

CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	WONG AND ASSOCIATES, 1211 H Street, Suite #F, Sacramento, CA 95814		
OWNER	James W. Burpo, 960 Fulton Avenue, Sacramento, CA 95825		
PLANS BY	Allright Planning Division, 1919 Smith, Suite 1200, Houston, TX 77002		
FILING DATE	7/24/87	ENVIR. DET.	Ex. 15303 e
		REPORT BY	CS/vs
ASSESSOR'S-PCL. NO.	002-161-005,006,021		

- APPLICATION:**
- A. Special Permit to develop a parking lot in the R-3A zone.
 - B. Lot Line Adjustment to merge three lots.

LOCATION: Southwest corner of F and 13th Streets.

PROPOSAL: The applicant is requesting the necessary entitlements to develop a 71 space non-attended public parking lot in the Multiple Family Residential (R-3A) zone.

PROJECT INFORMATION:

1980 Central City Community Plan Designation:	Multiple Family Residential
Existing Zoning of Site:	R-3A
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Residential (2 to 6 units); R-3A Front:		5'	4'
South: Single-Family, 2F, vacant; R-3A Side(Int):		5'	0'
East : Residential (2 to 4 units); R-3A Side (St):		5'	5'
West : Single-Family, Auto Repair; R-3A Rear:		6'	0'

Parking Provided:	71 spaces
Property Dimensions:	160' x 160'
Property Area:	.58+ acres
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

PROJECT EVALUATION: Staff has the following comments regarding this proposal:

A. Land Use and Zoning

The subject site consists of .58+ acres in the Multiple Family Residential (R-3A) zone. The site has been vacant since structures were demolished in 1986. The previous use was the La Raza Bookstore, Performing Arts Center and residential units on upper levels. The site is often used illegally for parking. Surrounding land uses include single-family residential and auto repair to the east, single-family, two-family and a vacant lot to the south (across the alley), two two-family, a three family and four family residential to the east and three four-family and a six family residential uses to the north. The site is designated for residential in the 1974 General Plan and Residential in the Alkali Flat Redevelopment Plan. The site is also located in the Washington District Preservatin Area. Several Priority structures are located nearby along F and 13th Streets.

B. Applicant's Proposal

The applicant is proposing to merge three lots in order to construct a 71 space parking lot. Access is proposed from the alley and F Street. Thirty percent of the 71 stalls will be compact. The site plan indicates that 30 stalls are proposed at 90 degree angles and of the remaining 41 stalls three will utilize parallel parking and 38 stall will be at a 60 degree angle. A six foot high masonry wall is provided along the west property line to buffer the parking lot from adjacent residential use.

Staff has concerns over the use of a parking lot in this location. The proposed project is located in the Alkali Flat Redevelopment area and is not in conformance with the Alkali Flat Redevelopment Plan. The plan indicates that no parking shall be permitted in the residential land use areas unless used wholly for residential purposes, (see SHRA comment section).

Staff does not support the proposed parking lot in this location as it is incompatible with several existing structures along F and 13th Street that are architecturally, historically, and culturally significant. The area along F Street between 12th and 16th is considered to have the finest row of high basement buildings, with a diversity of architectural styles in the City. Therefore, preserving the streetscape in this area is vitally important. The design guidelines of the City Preservation Area Plan indicates that new construction within a Preservation Area should be compatible with and even enhance the character of the individual area. Staff finds that a residential development made to resemble single-family homes would be the most appropriate use of the subject site. This concept is utilized along F Street by apartment complexes. The best example is at 1221-1223 F Street by apartment just north of the proposed project. Under R-3A zoning a maximum of 21 units could be accommodated on site.

In reference to parking areas adjacent to public streets, the Preservation Area Plan indicated that parking be screened from street view with earth berms, shrubs, fences or walls. These types of amenities are not provided, therefore, the project does not meet Preservation Area Plan design criteria.

The site plan is inconsistent with several Zoning Ordinance requirements. These inconsistencies are listed below:

- a. A six foot setback is required along the alley and a five foot setback from the west property line.
- b. The Zoning Ordinance does not allow for the three parallel parking spaces. The 60 degree compact spaces must have an 18 foot depth verses 16 feet.
- c. All trees must be shown contained within a planter.
- d. Landscape planters must be a minimum of six feet wide in order to utilize the two foot parking overhang.

- C. The proposal has been reviewed by the Sacramento Housing and Redevelopment Agency, the Alkali Flat PAC, Engineering, Traffic Engineering, and Real Estate. The following comments were received.

SHRA

The SHRA recommends denial of the special permit as it is inconsistent with Section IV.B.b (408) of the Alkali Flat Redevelopment Plan. This section cites that "No parking for purposes other than wholly residential shall be permitted in the residential land use area."

Alkali Flat PAC:

At their August 5, 1987 regular business meeting the PAC adopted a motion recommending that the Special Permit be denied in accordance with the provisions of the Redevelopment Plan by a unanimous vote.

Traffic Engineering

- a. Do not allow driveway access from F Street. Use the alley for all access.
- b. Replace any curb, gutters, or sidewalks in need of repair.

Engineering

- a. Construct handicap ramps at 13th and F Streets.
- b. Provide plans for grading and drainage.
- c. Remove the existing driveway on 13th Street.
- d. Pavement to be two inch concrete on four inch aggregate base rock.

Real Estate

No problem with lot line merger.

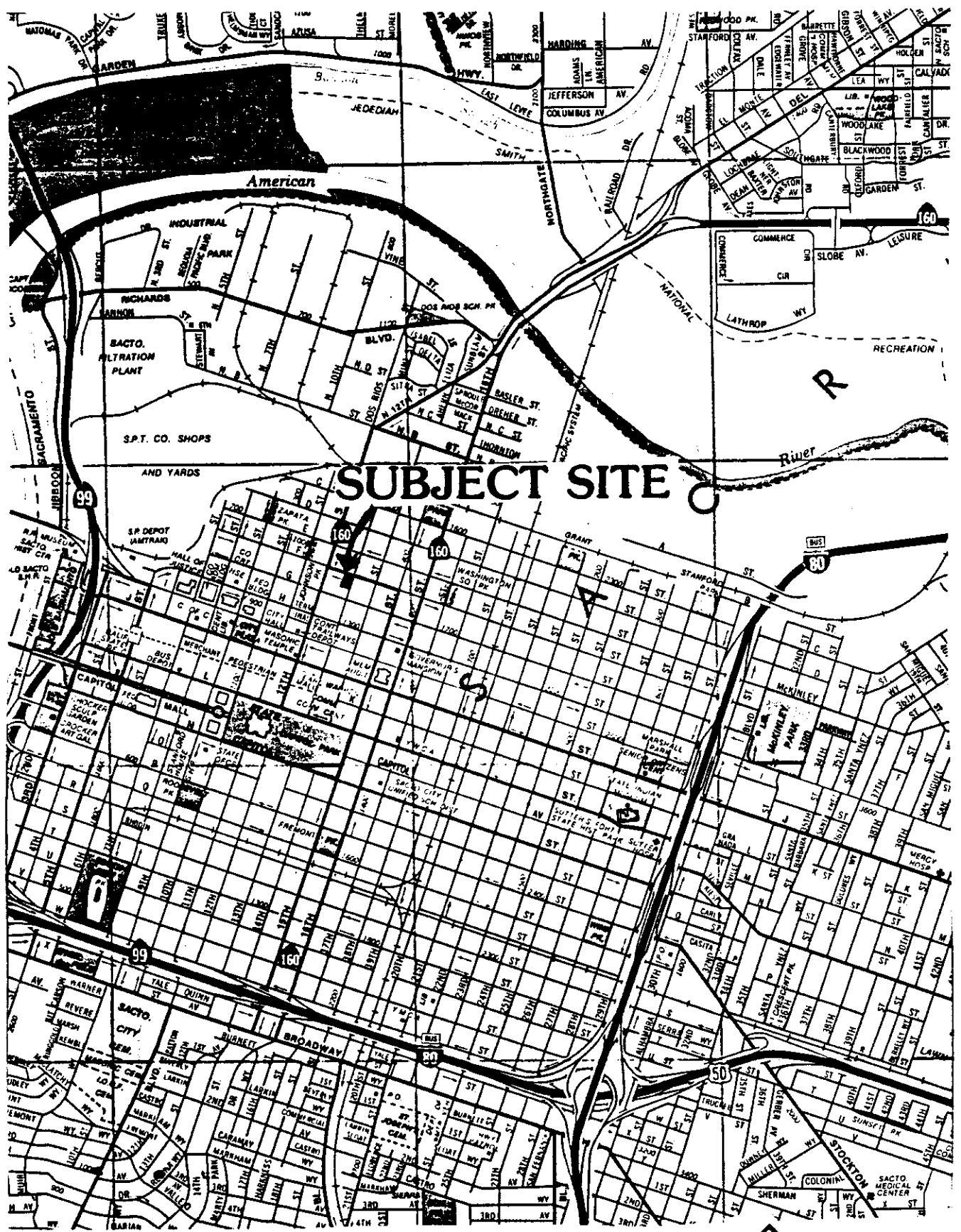
ENVIRONMENTAL DETERMINATION: The project is exempt from environmental review pursuant to the State EIR Guidelines (CEQA Section 15503 e).

RECOMMENDATION: Staff recommends the following actions:

- A. Deny the Special Permit based upon the findings of fact which follow;
- B. Recommend denial of the lot line merger.

Findings of Fact

1. The project, as proposed, is not based upon sound principles of land use in that:
 - a. Several aspects of the site plan are inconsistent with zoning. Ordinance requirements, including interior side and rear (alley) setbacks.
 - b. The proposed site plan does not meet design criteria for parking areas as specified in the City Preservation Area Plan.
 - c. The proposed project will disrupt the consistent residential character of the 13th and F streetscapes.
2. The proposed project will result in the creation of a nuisance to surrounding properties in that the project use is incompatible with surrounding residential land use and does not enhance the protection of several priority structures along F and 13th Street as well as other nearby properties.
3. The proposed project is inconsistent with the City's Discretionary Interim Land Use Policy, in that the site is designated for residential use by the 1984 Alkali Flat Redevelopment Plan and the proposed parking lot does not conform to the plans designation.



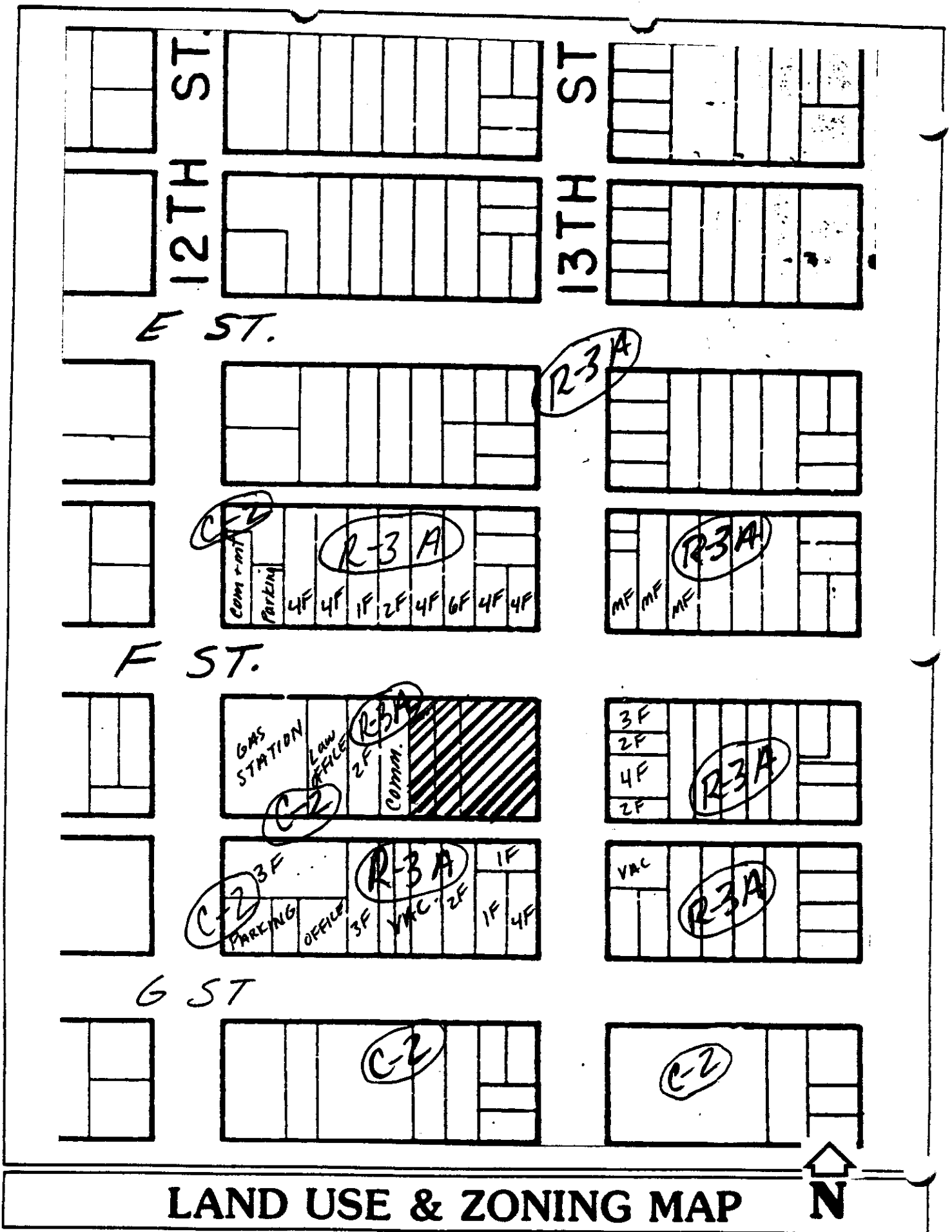
VICINITY MAP



P87-334

AUG. 27, 1987

Item 18



LAND USE & ZONING MAP



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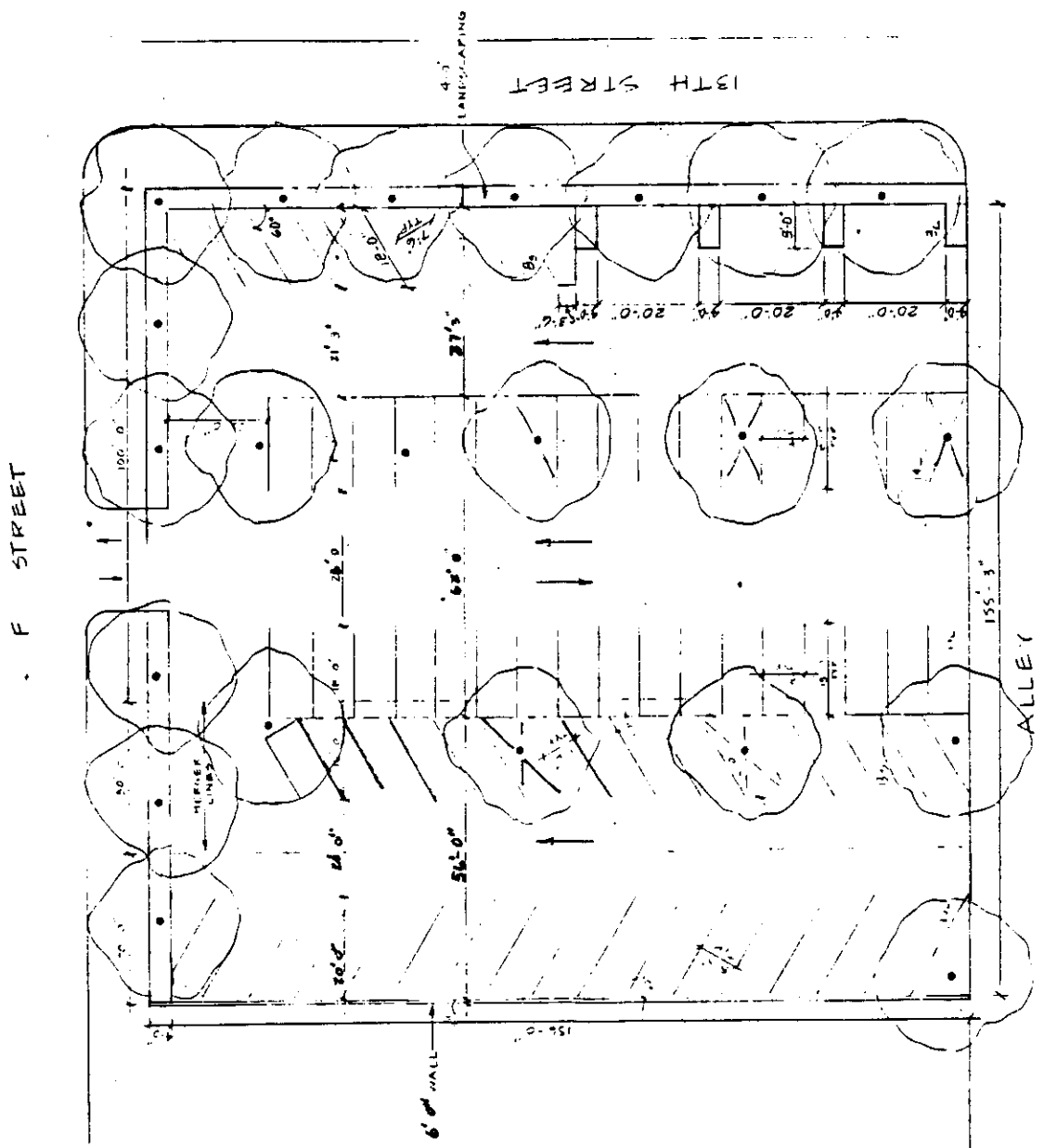
BURPO LOT
 SACRAMENTO, CA

REVISIONS		JOB N
NO	DATE	
1	8-4-87	283 B
		SCALE: 1" = 16'-0"
		DATE: 6-25-87
		DRAWN: DLY
		CHK'D:

EXHIBIT A
SITE PLAN

CAR CAPACITY
 50 LARGE
 21 SMALL (30%)
 71 TOTAL

NOTE: 21 TREES @ 30" O.D. DIAMETER PROVIDES FOR 12,000 SF OF SHADING OR AREA OF 2,500 SF (50%)

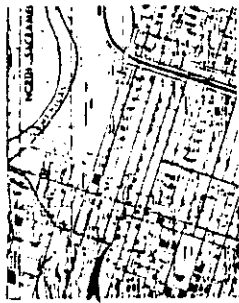


P87-334

Aug 27, 1987

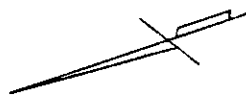
Item 18

SITE PLAN
 SCALE 1" = 16'-0"



VICINITY MAP

EXHIBIT B



OWNER: LOMI L. WONG
1201 S. GARDEN
SACRAMENTO, CA 95811

DEVELOPER: WATSON DEVELOPMENT
1015 S. STREET
SACRAMENTO, CA 95811

ENGINEER: WONG & ASSOCIATES
1015 S. STREET
SACRAMENTO, CA 95811
916-442-1887

APN: 002-0161-006, 007, 011

CURRENT ZONING: R1A

CURRENT USE: RESIDENT

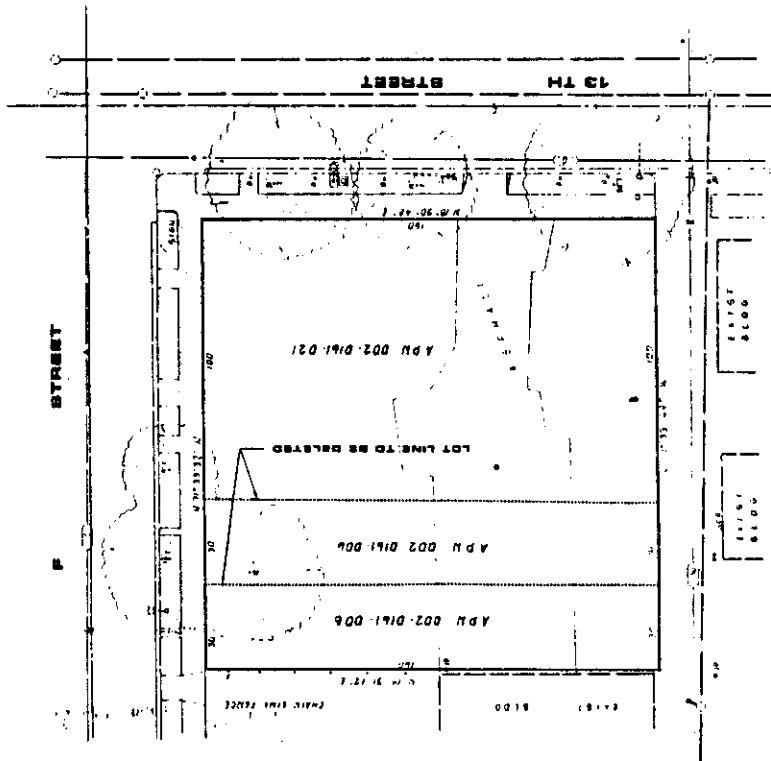
PROPOSED USE: PARKING FACILITY

LEGAL DESCRIPTION

ALL THAT REAL PROPERTY SITUATE IN THE CITY OF SACRAMENTO, COUNTY OF SACRAMENTO, STATE OF CALIFORNIA, SITS AND IS IN THE BLOCK BOUNDARY BY JOHN AND ELLEN J. AND G. STEPHEN, ACCORDING TO HIS OFFICIAL MAP OF THE CITY OF SACRAMENTO.

LEGEND

- STORM DRAIN LINE
- SHALLLOW TRENCH LIGHT
- SHALLOW CLEAR WAY
- WATER LINE
- WATER VALVE
- FIRE HYDRANT
- GAS LINE
- JOINT POWER POLE
- STREET LIGHT
- PARKING METEOR
- CONCRETE PAVING



Lot Lines to be merged

PF7-334

Aug. 22, 1987

Item 4

<p>WONG & ASSOCIATES ARCHITECTURE • ENGINEERING • LAND PLANNING 1015 S. STREET, STE. 7 • SACRAMENTO, CALIFORNIA 95811</p>		<p>PROJECT NO. 245-11207-002-1332</p>
<p>DATE: 8/22/87</p>	<p>SCALE: 1" = 20'</p>	<p>APN: 002-0161-006, 007, 011</p>
<p>LOT LINE MERGER EXHIBIT</p>	<p>APU 002-0161-006, 007, 011</p>	<p>DATE: 8/22/87</p>