

CITY OF SACRAMENTO

Permit No: 9900680

1231 I Street, Sacramento, CA 95814

Insp Area: 1

Site Address: 1330 45TH ST SAC

Sub-Type: AOTHR

Parcel No: 0080271003

Housing (Y/N): N

CONTRACTOR

TIM BLEAKLY CONST.

OWNER

COCHRANE JOHN M/CHERYLL M
1330 45TH ST
SACRAMENTO CA 95819

ARCHITECT

Nature of Work: INSTALL GARAGE DOOR

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name Lender's Address

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 496261 Date 1-25-99 Contractor Signature [Signature]

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. B & PC for this reason:

Date Owner Signature

CITY OF SACRAMENTO
JAN 25 1999

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant has made all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any public or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 1-25-99 Applicant/Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

X I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

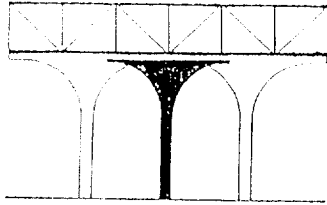
Carrier STATE FUND Policy Number Exp Date 05/01/1999

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 1-25-99 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS



ENGINEERING

8952 NEW DAWN DRIVE  
SACRAMENTO, CA 95826

GENE S. PORTER INC.

(916) 362-4363

FAX (916) 362-1715

TIM BLEAKLY  
CONSTRUCTION

SHEET 1 OF 9

JOB NO. 98-099

Existing Garage Remodel  
1330 45th Street  
Sacramento, CA

\* Owner wants to cut in and install a 16' wide by 7' high roll up door in the existing 20'-4 1/2" x 22' - 1" one story garage.

\* Garage construction is as follows:

- o Shake roof.
- o 1 x 8 spaced sheathing
- o 2 x 4 rafters at 16"cc.
- o 2 x 4 ceiling joists at 16"cc.
- o 2 x 4 studs at 16"cc with 1 x 8 horizontal sheathing covered on the exterior with 3/4" ± stucco finish.
- o Existing wall adjacent to property line has 1" stucco finish for rated wall.
- o 4" concrete slab with 12" x 12" perimeter concrete footing.

Roof Loads

Shakes .....	5.0#/□'
1 x 8 spaced sheathing .....	2.4
2 x 4 rafters at 16" .....	1.3
2 x 4 ceiling Jst at 16" ...	1.3
Ceiling .....	0

DL = 10.0#/□'  
(6:12 Rfg Pitch) LL = 16.0

TL = 26.0#/□'

1555

12/26/98

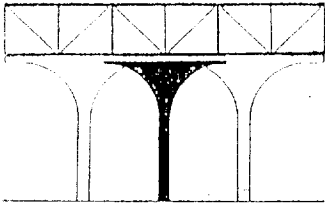
JAN 25 1999

CITY OF SACRAMENTO  
DEVELOPMENT SERVICES DIV

REGISTERED PROFESSIONAL ENGINEER  
GENE S. PORTER  
No. 15,182  
CIVIL  
STATE OF CALIFORNIA

Exp 3/31/01

Plans in microfilm



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SHEET **2** OF **9**

JOB NO. **98-099**

Use New 4 x 12 D.F. # 1 Header Over New 16' x 7' O.H. Door To Support (#) Roof Load Span = 16.0'

$$W = \frac{26\#}{Rfg} \times (2/3) \times 10' + \frac{47\#}{Bm} = \frac{220\#}{TL}$$

$$S = \frac{1.5 \times 220 \times 16^2}{1400} = \frac{60''^3}{73''^3} <$$

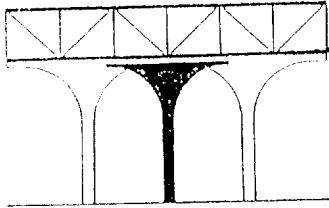
$$TL \ I = \frac{220 \times 16^3}{3600} = \frac{250''^4}{415''^4} <$$

$$H = \frac{1.5 \times 220 \times 8}{39} = 68 \text{ PSI} < 85 \text{ PSI}$$

Use 4 x 12 D.F. # 1 Supporter On 4 x 4 Post Each End



- \* Suggested remodel of existing garage to allow installation of a 16' x 7' overhead door in the rear wall of the garage as follows:
- \* Shore up existing roof to support and remove roof load from rear wall to allow installation of new door framing.
- \* Cut sufficient opening in rear wall to allow installation of new 4 x 12 header supported by 4 x 4 posts each end of beam.
- \* Add 2 x 4 stud as required in wall each side of overhead door in front and rear of walls to obtain 3" minimum post. Spike stud to existing stud with **16**d at **16**"cc.



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SHEET 3 OF 9

JOB NO. 98-099

- \* Add Simpson holdown HD6A in 3" minimum stud each end of front and rear walls with epoxy tie using 5/8" bolt with 5" minimum embedment into existing concrete footing.
- \* After holdown bolts are tighten add 1/2" plywood, 32/16", CD-X on inside face of wall nailed with 10d at 3"cc.

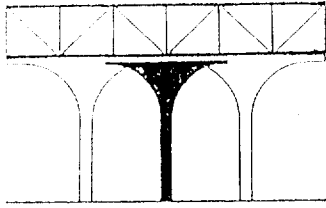
The above description does not necessary include all of the work required by these plans and is intended solely as an aid in determining the scope of the work to be done.

Garage is located in middle of ~~low~~<sup>TOWN</sup> and terrain covers 20% (+) of ground which is covered with buildings and trees extend one mile from site.

12/26/98

12/26/98

Cap 3/3/99



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SHEET **4** OF **9**

JOB NO. **98-099**

Wind - 70 MPH, Exposure - 'B'

$P = C_e C_p q_s I$ , Where  $C_e = 0.67$

$P = 0.67 \times 1.3 \times 12.6 \times 1.0 = C_q = 1.30$

$q_s = 12.6$

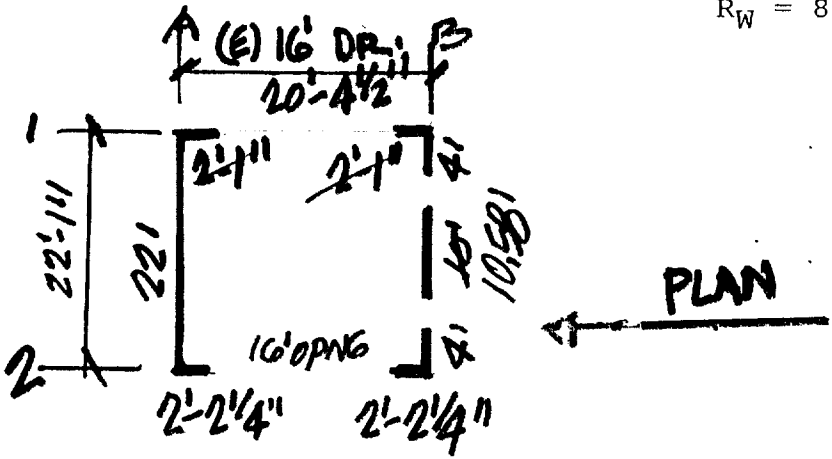
$P = 11 \text{ PSF}$   $I = 1.00$

Seismic Zone # 3

$V = \frac{Z I W}{R_w}$ , Where  $Z = 0.30$

$V = \frac{0.30 \times 1.0 \times 2.75}{8} = 0.103$   $I = 1.00$

$C = 2.75$



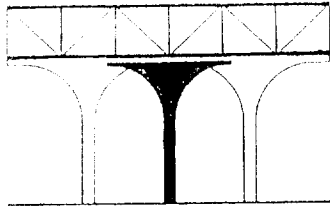
$R_{fg_{DL}} = 10 \text{ PSF}$

$Wall_{DL} = 18 \text{ PSF}$

N-S Direction

Wind =  $11\# (4' + 2/3" \times 10') = 117\#/'$  Governs

Seismic =  $0.103 [ 8\# \times 24' + 18\# \times 4' \times 2 ] = 35\#/'$   
RFG Wall



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CONSTRUCTION**

SHEET

5 OF 9

JOB NO.

98-099

Line - A

Rfg =  $\frac{117 \times 10}{22} = 53\#/' < 74\#/'$  Existing 1 x 8 spaced sheathing with 2-8d per board.

Wall =  $\frac{117 \times 10}{22} = 53\#/' < 74\#/'$

Line - B

Wall =  $\frac{117 \times 10}{2 \times 4' + 10.58} = 63\#/' < 74\#/'$

(E) 1 x 8 horizontal sheathing with 2-8d per board.

E - W Direction

Wind =  $11\# (4' + 2/3 \times 11') = 125\#/'$  Governs

Seismic =  $0.103 [ \frac{8\#}{\text{Rfg}} \times 22' + \frac{18\#}{\text{Wall}} \times 4' \times 2 ] = 33\#/'$

Lines 1 & 2

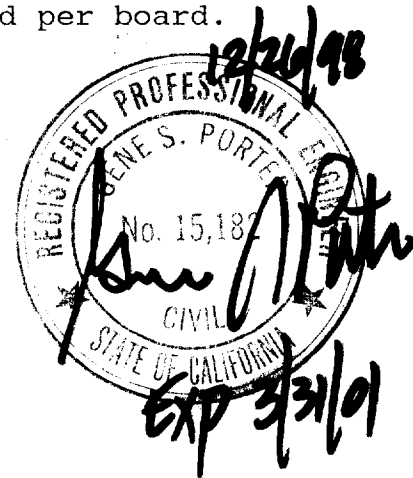
Rfg =  $\frac{125 \times 11}{20} = 69\#/' < 74\#/'$  OK

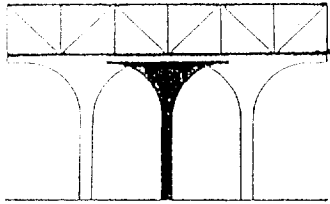
Wall =  $\frac{125 \times 11}{2.17 \times 2} = 317\#/' < 460\#/'$  Use 1/2" Plywood 10d at 4"cc

Note:

1 x 8 Horizontal Sheathing with 2-8d per Board to Studs.

Capacity =  $74\#/'$





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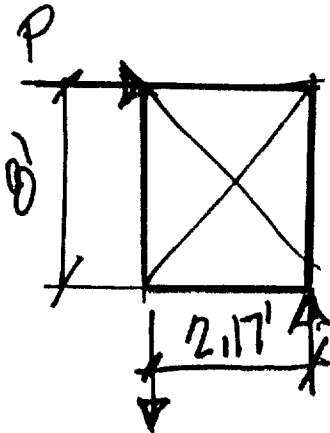
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SHEET **6** OF **9**

JOB NO. **98-099**

NEW SHEAR WALL.  
FRONT & REAR WALLS



$$W_{DL} = 10^{\#} \times 7' + 18^{\#} \times 9' = 232^{\#} / ' \text{ (DL)}$$

Rfg                  Wall

$$P = 317 \times 2.17' = 688^{\#}$$

$$M_{OT} = 688 \times 8 = 5503^{\#}$$

$$M_R = (2/3) \frac{232 \times 2.17^2}{2} = 364^{\#}$$

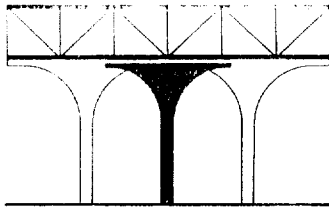
$$F_{Uplift} = \frac{5.5 - 0.4}{2.0} = 2.55^K < 3.69^K \text{ OK}$$

Use Simpson Holdown HD **GA**

Capacity = 3.69<sup>K</sup> With 4 x 4 Post

**USE EXPOXY TIE WITH 5/8" BOLT WITH  
5" MINIMUM EMBEDMENT INTO EXISTING  
CONCRETE FOOTING.**

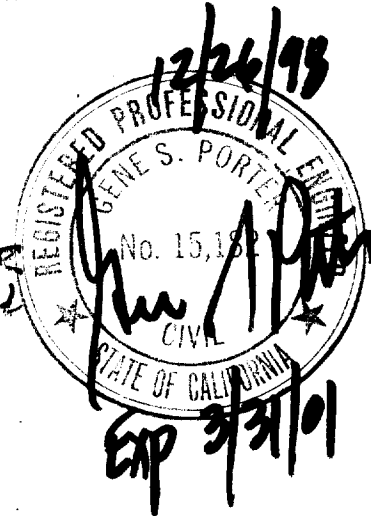
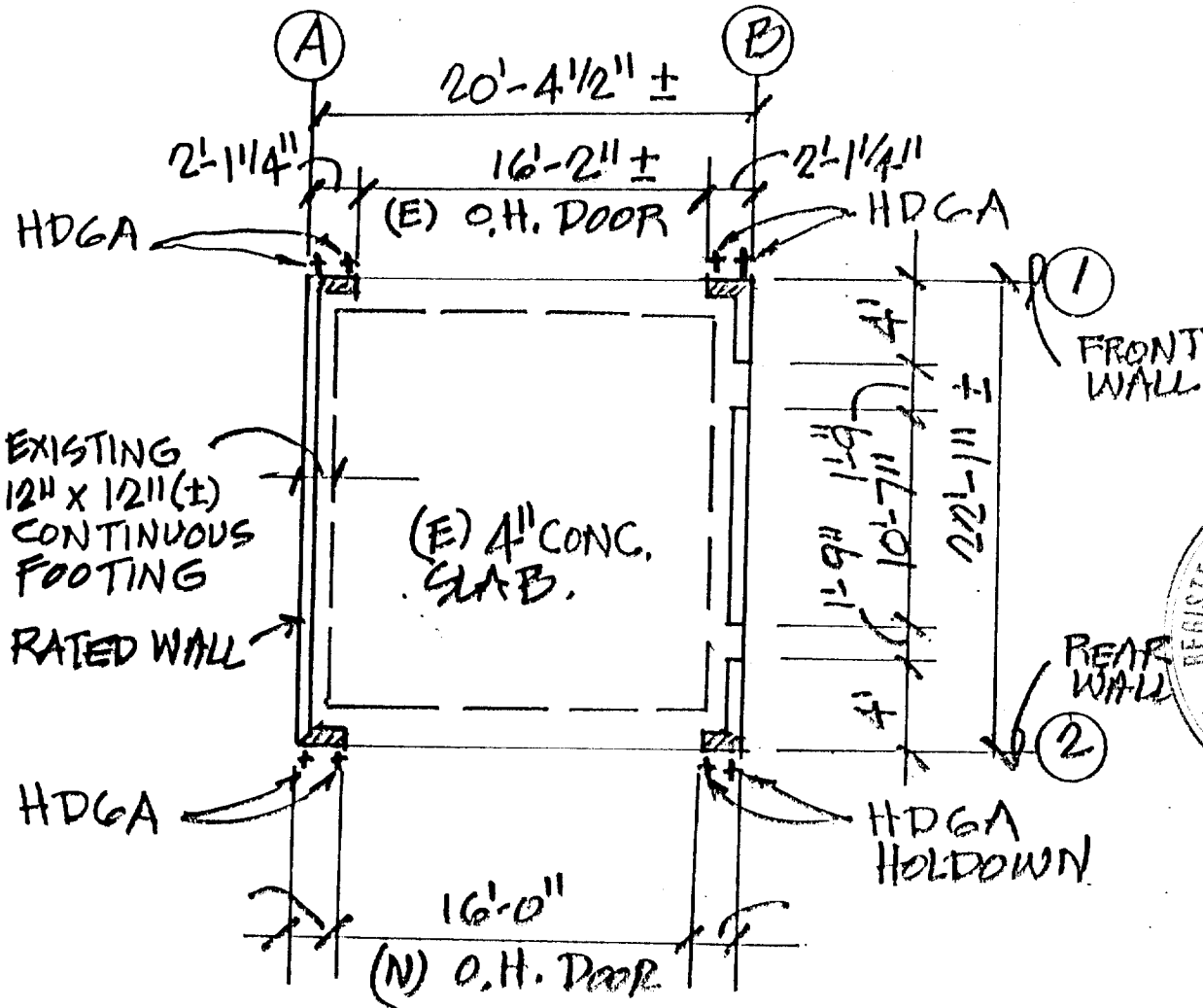




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CONSTRUCTION

SHEET 7 OF 9

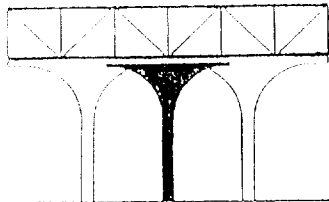
JOB NO. 98-099



### EXISTING GARAGE PLAN

- (1) - INSTALL SIMPSON HOLDOWN HDGA WITH 5/8" X 5" MIN. EMBEDMENT IN EXPOXY TIES,
  - (2) - INSTALL 1/2" PLYWOOD, CDX, 3/4" ON INSIDE FACE OF WALLS ON LINES 1 & 2 NAILED WITH 10d AT 3" CC. NAIL PLYWOOD TO TOP & BOTTOM WALL PLATES AND ALL STUDS.
- NOTE: HOLDOWNS ARE TO BE INSTALLED ON THE FRONT & REAR WALLS.





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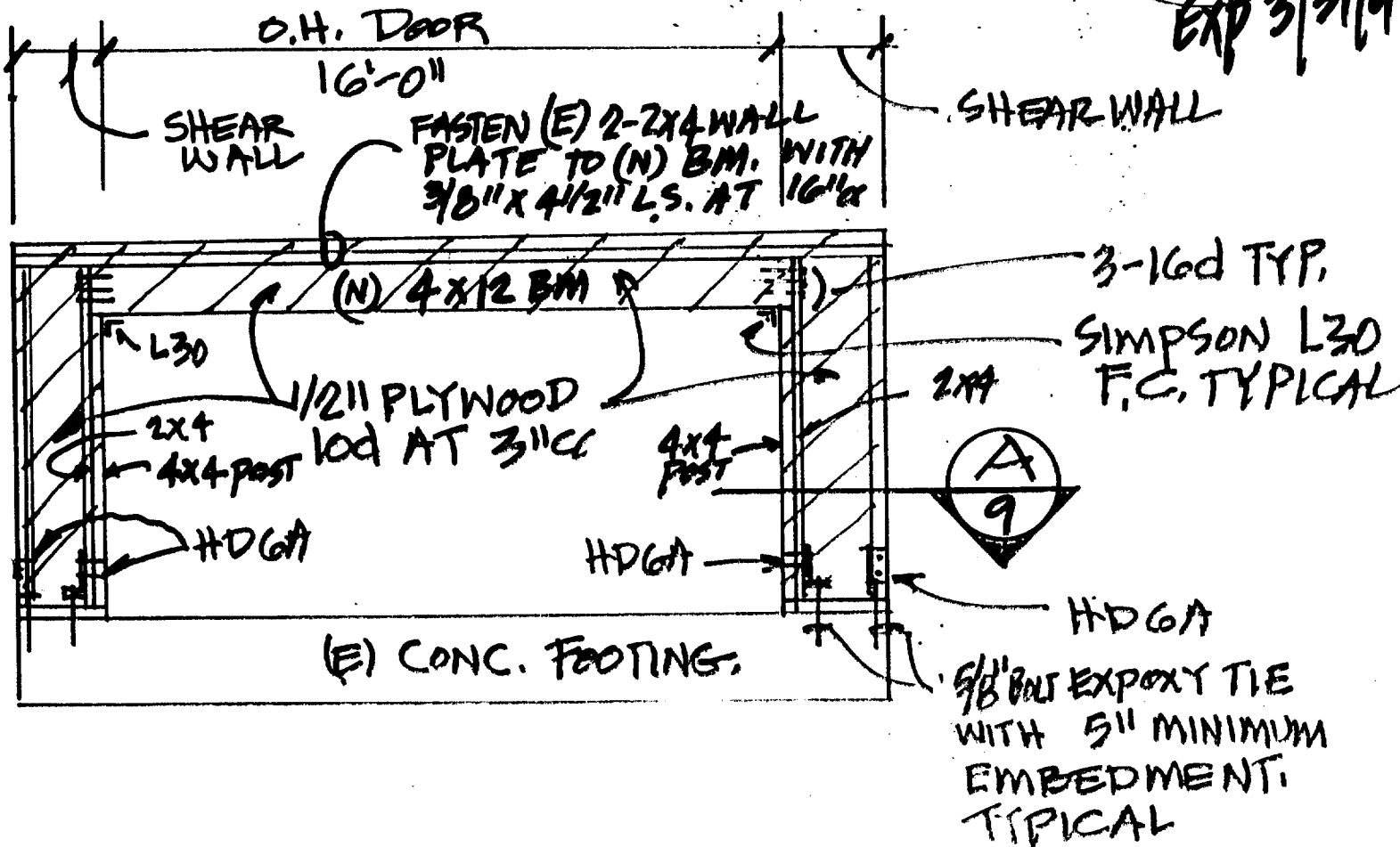
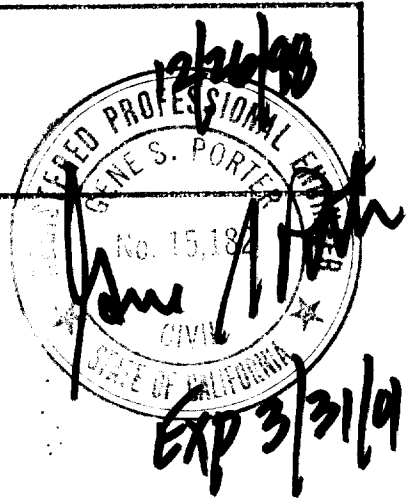
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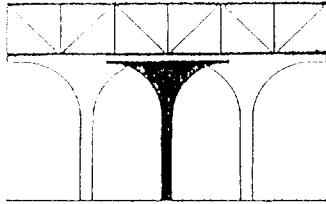
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SHEET 8 OF 9

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TYPICAL FRONT & REAR WALL ELEVATION



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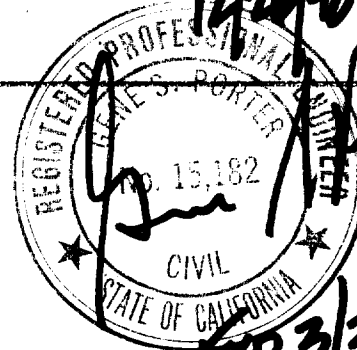
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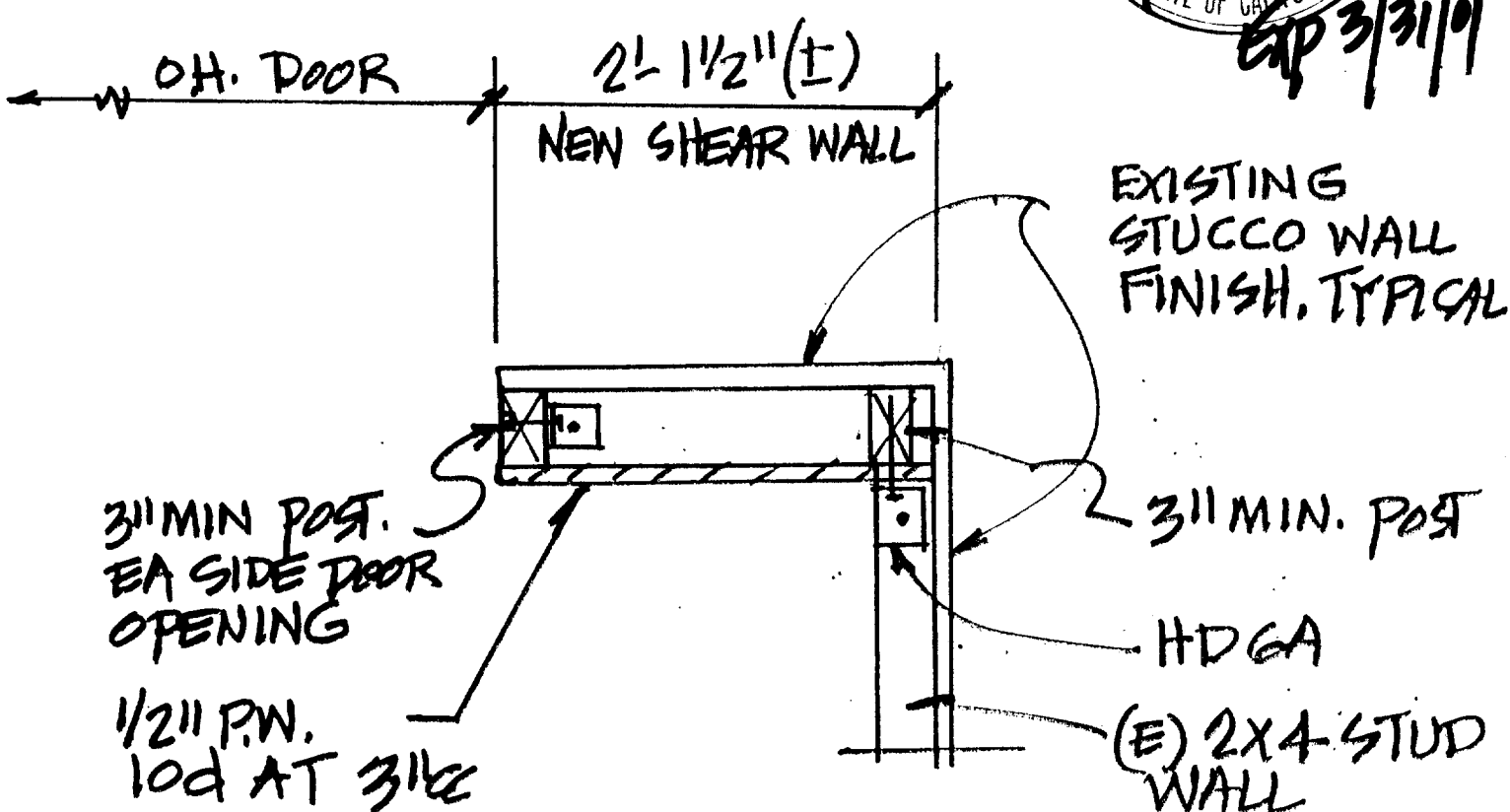
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SHEET 9 OF 9

JOB NO. 98-099



EXP 3/31/09



PLAN

A  
9

SECTION