

CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	River City Signs, 5111 Florin-Perkins Road, Sacramento, CA 95826		
OWNER	Greenhaven Plaza, P.O. Box 2990, Newport Beach, CA 92660		
PLANS BY	River City Signs, 5111 Florin-Perkins Road, Sacramento, CA 95826		
FILING DATE	1-17-84	50 DAY CPC ACTION DATE	REPORT BY: JP:bw
NEGATIVE DEC. EX.	15311(a)	EIR	ASSESSOR'S PCL. NO. 031-430-02

- APPLICATION:
1. Variance to exceed the permitted on-site sign area from 16 to 40 square feet in the OB-R zone.
 2. Variance to allow an on-site detached monument sign within the required building setback area.
 3. Variance to exceed the maximum height of six feet for detached monument signs by 1.5± feet. (All entitlements pertain to Sign Ordinance Sec. 3.63 a & b and Lakecrest Village PUD Guidelines, Sec. V-D-b-1 & 2)

LOCATION: 910 Florin Road

PROPOSAL: The applicant is requesting the necessary entitlements to erect a 40± square foot on-site detached monument sign for an office building located in the Lakecrest Village PUD.

PROJECT INFORMATION:

1974 General Plan Designation: Commercial and Offices
1976 South Pocket Community
Plan Designation: Business and Professional Offices
Lakecrest Village PUD: Office Buildings
Existing Zoning of Site: OB-R
Existing Land Use of Site: Office Building

Surrounding Land Use and Zoning:

North: Residential; R-1
South: Offices; OB-R
East: Offices; OB-R
West: Offices; OB-R

Property Area: 76,000± square feet
Square Footage: 25,000±
Type of Sign: Detached interior illuminated monument sign
Size of Sign: 40± square feet (5' x 8')
Height of Sign: 7.5± feet
Sign Colors: Ivory with brown copy
Sign Materials: Plexiglas, wood siding, brick base

002659

STAFF EVALUATION: Staff has the following comments regarding this proposal:

1. The subject sign is a 76,000± square foot parcel developed with a 25,000± square foot office building located in the Lakecrest Village PUD and Office Building-Review (OB-R) zone. The applicant is proposing to locate a 40± square foot, 7.5± foot high detached monument sign on the site in the required 50-foot building setback (Exhibits A and B). The sign would be used for tenant identification purposes and could identify up to nine individual tenants.

Both the Sign Ordinance and Lakecrest Village PUD Sign Guidelines prohibit sign area exceeding 16 square feet per parcel, monument signs exceeding six feet in height, and signs located in the required building setback areas. The applicant therefore is requesting the necessary entitlements to erect the proposed sign.

2. The intent of the Sign Ordinance and the Lakecrest Village PUD Sign Guidelines is to prevent a proliferation of large signs in the required building setback areas and to allow the placement of flat signs against the walls of buildings located in the Office Building zone. The City Council specifically required a 50-foot building setback for the subject site and that this setback area be landscaped (P-82~~87~~7). The sign proposed for this setback area is 24± square feet over the maximum sign area of 16 square feet and 1.5± feet over the maximum height of six feet. This sign will create a billboard effect and will not be in harmony with the purpose of the Lakecrest Village Sign Guidelines to "observe and enhance the appearance of Lakecrest Village" and "to avoid excessive and confusing sign displays."
3. There is no hardship pertaining to this site that would prohibit the placement of a sign on the site in conformance with the Sign Ordinance and Lakecrest Village PUD Sign Guidelines. An attached sign, maximum of 16 square feet in size, could be placed on the wall of the existing office building and still be clearly seen from Florin Road. Staff, therefore, recommends denial of the proposed variances.

STAFF RECOMMENDATION: Staff recommends the following actions:

1. Denial of the variance to exceed the permitted on-site sign area from 16 to 40 square feet, based on Findings of Fact which follow;
2. Denial of the variance to allow an on-site detached monument sign within the required building setback, based on Findings of Fact which follow;
3. Denial of the variance to exceed the maximum height of six feet for detached monument signs by 1.5± feet, based upon Findings of Fact which follow.

Findings of Fact

Exceptional or extraordinary circumstances do not exist which would prohibit the placement of a sign at the subject site in conformance with height, area and setback regulations found in the City's Sign Ordinance and Lakecrest Village PUD Sign Guidelines.

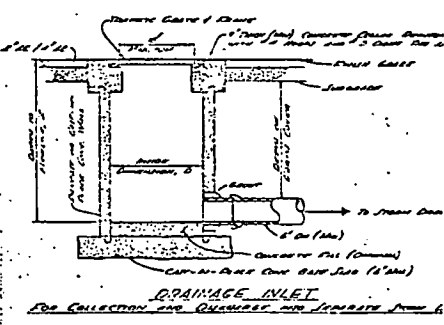
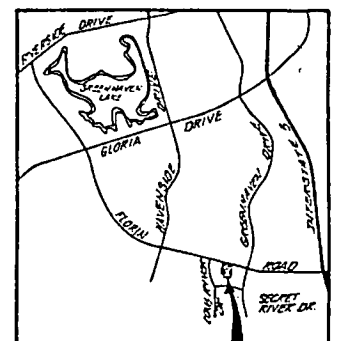
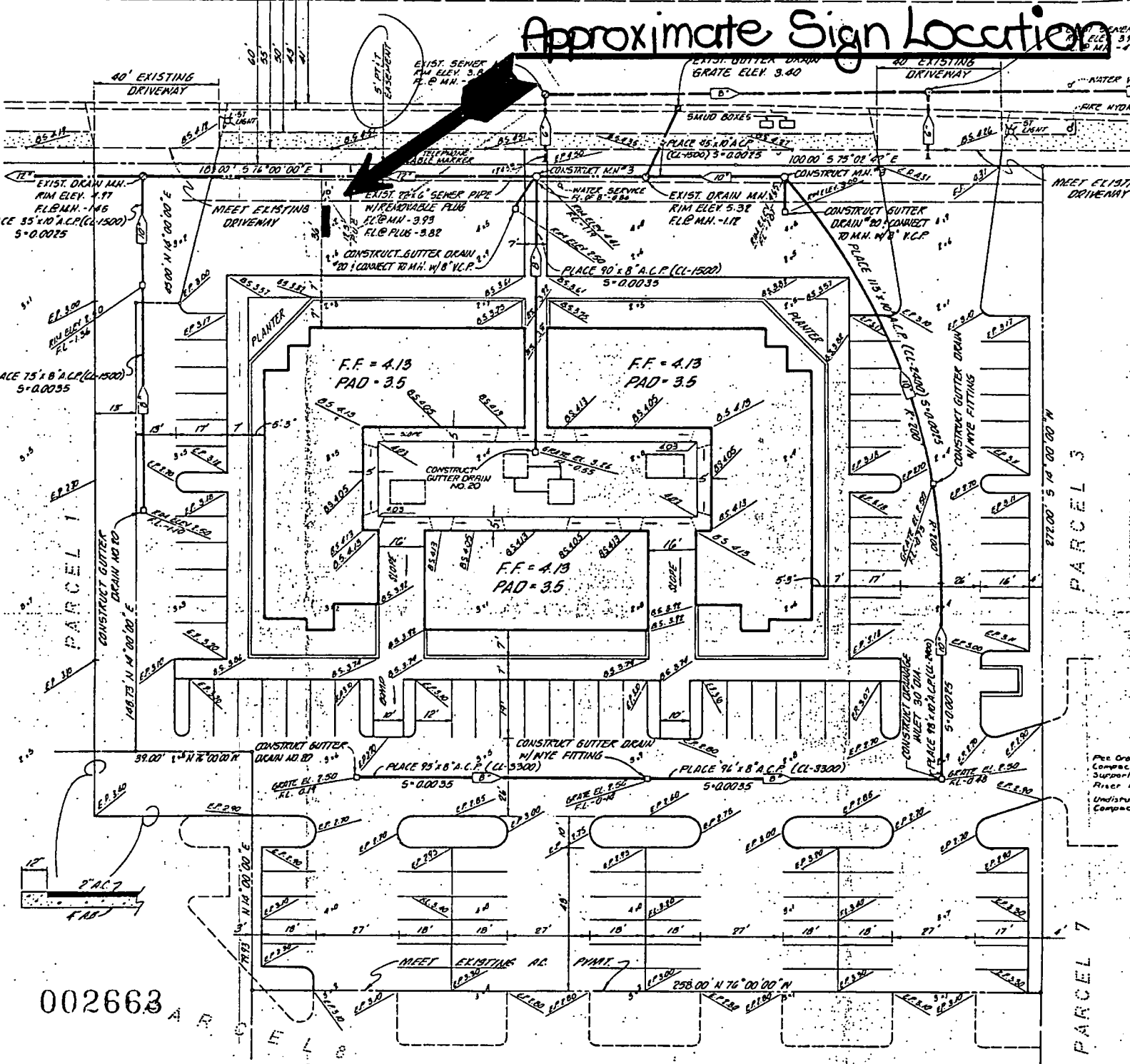
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Approximate Sign Location

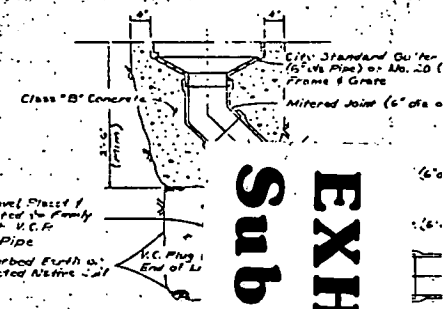
84-011

2-23-84

No. 16



NOTE:
 1. Minimum slope shall be 1/8" per foot for gutter and 1/4" per foot for inlet.
 2. Downspout shall be 1/2" larger than gutter and shall have 1/2" clearance from gutter.



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LEGEND:
 2x4 --- EXISTING
 3.5 --- FINISHED
 E.P. --- ELEV. OF
 B.G. --- BACK OF

002663

SITE & GRADING PLAN

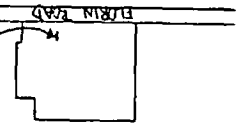
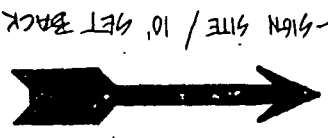
EXHIBIT A

Subject Site

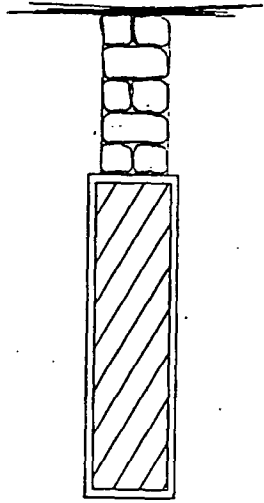
EXHIBIT B

DATE	12-10-83
SCALE	1/8" = 1'-0"
BY	AM
CAL FOUR INC.	

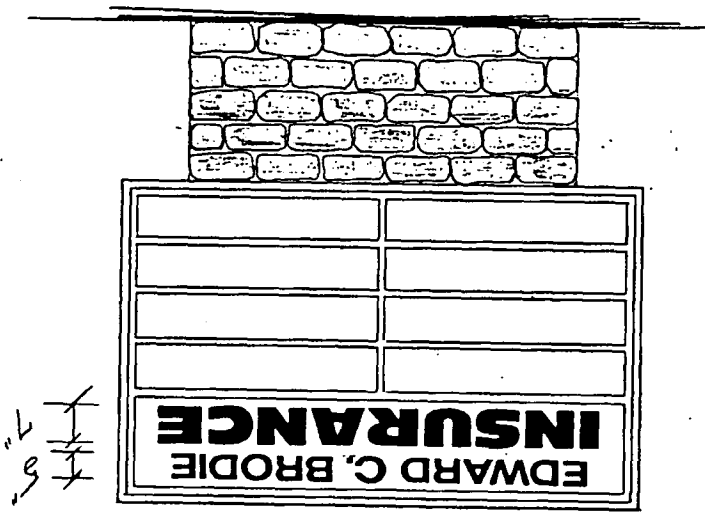
Sign is set back approximately 10 feet from North (front) property line and 35 feet from West driveway entrance



002664



16"



5"
7"

8'-0"

17"
8"

5'-0"
30"

No. 16

2-23-84

110-484