

CITY OF SACRAMENTO

Permit No: 9712988

1231 I Street, Sacramento, CA 95814

Insp Area: 1

Site Address: 1102 Q ST SAC

Sub-Type: NCOM

Parcel No: 0060276001

FOUNDATION ON SEPARATE PERMIT 9712929

Housing (Y/N):

N

CONTRACTOR

J.P. ROBERTS CORP
715 GREEN BARK LN. #5210
SACRAMENTO CA 95814
Phone: (916) 424-5500

OWNER

WATKINS RONALD E
2829 WATT AVE #200
SACRAMENTO CA
Phone: 916-488-0300

ARCHITECT

SPINK CORP / LOUIS VIANI
2590 Venture Oaks Wy
Sacramento Ca 95833
Phone: 916-925-5550

Nature of Work: NEW BUILDING [VALUATION REDUCED \$2,000,000 FOR PRIOR FOUNDATION PERMIT

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class: AB/AB License Number: 37691 Date: 3/20/98 Contractor Signature: Brian Maloney

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

Date: 3/20/98 Applicant/Agent Signature: Brian Maloney

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: REPUBLIC INDEMNITY Policy Number: 0098906

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: 3/20/98 Applicant Signature: Brian Maloney

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.



May 20, 1999

RC
5/20/99
10:58 AM
RECEIVED
MAY 24 1999
SACRAMENTO
BUILDING DIVISION

City of Sacramento
Development Services Division
1231 I Street, Room 200

Attn: Dennis Richardson, Chief Building Official

Re: Douglas R. Watkins Building
1102 Q Street
Sacramento, CA 95814

Permit # 9712988C (Shell)
" # 9812432C (C.C. T.I.'s)
" # 9902163C (R.E.S.D. T.I.'s)

Dear Mr. Richardson:

We request that a Temporary Certificate of Occupancy be issued at the above noted business location to be in effect on June 7, 1999 and expire at 12:00 p.m. on August 5, 1999 for the purpose of moving in personnel of the State of California Community Colleges and Real Estate Services Division.

The portion of the building to be occupied is all of the Shell except for the Retail Area G5 and G13 at the Ground Floor. The four office level floors with Tenant Improvements are to be occupied as follows:

- 3rd Floor (complete = Community Colleges) ----- June 7, 1999
- 4th Floor (partial = Community Colleges portion only) ----- June 7, 1999
- 6th Floor (complete = Real Estate Services Division) ----- June 25, 1999
- 4th Floor (remainder = Real Estate Services Division) ----- July 10, 1999
- 5th Floor (complete = Real Estate Services Division) ----- July 17, 1999

We acknowledge that only the following list of items will not be completed at the time of Temporary C of O.

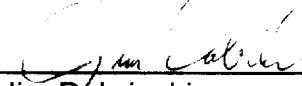
ITEMS TO BE COMPLETED:

1. Electrical connections of modular systems furniture power poles at the Real Estate Services Division areas (i.e. partial 4th floor, and 5th & 6th floors).
2. Move in and set-up of modular systems furniture in Real Estate Services Division areas (i.e. partial 4th floor, and 5th & 6th floors).


3. Louvered window blinds at the Real Estate Services Division areas (i.e. partial 4th floor, and 5th & 6th floors).
4. Color staining of site concrete walks and slabs.
5. Signage at Community Colleges and Real Estate Services Division areas (i.e. partial 4th floor, and 5th & 6th floors), except Title 24 signage and evacuation maps.
6. Vinyl wall covering at lobby areas @ all floors.
7. Installation of sinks @ ground floor toilet rooms G14 & G15.
8. Finish hardware at Real Estate Services Division areas (i.e. partial 4th floor, and 5th & 6th floors), except @ main exiting corridors.
10. Decorative painting @ Main Lobby G1.
11. Communications cabling installation at Real Estate Services Division areas (i.e. partial 4th floor, and 5th & 6th floors).

Prior to the expiration of the Temporary Certificate of Occupancy, we will schedule inspections to insure that all issues as stated in the above list are resolved to the full satisfaction of both the Development Services Division and Fire Department. It is hereby acknowledged that upon the expiration of the Temporary Certificate of Occupancy, if a permanent Certificate of Occupancy has not been obtained, the continued occupancy of the subject premises shall constitute a violation of applicable Building, Housing and Dangerous Building Codes, subject to criminal sanctions, civil penalties, and/or administrative penalties pursuant to such Codes.

The undersigned certify under penalty of perjury under the laws of the State of California that the foregoing is true and correct.



Jim Dobrinski
Project Coordinator
Kidose, LLC (The Watkins Company)
Ph: (916) 488-0300 Fx: (916) 488-0344



Gary L. Ordway
Project Manager
J.R. Roberts Corp.
Ph: (916) 729-5600 Fx: (916) 729-5666

cc: Jim Dobrinski
Jim Reilly

CITY OF SACRAMENTO
90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY
 For Information Contact (916) 264-7619

Building Address 1102 Q Street 97-12929, 97-12988

Building Use Office DBA: Douglas Watkins Bldg. 98-05268, 98-06434

Building Owner The Watkins Company Occupancy B 98-12432, 99-02163

Owner Address _____ Construction Type IT FR

Portion of Building Occupied _____ Sprinkled Yes () No

Area 254679 Sq. Ft.

Date Issued 06/04/99 Expiration Date 08/07/99

[Signature]
 Sign

~~XXXXXXXXXXXXXXXXXXXX~~
BOENNE, P.E.

~~XXXXXXXXXXXXXXXXXXXX~~
 City Building Official

~~XXXXXXXXXXXXXXXXXXXX~~
 CBC 109.4 TEMPORARY CERTIFICATE

If the Chief Building Official finds that no substantial hazard will result from occupancy of any building or portion thereof before the same is completed, a temporary Certificate of Occupancy may be issued for the use of a portion or portions of a building or structure prior to the completion for the entire building or structure.

POST IN A CONSPICUOUS PLACE

NOTE DO NOT COVER OR CONCEAL ANY BUILDING, ELECTRICAL, PLUMBING OR MECHANICAL WORK WITHOUT INSPECTOR'S SIGNATURE IN PROPER PLACE.

INSPECTION	INSPECTOR	DATE
B10 FOUNDATION FORMS		
ESUB111 UFEER GROUND		
B12 CONCRETE SLAB FORMS		
P40 PLUMB. UNDERFLOOR/SLAB		
M30 MECH/UNDERFLOOR/SLAB		
E61 ELECT. UNDERGROUND		
E62 ELECT. CONDUIT-SLAB		
DO NOT COVER UNTIL INSTALLATION ABOVE HAS BEEN SIGNED		
B13 FLOOR JOISTS OR GIRDERS		
DO NOT INSTALL SUB FLOOR UNTIL ABOVE HAS BEEN SIGNED		
B1415 INSULATION/WALL/FLOOR		
P41 TOP PLUMBING		
M31 TOP MECHANICAL/WALL/CELL		
E63 ROUGH ELECTRICAL/WALL/CELL		
B19 FRAME		
B17 ROOF PLYWOOD NAIL COMM. & APTS.		
B18 EXTERIOR LATH/SIDING		
DO NOT COVER UNTIL INSTALLATION ABOVE HAS BEEN SIGNED		
B22 INT. LATH OR WALL BD. NAILING		
DO NOT TAPE PLASTER OR TOP UNTIL ABOVE HAS BEEN SIGNED		
E66 SEWER SERVICE UNDERGRD CONDUIT		
P43 SEWER SERVICE		
P42 WATER SERVICE		
P46 SPRINKLER SYSTEM		
DO NOT COVER UNTIL INSTALLATION ABOVE HAS BEEN SIGNED		
P47M38 GAS TEST		
P48 TEMP GAS ISSUED		
E68 POWER POLE		
E67 TEMP. POWER #		
SWIMMING POOLS ONLY		
P47 GAS TEST		
P51 PLUMBING PRE-GUNITE		
P52 PLUMBING PRE-DECK		
E70 ELECTRICAL PRE-GUNITE		
E71 ELECTRICAL PRE-DECK		
E72 ELECTRICAL UNDERGRD		
DO NOT COVER UNTIL INSTALLATION ABOVE HAS BEEN SIGNED		
ENERGY COMPLIANCE CERTIFICATE TO BE ON FILE PRIOR TO FINAL APPROVAL.		
DATE: _____ SIGNED: _____		
FINAL APPROVALS		
B29 BUILDING	FINAL INSP. NO.	
E79 ELECTRICAL		
P59 PLUMBING	5-6-99	
M39 MECHANICAL		

DO NOT OCCUPY BUILDING UNTIL ALL OF THE ABOVE HAVE BEEN SIGNED AND CERTIFICATE OF OCCUPANCY ISSUED

THIS CARD TO BE POSTED ON JOB AT ALL TIMES UNTIL FINAL APPROVAL

BUILDING SITE ADDRESS

1102 Q St.

1C

ASSESSOR PARCEL NO. 006-0276-001 - thru 008 & 022

COMMUNITY PLAN NO. 5517CL

NAME OF APPLICANT

ADDRESS

ZIP CODE

PHONE NO.

PROPERTY OWNER

2829 Watt Ave. #200 Sacramento, CA

ARCH. ENGR.

2590 Venture Oaks Way Sacramento, CA

Spink Corporation

Sacramento, CA

95833NO

(916)925-5550

NO. OF STORIES NO. OF ROOMS

ROOF COVERING AREA 1ST FLOOR TOTAL AREA

GARAGE AREA

PATIO AREA

USE ZONE

STREET WIDTH

THIS PERMIT IS FOR:

BUILDING MECHANICAL PLUMBING ELECTRICAL GRASS SITE FIRE

FIRE

NATURE OF WORK IN DETAIL

New 6 story office building

FLOOD STATUS (A99 waiver attached) SPECIAL CONDITIONS ATTACHMENTS: ref. P94-107, DR96-288 FRI SPI, SCU, CRP

CITY OF SACRAMENTO BUILDING INSPECTION DIVISION PERMIT SERVICES 264-7619

VALUATION \$4,891,577.00

WORKER'S COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____
Policy Number _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: _____ Applicant: _____ (Signature)

WARNING: FAIL TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEES.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS.

TOTAL FEES \$

8

REG SEWER FEE \$

9

CITY SEWER DEV. FEE \$

2

WATER DEV. FEE \$

1

TECH. FEE \$

97

S.M.L. FEE \$

97

CONST. EXCISE TAX \$

97

CITY BUS LICENSE \$

97

PLAN CHECK/PROC. FEE \$

97

BUILDING PERMIT FEE \$

97

ISSUED BY: _____

2/9/98

DATE ISSUED

97

CONSTR. TYPE

11FR

FIRE SP.

97

FED CODE

97

PERMIT NO.

97

RESIDENTIAL CONST. TAX \$

97

SEWER FEE \$

97

DEV. FEE \$

97

WATER DEV. FEE \$

97

CITY SEWER DEV. FEE \$

97

REG SEWER FEE \$

97

SEWER FEE \$

97

RESIDENTIAL CONST. TAX \$

97

4112.VLB
126.13

INSPECTION REQUIRED PRIOR TO SIGNOFF

NOTE: DO NOT COVER OR CONCEAL ANY BUILDING, ELECTRICAL, PLUMBING OR MECHANICAL WORK WITHOUT INSPECTOR'S SIGNATURE IN PROPER PLACE.

INSPECTION FORMS	INSPECTOR	DATE
B10 FOUNDATION FORMS		
E60/B11 UFER GROUND		
B12 CONCRETE SLAB FORMS		
P40 PLUMB UNDERFLOOR/SLAB		
M30 MECH/UNDERFLOOR/SLAB		
E61 ELECT UNDERGROUND		
E62 ELECT CONDUIT-SLAB		
DO NOT COVER UNTIL INSTALLATION ABOVE HAS BEEN SIGNED		
B13 FLOOR JOISTS OR GIRDERS		
DO NOT INSTALL SUB FLOOR UNTIL ABOVE HAS BEEN SIGNED		
B14/S INSULATION/WALL/FLOOR		
P41 TOP PLUMBING		
M31 TOP MECHANICAL/WALL/CELL		
E63 ROUGH ELECTRICAL/WALL/CELL		
B19 FRAME		
B17 ROOF PLYWOOD NAFL COMM & APTS		
B18 EXTERIOR LATH/SIDING		
DO NOT COVER UNTIL INSTALLATION ABOVE HAS BEEN SIGNED		
B22 INT LATH OR WALL BD. NAILING		
DO NOT TAPE PLASTER OR TOP UNTIL ABOVE HAS BEEN SIGNED		
E66 SEWER SERVICE UNDERGRD CONDUIT		
P43 SEWER SERVICE		
P42 WATER SERVICE		
P46 SPRINKLER SYSTEM		
DO NOT COVER UNTIL INSTALLATION ABOVE HAS BEEN SIGNED		
P47M33 GAS TEST		
P48 TEMP GAS ISSUED		
E66 POWER POLE		
E67 TEMP POWER # 29801c	J. McDonald	1-8-98
SWIMMING POOLS ONLY		
P47 GAS TEST		
P51 PLUMBING PRE-GUNITE		
P52 PLUMBING PRE-DECK		
E70 ELECTRICAL PRE-GUNITE		
E71 ELECTRICAL PRE-DECK		
E72 ELECTRICAL UNDERGRD		
DO NOT COVER UNTIL INSTALLATION ABOVE HAS BEEN SIGNED		
ENERGY COMPLIANCE CERTIFICATE TO BE ON FILE PRIOR TO FINAL APPROVAL.		
DATE: _____ SIGNED: _____		
FINAL APPROVALS		
B29 BUILDING	FINAL INSP. NO.	
E79 ELECTRICAL	7-9-98	J. McDonald
P59 PLUMBING		
M39 MECHANICAL		

11/11, 11/21, 11/3, 11/6, 11/26, 11/30

DO NOT OCCUPY BUILDING UNTIL ALL OF THE ABOVE HAVE BEEN SIGNED AND CERTIFICATE OF OCCUPANCY ISSUED

THIS CARD TO BE POSTED ON JOB AT ALL TIMES UNTIL FINAL APPROVAL.

BUILDING SITE ADDRESS: 1102 Q St. PERMIT AREA: 1C PLAN CHECK NO. 5517CL

ASSESSOR PARCEL NO. 006-0276-001 - thru 008 & 022 COMMUNITY PLAN NO. 5517CL

NAME OF APPLICANT: Spink Corporation ADDRESS: 2829 Watt Ave, #200 Sacramento, CA

LICENSED CONTRACTOR: ARCH ENGR. MATKINS 2590 Ventura Oaks Way Sacramento, CA

PROPERTY OWNER: Spink Corporation 2829 Watt Ave, #200 Sacramento, CA

NO. OF STORIES: 6 NO. OF ROOMS: 60 ROOF COVERING AREA: 1ST FLOOR TOTAL AREA: 95833 SQ FT GARAGE AREA: PATIO AREA: USE ZONE: (916) 925-5550

THIS PERMIT IS FOR: BUILDING MECHANICAL PLUMBING ELECTRICAL SITE FIRE

NATURE OF WORK IN DETAIL: New 6 story office building

FLOOD STATUS: (A99 waiver attached) SPECIAL CONDITIONS ATTACHMENTS: 994-107, DR96-298-FRI SPI, SCU, CRP

CITY OF SACRAMENTO PERMIT SERVICES BLDG INSPECTION DIVISION 264-7619 VALUATION \$4,891,577.00

ISSUED BY: DATE ISSUED: 2/9/98

WORKERS COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____ Policy Number: _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: _____ Applicant: _____ (Signature)

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION. DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEES.

DATE ISSUED	2/9/98	FED CODE	
BUILDING PERMIT FEE	\$	PERMIT NO.	97
PLAN CHECK/PROC. FEE	\$		
S.M.I. FEE	\$		
CONST. EXCISE TAX	\$		
CITY BUS LICENSE	\$		
TECH. FEE	\$		
WATER DEV. FEE	\$		
CITY SEWER DEV. FEE	\$		
REG. SEWER FEE	\$		
RESIDENTIAL CONST. TAX	\$		
TOTAL FEES	\$		

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK AUTHORIZED IS NOT COMPLETED WITHIN 180 DAYS.

HOUSING/DANGEROUS BLDG: 264-5404

INSPECTION REQ'D PRIOR TO SIGNOFF

NOTE DO NOT COVER OR CONCEAL ANY BUILDING, ELECTRICAL PLUMBING OR MECHANICAL WORK WITHOUT INSPECTOR'S SIGNATURE IN PROPER PLACE.

INSPECTION	INSPECTOR	DATE
B10 FOUNDATION FORMS		
E60/B11 UFER GROUND		
B12 CONCRETE SLAB FORMS		
P40 PLUMB. UNDERFLOOR/SLAB		
M30 MECH. UNDERFLOOR/SLAB		
E61 ELECT. UNDERGROUND		
E62 ELECT. CONDUIT-SLAB		
DO NOT COVER UNTIL INSTALLATION ABOVE HAS BEEN SIGNED		
DO NOT INSTALL SUB FLOOR UNTIL ABOVE HAS BEEN SIGNED		
B13 FLOOR JOISTS OR GIRDERS		
B14/15 INSULATION/WALL/FLOOR		
P41 TOP PLUMBING		
M31 TOP MECHANICAL/WALL/CEIL.		
E63 ROUGH ELECTRICAL/WALL/CEIL.		
B19 FRAME		
B17 ROOF PLYWOOD NAIL, COMM. & APTS.		
B18 EXTERIOR LATH/SIDING		
DO NOT COVER UNTIL INSTALLATION ABOVE HAS BEEN SIGNED		
B22 INT. LATH OR WALL BD. NAILING		
DO NOT TAPE PLASTER OR TOP UNTIL ABOVE HAS BEEN SIGNED		
E66 SEWER SERVICE		
P43 WATER SERVICE		
E65 SPRINKLER SYSTEM		
DO NOT COVER UNTIL INSTALLATION ABOVE HAS BEEN SIGNED		
E67 GAS TEST		
E68 TEMP GAS		
E69 POWER POLE		
E70 TEMP POWER #		
SWIMMING POOLS ONLY		
E71 GAS TEST		
P51 PLUMBING PRE-GUNITE		
P52 PLUMBING PRE-DECK		
E70 ELECTRICAL PRE-GUNITE		
E71 ELECTRICAL PRE-DECK		
E72 ELECTRICAL UNDERGRD		
DO NOT COVER UNTIL INSTALLATION ABOVE HAS BEEN SIGNED		
ENERGY COMPLIANCE CERTIFICATE TO BE ON FILE PRIOR TO FINAL APPROVAL.		
DATE: _____ SIGNED: _____		
FINAL APPROVALS		
B29 BUILDING	FINAL INSP. NO.	
E79 ELECTRICAL		
P59 PLUMBING		
M39 MECHANICAL		

Handwritten notes: 11/12, 11/3, 11/26, 1/30

DO NOT OCCUPY BUILDING UNTIL ALL OF THE ABOVE PERMITS HAVE BEEN POSTED ON JOB SITE AT ISSUANCE

BUILDING SITE ADDRESS

1102 Q St.
Sacramento, CA 95811

ASSESSOR PARCEL NO.

018-075-001

COMMUNITY PLAN NO.

2625

LICENSED CONTRACTOR

2625 Watt Ave. #200
Sacramento, CA
2500 Jennifer Jaks Way

ZIP CODE

95822

PROPERTY OWNER

Atkins

PHONE NO.

916-423-5200

NO. OF STORIES

1

NO. OF FLOORS

1

THIS PERMIT IS FOR:

BUILDING MECHANICAL PLUMBING ELECTRICAL SITE FIRE

NATURE OF WORK IN DETAIL

New 3-story office building

FLOOD STATUS

City of Sacramento Building Inspection Division 264-5191

VALUATION

\$4,391,377.00

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:
 I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.
 I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____
 Policy Number: _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: _____ Applicant: _____
 (Signature)

ISSUED BY:	DATE ISSUED	BUILDING PERMIT FEE	PLAN CHECK/PROC. FEE	S.M.I. FEE	CONST. EXCISE TAX	CITY BUS LICENSE	TECH. FEE	WATER DEV. FEE	CITY SEWER DEV. FEE	REG. SEWER FEE	RESIDENTIAL CONST. TAX
Michael	2/25/98	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$

FED. CODE	PERMIT NO.	CONSTR. TYPE	OCCUP. GROUP	STREET WIDTH
15	971	1.1FR	B	16

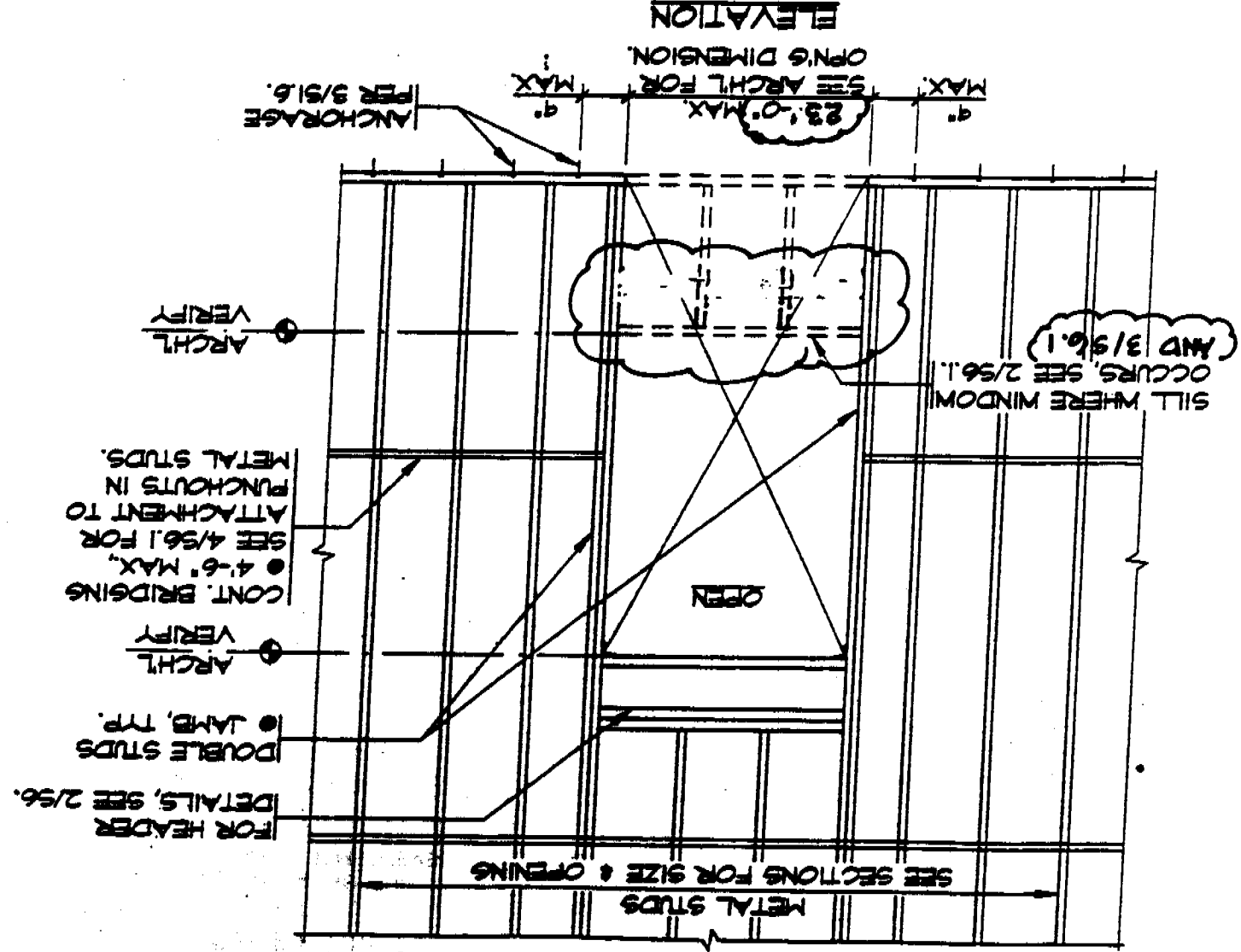
Handwritten notes at bottom: 12981



SCALE: 3/8" = 1'-0"

56.1
1

TYPICAL OPENING IN METAL STUD WALL



156.1

10/19/98

REV 2

Address : 1102 Q St.

Permit no. 9712988c

TYPICAL HEADER AND SILL

EXTERIOR WALLS

TYPICAL HEADER/SILL



CUT AND BEND
DOWN WEB OF
TRACK AND ATTACH
AS ABOVE.
OR
END OF HEADER
BOTT. EA.
EA. LES TOP &
W/ 3-#10 SMS
MIDTH OF STUDS
L2X 16 GAX

TYPICAL SILL:
600T150-43
@ OPENING WIDTH
5'-11"-0"
SEE 3/61 FOR
APPLICABLE INFO

DOUBLE JAMB STUDS
- 600S125-33 TYP
- 600S200-68
@ OPENING WIDTH
> 11'-0"
FULL HEIGHT

TYPICAL HEADER:
600T150-43
@ OPENING WIDTH
5'-11"-0"
#10 SMS @ 6'-0"

AT OPENING WIDTH
> 11'-0" USE BOX
HEADER:
600T150-97 T&B
800S200-68 VERT

L2X2 AS BELOW

TRP. 1/2" @ 12'-0"

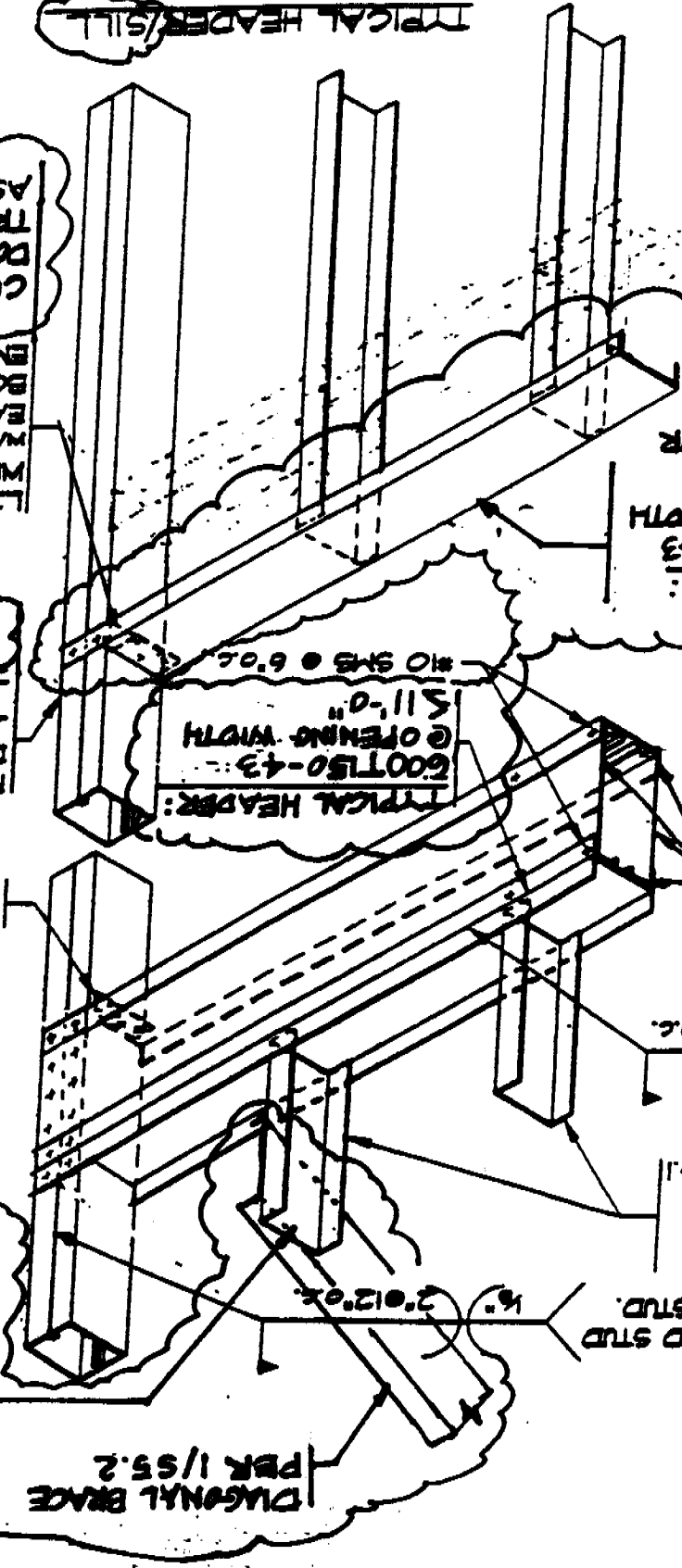
LIGHT GAGE STUDS
SEE SECTIONS FOR
SIZE & LOCATION
CONNECTION PER 6/56.11

STUDS ABOVE
OPENING SHALL HAVE
'FIXED' CONNECTION
AT TOP TO DECK
EDGE R OR BEAM
ABOVE PER 3/55.2.

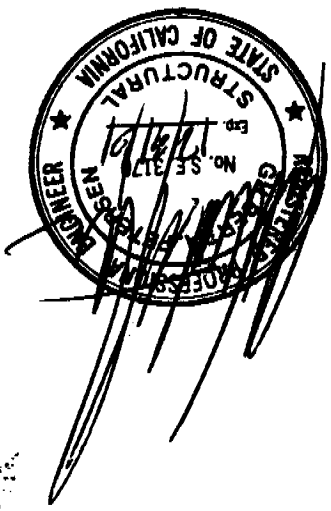
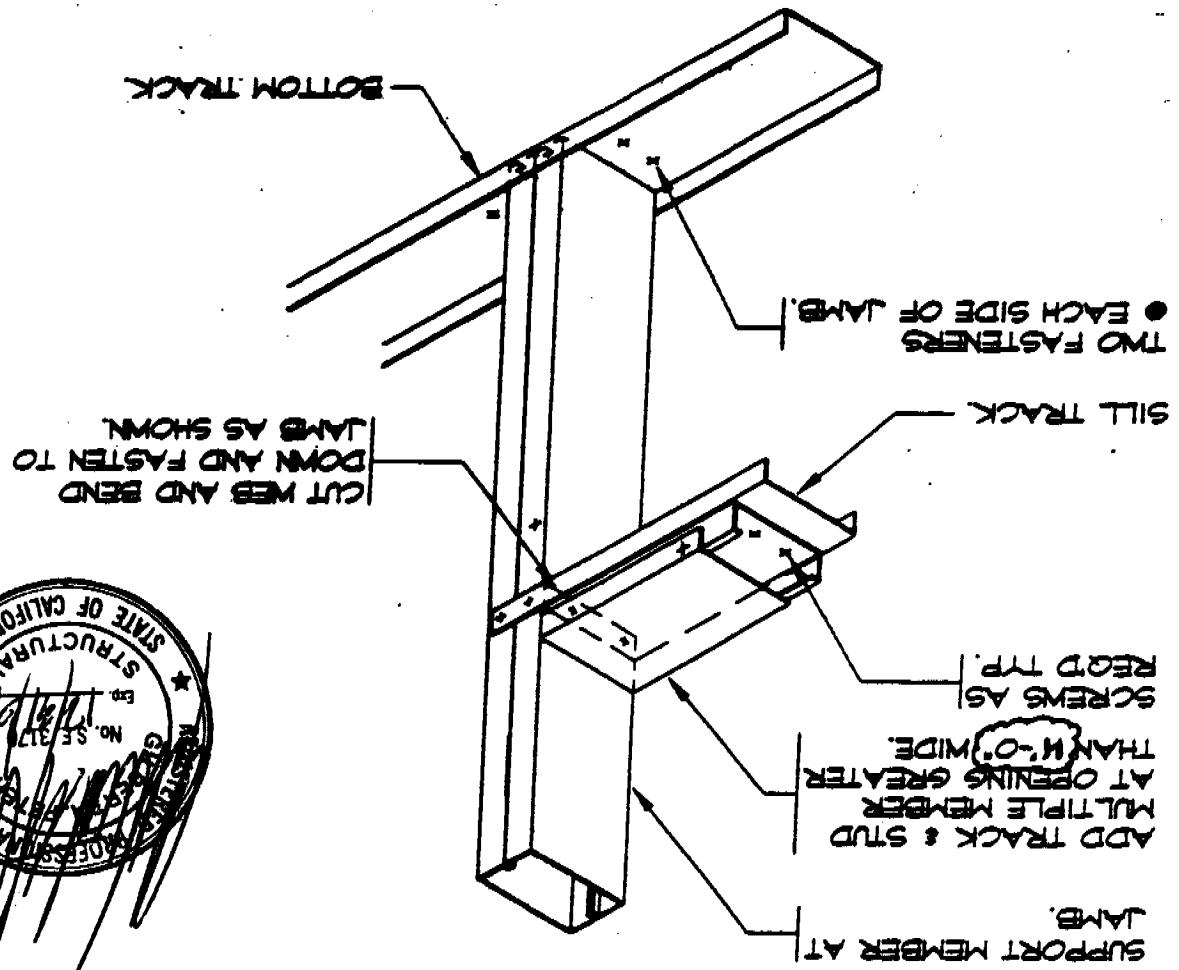
DIAGONAL BRACE
PER 1/55.2

WELD STUD
TO STUD.

1/2" @ 12'-0"



TYPICAL JAMB AND SILL



PARTIAL A/56.1
OFFSET AT 3RD FLOOR.

PARTIAL A/56.1

BEAR ON
CONC. SLAB

THIRD FLOOR
ROOF AREA

SLIP AT FULL HT. CONDITIONS
FIXED AT OPENINGS
3
552

SLIP AT FULL HT. CONDITIONS
FIXED AT OPENINGS
3
552

SEE 2 / 56.1 FOR FRAMING
AT HEADERS, TRP.

FIXED/SLIP AT FULL HT. CONDITIONS
FIXED AT OPENINGS
3
552

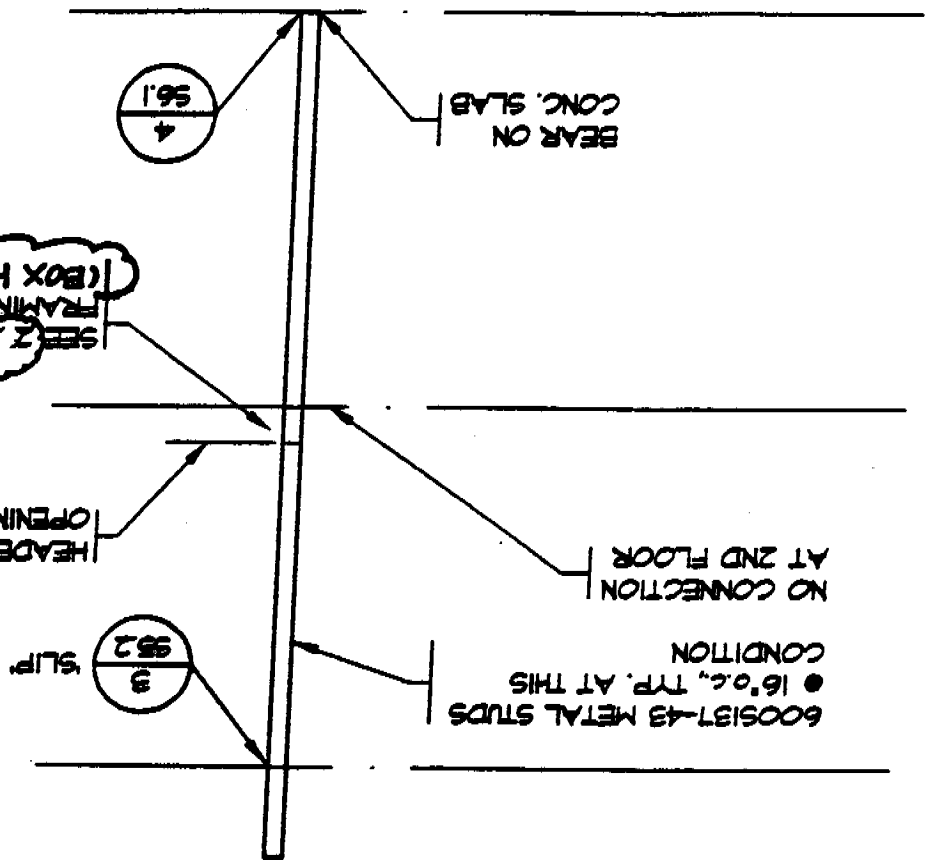
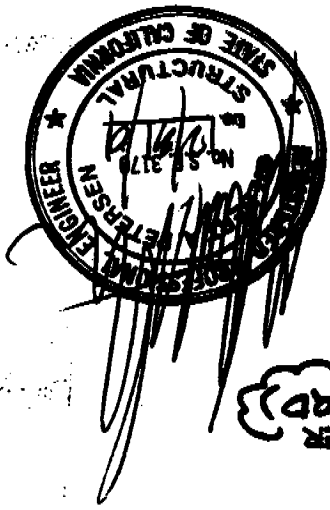
SLIP AT FULL HT. CONDITIONS
FIXED AT OPENINGS
3
552

SLIP AT FULL HT. CONDITIONS
FIXED AT OPENINGS
3
552



PARTIAL A/56.1

METAL STUDS AT RETAIL AREAS
OCCURS AT GRID LINE H BTWN GRIDS I & 7 AND 9 & 15;
ALSO BTWN GRID LINES F & H AT GRIDS I, 7, 9 & 15.



SEE Z/56.1 FOR
FRAMING AT HEADER
(BOX HEADER READ)

HEADER HT. AT
OPENINGS PER ARCH.

600S137-43 METAL STUDS
● 16" O.C., TYP. AT THIS
CONDITION

NO CONNECTION
AT 2ND FLOOR

BEAR ON
CONC. SLAB

56.1
4

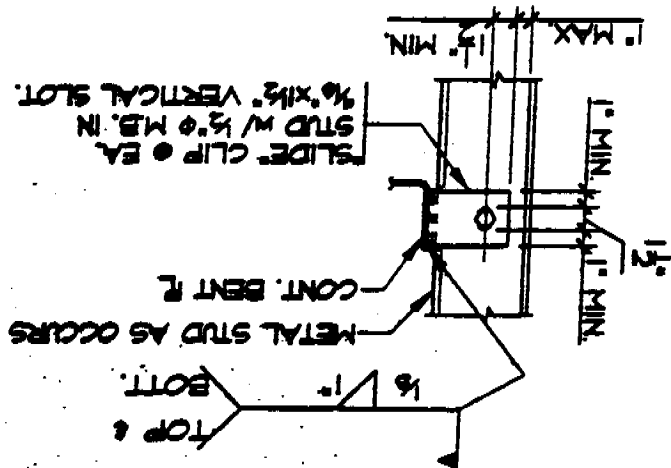
3
56.2
SLIP



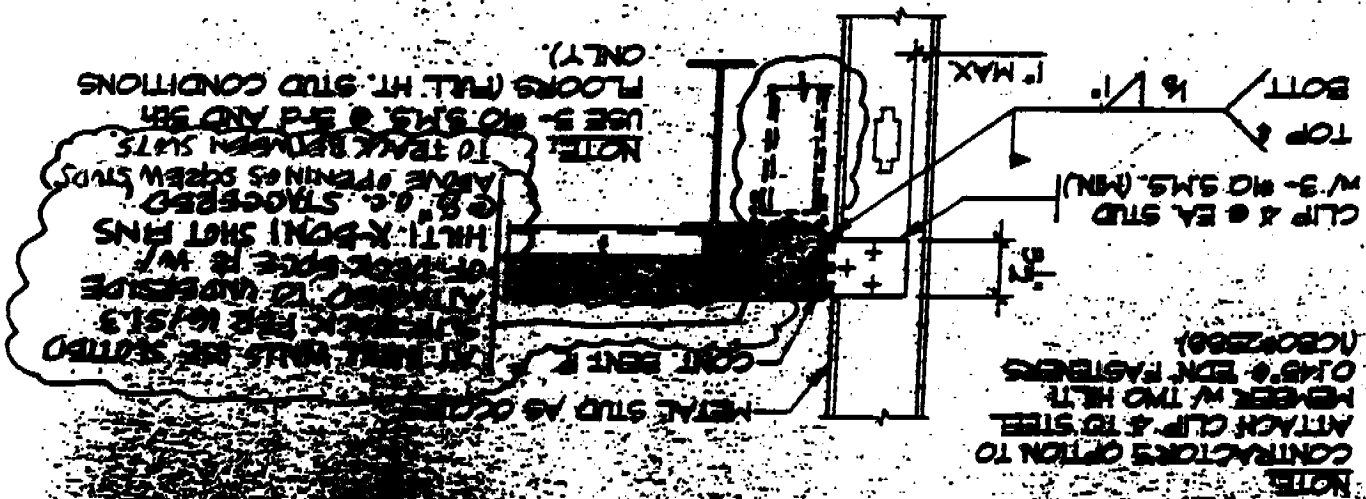
98-2203

3
RTAL
3.2

SLIP CONNECTION



TYPICAL CONNECTION (FIXED)



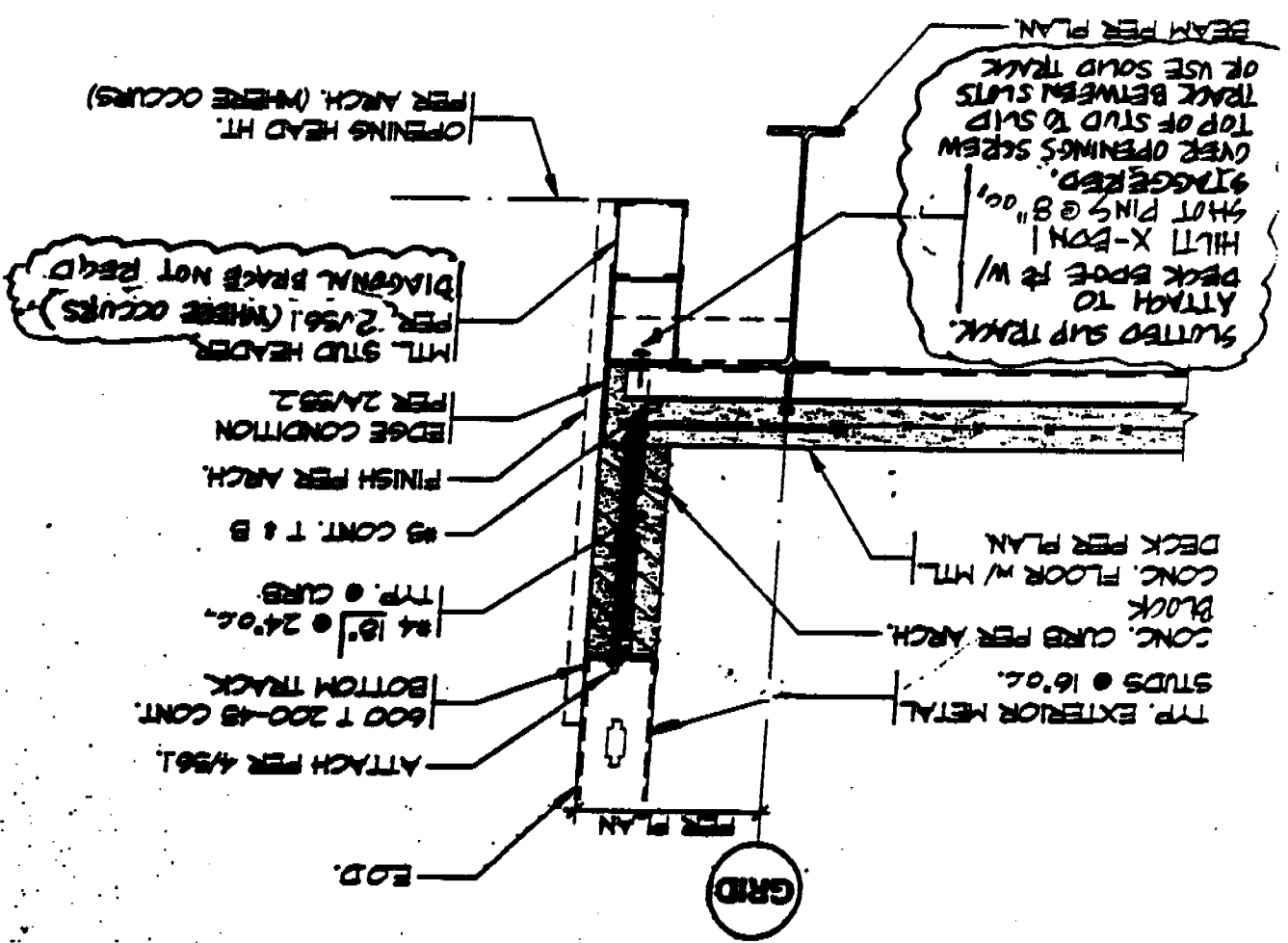
21Z

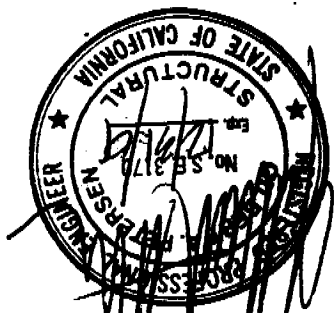


2nd FLOOR SLAB EDGE DETAIL

SCALE: 3/4" = 1'-0"

3

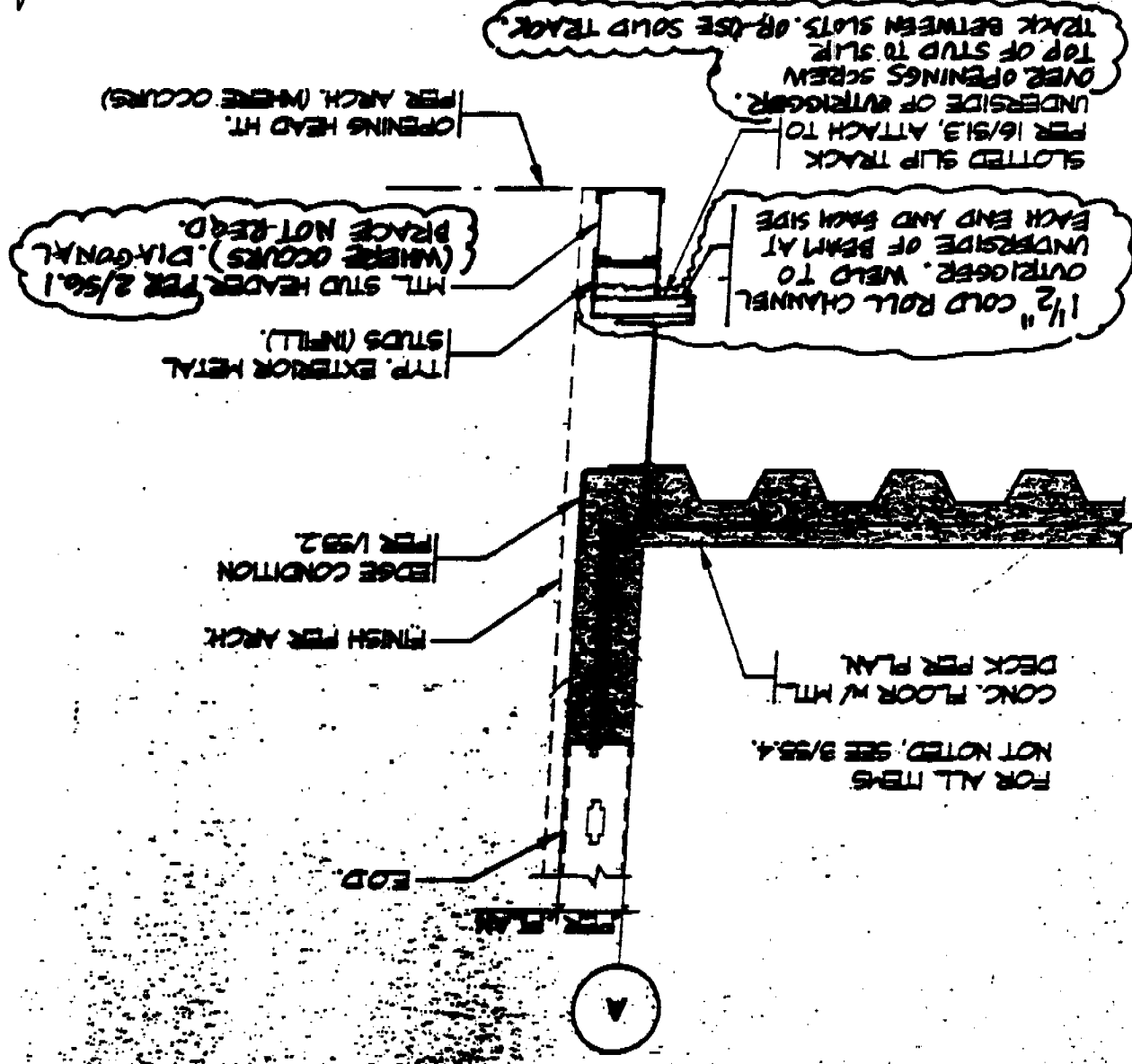




SCALE: 3/4" = 1'-0"

5.4

2ND FLOOR SLAB EDGE DETAIL

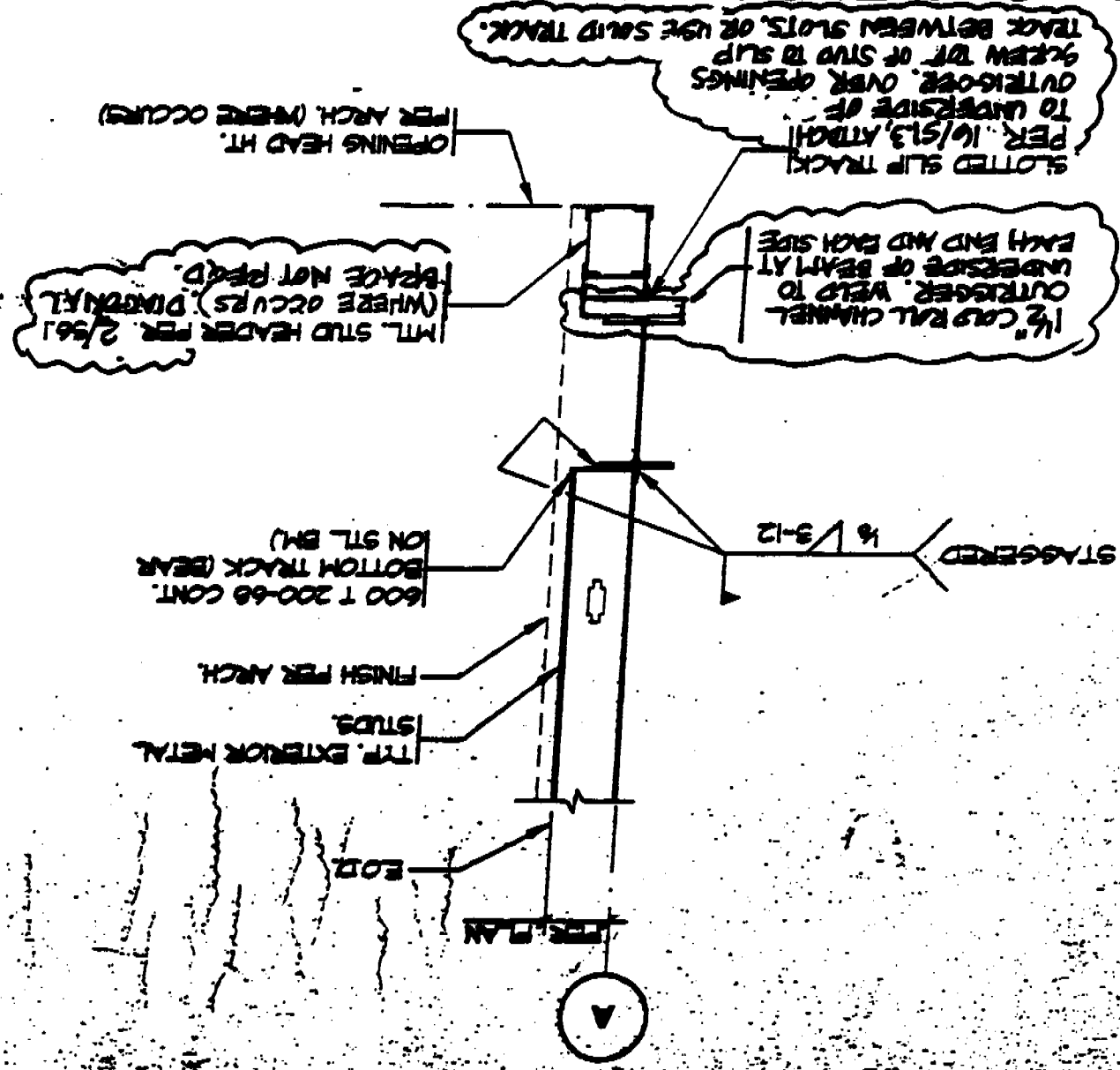




SCALE: 3/4" = 1'-0"

58.4

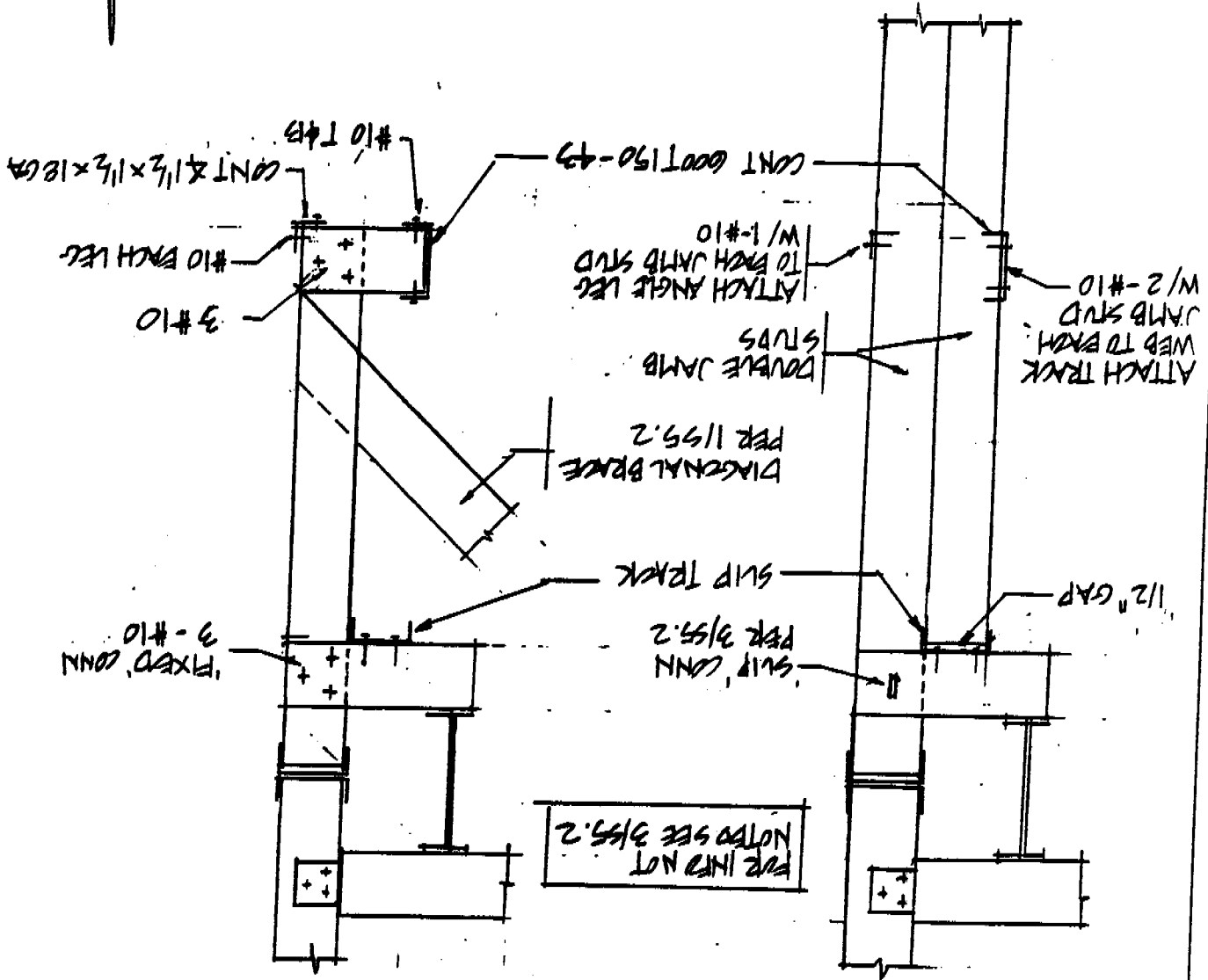
2ND FLOOR EDGE DETAIL





DETAIL AT HEADER

DETAIL AT JAMB



FRAMING AT VERTICAL OFFSET OVER WINDOWS BETWEEN 4TH AND 5TH FLOORS

EXTERIOR METAL STUD WALLS

JOB NO. 9307-042		The Spink Corporation	
SHEET OF		11th & G	
DESIGNED BY T. SKAVIN			
DATE 10/15/98			
CHECKED BY			
DATE			