed Stone Creek Center

MAY 11 1989

Sirs

RECEIVED

I want to express my strong opposition to the proposed rezoning of the Northeast corner of Truxel and West El Camino. My wife and I have been residents of Discovery Village since 1981 when the land around Discovery Village was zoned for single family residences. We were prepared for eventual development around us in accordance with existing zoning. Then came the Pheasant Creek development with its high density multi-family housing. Instead of having residential back yards for neighbors, we wound up with a noisy driveway, parking area and clanging dumpster lid within 30 feet of our bedroom.

This proposed change in zoning will have a further lessening of the enjoyment of our home. The land in question is upwind from Discovery Village and noises and smells that no wall can stop will be carried right into our area. We residents have an opportunity for input into the zoning question; but once that decision is made, there is no way to effectively protest the noises from an all-night convenience market or the grease and garbage smells of food preparation establishments, or, even worse, the smells of gasoline and oil vapors from a service station.

As an individual citizen preoccupied with professional and personal matters, I am ill-equipped to deal with an industry that is based on imposing changes in the living environments of others. At the time of the Pheasant Creek development, questions were raised before the Planning Commission about traffic and parking. These were brushed aside by proponents of that project; now we have traffic dangerously backed up onto I-5. We expressed concerns about elements of the Pheasant Creek project and told we would be consulted on them; we were presented with plans after the fact and told it was none of our business. Now we are expressing grave concerns about noises and smells coming from the direction of prevailing winds. I am frustrated and angry about the inability to have effective input over matters that have great impact on our most basic living conditions and urge rejection of the proposed zoning change.

Sincerely



Jon M. Peterson

P89-021

# 8

Carrie owen, 49 Denow Court  
Gloria kast, Sac., Ca. 95833

City of Sacramento  
Department of Planning and Development  
1231 I Street, Room 200  
Sacramento, Ca. 95814-2998

Re: Rezoning from R-LA to Shopping Center P 89-021

I am a property owner at 49 Denow Court immediately adjacent to the rezoning site.

I am very angry about the rezoning. We need another shopping center like we need another hole in our heads. We are already confronted by noise and pollution from the Bel Air Shopping Center directly across W. El Camino and Truxell

The Natomas area already is congested. It is also dreadful to think that people now living in a very low-lying area which holds the fumes and gases from the other shopping center are to be subjected to worse breathing conditions.

Shopping Centers do not plant trees or shrubs to absorb pollution. Natomas and this area needs a cultural center, a library, a performing arts center--a building which would add beauty and class to a compacted area.

Rezoned to a shopping center. No.

Shopping Centers are never regulated by what kind of a store may lease the footage. I say "no" because of the environmental conditions and I say "no" because there are no regulations of the types of businesses allowed in an area that is already concerned about the rising crime rate. Please let us sleep in peace so we can be better citizens tomorrow.

I also hereby request a postponement of this hearing as we were given less than a two week notice to prepare a very important response in our future living conditions.

Signature, Gloria E. Kast



CITY OF SACRAMENTO  
CITY PLANNING DIVISION

MAY 09 1969

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P89-021

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