

CITY OF SACRAMENTO

Permit No: 9802268

1231 I Street, Sacramento, CA 95814

Insp Area: 2

Site Address: 8299 ARROYO VISTA DR SAC

Sub-Type: NSFR

Parcel No: 1171140057

Lot 73

Housing (Y/N): N

CONTRACTOR

J & L PROPERTIES
3434 MARCONI AVE
SACRAMENTO
Phone: (916)971-3820

OWNER

J & L PROPERTIES

ARCHITECT

Phone:

Nature of Work: NEW SFD, MP, MP#413-2, 1440 SQ. FT. L/A

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 66-11088 Date 3/26/98 Contractor Signature Heanna Collins

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

____ I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

____ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

____ I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

Date 3/26/98 Applicant/Agent Signature Heanna Collins

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

____ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

____ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier Cal Comp Policy Number N974066453 1/17/98

____ (This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 3/26/98 Applicant Signature Heanna Collins

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

WES PAC

INSULATION, INC.

INSULATION
CERTIFICATE

THIS IS TO CERTIFY THAT INSULATION HAS BEEN INSTALLED IN CONFORMANCE WITH
CURRENT ENERGY REGULATIONS, CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, STATE OF
CALIFORNIA, IN THE BUILDING LOCATED AT:

LOT # 75 TRACT # _____

STREET LAUREL WAY CITY WILSON

EXTERIOR WALLS:

MANUFACTURER _____ THICKNESS/TYPE _____ VALUE _____
CEILINGS: _____

BATTS:

MANUFACTURER _____ THICKNESS/TYPE _____ VALUE _____
BLOWN IN _____

MANUFACTURER _____ THICKNESS/TYPE _____ VALUE _____

SQUARE FOOTAGE COVERED _____ NUMBER OF BAGS USED _____

FLOORS:

MANUFACTURER _____ THICKNESS/TYPE _____ VALUE _____

SLAB ON GRADE:

MANUFACTURER _____ THICKNESS/TYPE _____ VALUE _____

WIDTH OF INSULATION _____ INCHES

FOUNDATION WALLS:

MANUFACTURER _____ THICKNESS/TYPE _____ VALUE _____

GENERAL CONTRACTOR

CALIFORNIA CONTRACTORS LICENSE # _____ DATE _____

SIGNATURE _____ TITLE _____

INSULATION CONTRACTOR **WES PAC INSULATION, INC.**

CALIFORNIA CONTRACTORS LICENSE #

#487478

DATE

SIGNATURE

TITLE

Certification of Compliance

School District Development Fees

(Print or Type) If Printing, press hard for four copies

PART I To be completed by the APPLICANT

OWNER'S NAME J. & L. Properties 487-3434
 OWNER'S ADDRESS 3434 Marconi Ave., Suite C, Sacramento, Ca. 95821
 OWNER'S ADDRESS 8299 Arroyo Vista Drive
 PROJECT ADDRESS 117-1110-057 73
 PARCEL NUMBER _____ LOT NO. _____
 SUBDIVISION NAME Laguna Run
 NUMBER OF UNITS _____

Upon payment of the fees listed below, a 90-day approval period commences upon which the applicant paying the fees may protest such fees. Any failure to file such protest within the 90-day period shall result in forfeiture of any rights to challenge such fees, through litigation or otherwise.

APPLICANT'S SIGNATURE [Signature]
 TITLE OF APPLICANT Operations 991-1200
 DATE _____ PHONE NUMBER _____

PART II To be completed by BUILDING DEPARTMENT

PLAN IDENTIFICATION NUMBER 1446
 BUILDING TYPE RESIDENTIAL () APARTMENT/CONDOMINIUM () COMMERCIAL/INDUSTRIAL ()
 SQUARE FEET OF CHARGEABLE BUILDING AREA 1446
 SIGNATURE _____
 TITLE _____ DATE _____

PART III To be completed by SCHOOL DISTRICT

SCHOOL DISTRICT _____
 DISTRICT CERTIFICATION NO. _____

| EXEMPT | COMMENTS | | |
|-----------------------|----------|------------|----------------------|
| RESIDENTIAL/APT/CONDO | | SQ FT X \$ | = \$ <u>2,779.20</u> |
| COMMERCIAL/INDUSTRIAL | | SQ FT X \$ | = \$ _____ |
| OTHER FEE TYPE | | SQ FT X \$ | = \$ <u>1929.60</u> |
| TOTAL FEES COLLECTED | | | = \$ <u>4708.80</u> |

This Certification covers only the amount of square footage indicated above. Any additions or corrections to the square footage for this project will require an amendment to the Certificate of Compliance.

As the authorized school district official, I hereby certify that the requirements of Government Code Section 65995 and any other authorized requirements have been complied with by the above signed applicant.

AUTHORIZED SCHOOL DISTRICT OFFICIAL

SIGNATURE _____ TITLE _____ DATE _____

PAID
MAR 26 1998

COUNTY SANITATION DISTRICT NO. 1
 SACRAMENTO REGIONAL COUNTY SANITATION DISTRICT
SEWER IMPACT FEE
 PERMIT AND CALCULATION SHEET

| | |
|--|--|
| APPLICATION NO: <u>CITY</u> | BLDG PERMIT NO: |
| GENERAL INFORMATION <u>SCE 224694</u> <u>Per 3-26-98</u> | THIS PERMIT GOOD ONLY WHEN VALIDATED BY THE CASHIER DEF 26 \$427.00 TR# TRAN 381647 03/26/98 RECEIPT 637486 044 \$427.00 <u>242050</u> <u>March 30</u> THIS PERMIT TO CONNECT EXPIRES ONE YEAR FROM DATE OF ISSUANCE |

| FEE CALCULATION | | BUILDING USE | |
|------------------|-------------|---|-------|
| INSPECTION | | RESIDENTIAL SF <input checked="" type="checkbox"/> MF <input type="checkbox"/> | |
| CSD-1 | | COMMERCIAL USE | UNITS |
| SRCSD | <u>427-</u> | | |
| CONSTRUCTION | | | |
| IN-LIEU | | | |
| | | | |
| TOTAL FEE | <u>427-</u> | | |

APN: 117-1140-057

DESCRIPTION/
 SUBDIVISION (Laguna Run) LOT: 73

PROPERTY ADDRESS 6299 Arroyo Vista Drive

OWNER J.&L. Properties

MAILING ADDRESS 3434 Marconi Ave Suite C;

CITY-STATE-ZIP Sacramento, Ca. 95821 PHONE (916)487-3434

ADDITIONAL FEES MAY BE DUE IF CHANGES IN USE INCREASE SEWER IMPACT.

APPLICANT SIGNATURE [Signature]

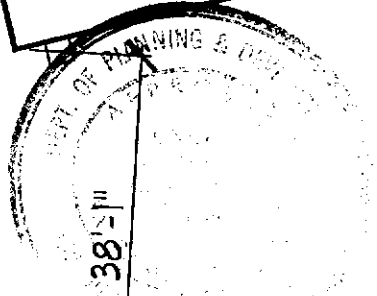
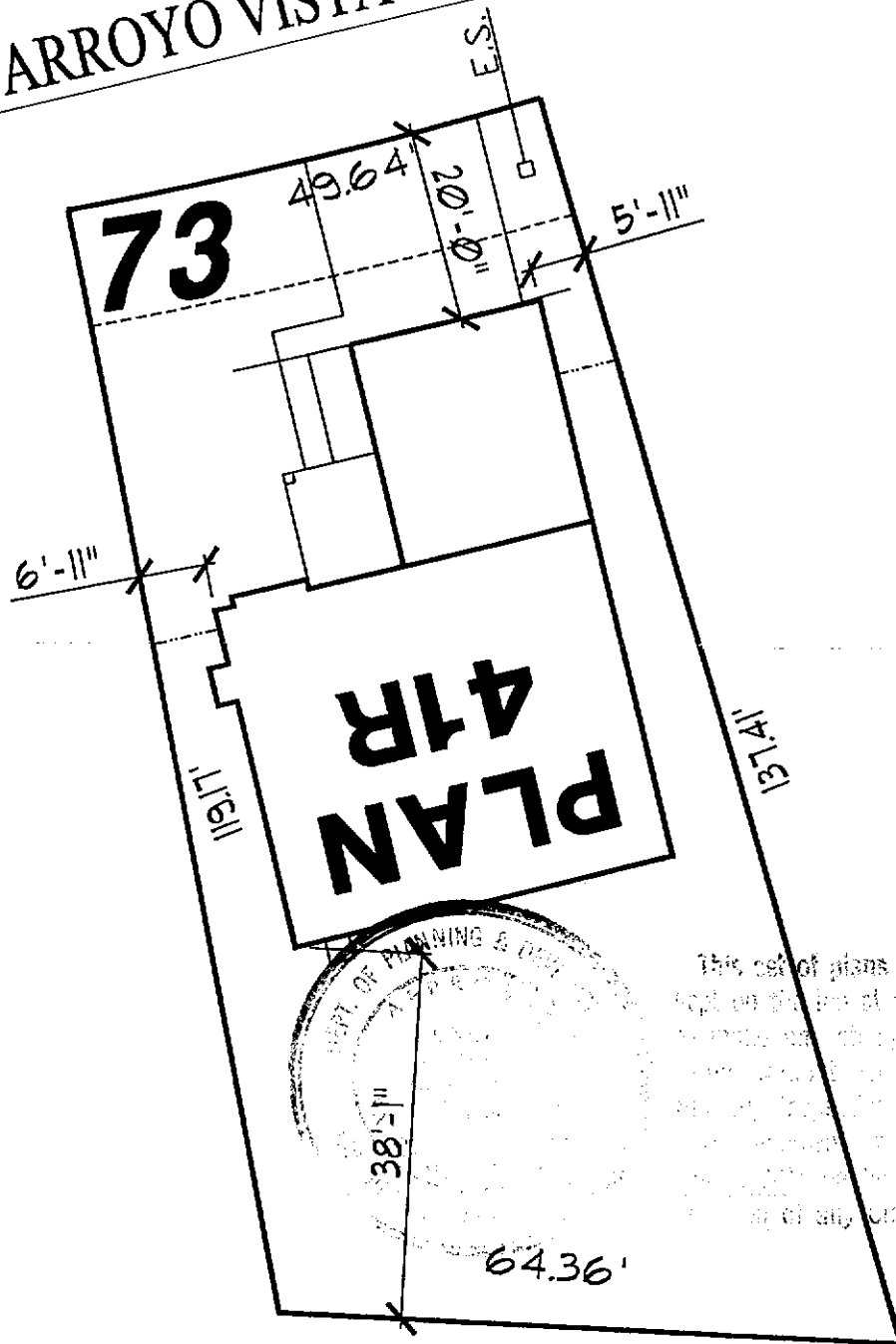
CONSOLIDATED UTILITY BILLING USE ONLY

ACCT _____ INPUT _____ START _____

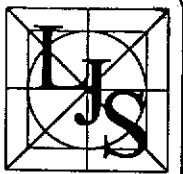
BILLING COPY

1 STORY HOUSE
 2 - CAR GARAGE

ARROYO VISTA DRIVE

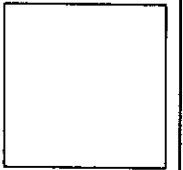


This set of plans and specifications must be kept on the lot at all times and it is unlawful to make any changes or alterations from the same without the express permission from the City of Laguna Hills, California.



Larry J. Schlichting
 Architect
 J & L Properties
 Architectural Division

| REVISIONS |
|-----------|
| |
| |
| |
| |



JTS
COMMUNITIES
 (916) 971-3820
 3434 Marwood Ave.
 Sacramento, Ca.

SITE PLAN
 LAGUNA RUN SUBDIVISION

LAGUNA RUN

Date FEB. 24, 1988
 Drawn CD
 Job
 Scale AS NOTED
 Sheet

| | | | |
|-------------------------|------|----------------------|------|
| APPROVED FOR RELEASE | DATE | APPROVED BY BUYER | DATE |
|-------------------------|------|----------------------|------|

of Sheets

LR-PLT-1.DWG

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

FEE SUMMARY
FOR PERMIT #9802268
as of 03-23-1998 Permit Status: **APPLIED**

Site Address: **8299 ARROYO VISTA DR SAC**
Parcel No: 1171140057

CONTRACTOR
J & L PROPERTIES
3434 MARCONI AVE
SACRAMENTO
Phone: (916)971-3820

95821

OWNER
J & L PROPERTIES
Phone:

ARCHITECT
Phone:

Nature of Work: NEW SFD, MP, MP#413-2, 1440 SQ. FT. L/A

Permit Valuation: \$94,077.00
Square Footage: 1910

| | | | |
|--------------------------|------------|--------------------------|-------------------|
| Building Permit..... | \$1,021.00 | Water Development Fee: | \$1,835.00 |
| Plan Review/Processing: | \$172.00 | Sewer Development Fee: | \$0.00 |
| Strong Motion Fee..... | \$9.41 | Regional Sanitation Fee: | \$0.00 |
| Coach Recording Fee... | \$0.00 | Bell Avenue Sewer..... | \$0.00 |
| Manuf Housing Fee..... | \$0.00 | Granite Park Fee..... | ?? |
| Auth to Start Work..... | \$0.00 | Pocket Area Bridge..... | \$0.00 |
| Penalty Fee..... | \$0.00 | Pocket Area Road..... | \$0.00 |
| Inspections..... | \$0.00 | Quimby Park Fee..... | \$0.00 |
| Cert of Occupancy..... | \$0.00 | Housing Trust Fund..... | \$0.00 |
| Replace Cards/Plans..... | \$0.00 | Natomas Dev Fees..... | \$0.00 |
| Hsg Process/Surcharge: | \$0.00 | FBA-South Natomas.... | \$0.00 |
| Technology Fee..... | \$47.72 | FBA-Jacinto Creek..... | \$0.00 |
| City Bus Oper Tax..... | \$37.63 | Amount Deferred..... | \$0.00 |
| Const Excise Tax..... | \$752.62 | Refund..... | \$0.00 |
| Res Const Tax..... | \$385.00 | | |
| Processing Fees..... | \$51.00 | | |
| Review Fees..... | ?? | Subtotal..... | \$4,311.38 |
| | | Additional Fees..... | \$0.00 |
| | | TOTAL FEES..... | \$4,311.38 |
| | | Payments..... | \$176.00 |
| | | BALANCE DUE..... | \$4,135.38 |

Norman

June 1, 1998

Scheel

JTS Communities
3434 Marconi Avenue #C
Sacramento, CA 95821

Structural

Re: Epoxy repairs at 2-car garage front - Plan 41R (8315, 8303 & 8299
Arroyo Vista Dr.) (#96030)

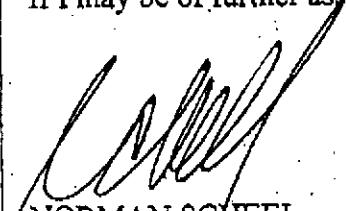
Engineer

To Whom It May Concern:

6939 Sunrise Blvd, Suite 123
Citrus Heights, CA 95610
(916) 726-0612
(916) 726-3189 fax

The epoxy repairs performed on May 28, 1998 were observed by my office to verify hole depth, removal of dust and placement of epoxy and bolt. The epoxy fix was installed per Simpson's recommendations and in our opinion was adequate as installed.

If I may be of further assistance, please call me.


NORMAN SCHEEL
STRUCTURAL ENGINEER

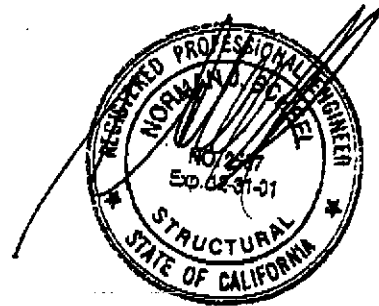
NORMAN SCHEEL
Structural Engineer
email norm@nsse.com

ROBERT COON
Project Manager
email rob@nsse.com

TRACY HARRIS P.E.
Civil Engineer
email tracy@nsse.com

PAULO IBANEZ
Design Engineer
email paulo@nsse.com

STEVEN COOKSEY
C.A.D. Supervisor



Norman
Scheel
Structural
Engineer

6939 Sunrise Blvd, Suite 123
Citrus Heights, CA 95610
(916) 726-0612
(916) 726-3189 fax

June 2, 1998

JTS Communities
3434 Marconi Avenue #C
Sacramento, CA 95821

**RE: Detail verification for shear transfer at rear of garage drag truss - Plan
41R (8315, 8311, 8307, 8303, 8299 & 8295 Arroyo Vista Dr.) (#96030)**

To whom it may concern:

This letter is to verify that for the above lots, the shear transfer as shown in detail
11/S-4 of the approved plans is an acceptable method of transferring the lateral
loads.

If I can be of further assistance, please call me.

[Signature]
NORMAN SCHEEL
STRUCTURAL ENGINEER

NORMAN SCHEEL
Structural Engineer
email norm@nsse.com

ROBERT COON
Project Manager
email rob@nsse.com

TRACY HARRIS P.E.
Civil Engineer
email tracy@nsse.com

PAULO IBANEZ
Design Engineer
email paulo@nsse.com

STEVEN COOKSEY
C.A.D. Supervisor



OMEGA PRODUCTS CORP.

DIAMOND WALL INSULATING STUCCO SYSTEM

ICBO Report #4004

JOB ADDRESS:

8299 ARROYO VISTA DRIVE

Date of Job Completion 6/2/98

PLASTERING CONTRACTOR:

Name: J+L

Address: 3434 MACCARI

Telephone No: (916) 971-3820

Contractor Number of Diamond Wall System 66 00 88

This is to certify that the exterior coating system on the building exterior at the above address has been installed in accordance with the evaluation report specified above and the manufacturer's instructions.

Date 6/23/98

Signature of authorized representative of [Signature]
Plastering Contractor

This installation card must be presented to the building inspector after completion of work and before final inspection.

Norman

Scheel

Structural

Engineer

6939 Sunrise Blvd., Suite 123
Citrus Heights, CA 95610
(916) 726-0612
(916) 726-3189 fax

NORMAN SCHEEL
Structural Engineer
email norm@nsse.com

ROBERT COON
Project Manager
email rob@nsse.com

TRACY HARRIS P.E.
Civil Engineer
email tracy@nsse.com

PAULO IBAÑEZ
Design Engineer
email paulo@nsse.com

STEVEN COOKSEY
C.A.D. Supervisor

May 19, 1998

JTS Communities
3434 Marconi Avenue #C
Sacramento, CA 95821

RE: Correction notice - Various items - Plan 41R (#96030)

To whom it may concern:

This letter is to verify that for the above plan the following items have been addressed:

1. The point loads imposed by the girder truss can be resisted by the continuous footing and minimum rebar. See revised footing calculation due to soils report.
2. For the plans in question, a twist strap and blocking repair has been provided from the girder truss to the house top plate. At the front of the garage, install a Simpson MST37 Strap from the girder truss/blocking to the top plate. See detail for clarification.
3. Due to the front of garage stem wall only being 6" in width, a Simpson HTT16 Holdown straps must be installed instead of the HPAHD22-2P straps previously shown. The HTT16 shall be installed using a 5/8" all-thread rod with 9-1/2" embedment and a Simpson ET22 Epoxy System. In addition, a double stud may be used for the holdown post if the studs are stitch nailed together using 2 rows of 16d Sinkers a 6" O.C. minimum.

If I can be of further assistance, please call me.


NORMAN SCHEEL
STRUCTURAL ENGINEER

ISSUED

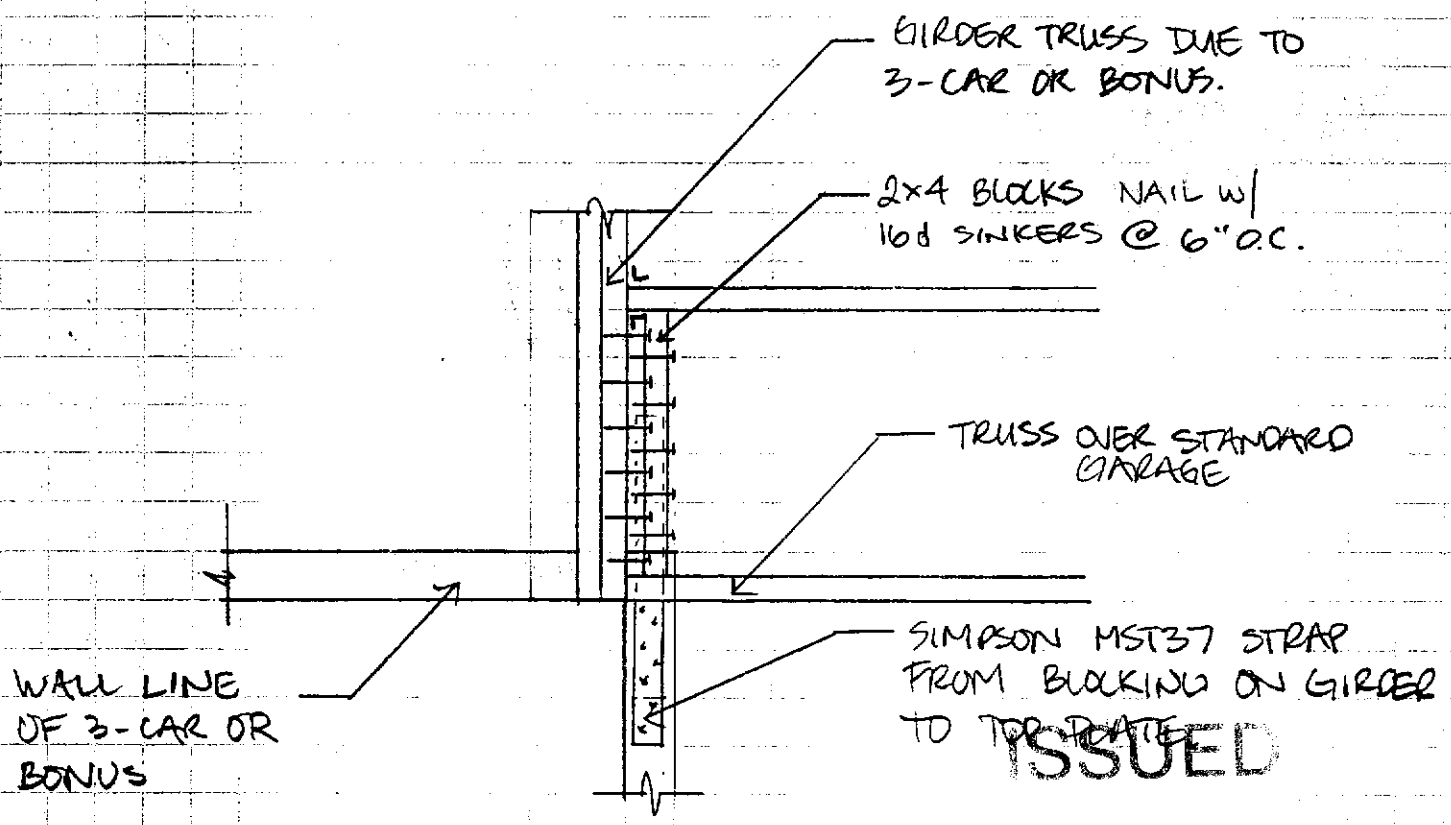
MAY 22 1998

CITY OF SACRAMENTO
DEVELOPMENT SERVICES DIV



NORMAN SCHEEL
STRUCTURAL ENGINEER
6939 SUNRISE BLVD., SUITE 123
CITRUS HEIGHTS, CA 95610

PROJECT: _____
JOB NO: _____ **DATE:** _____
CLIENT: _____
CALCULATED BY: PI
SHEET NO: 2 OF 3

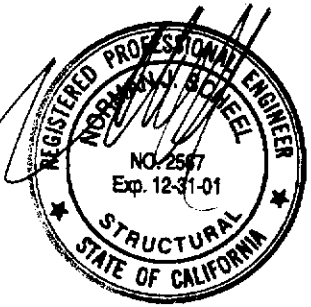


ISSUED

MAY 22 1998

CITY OF SACRAMENTO
DEVELOPMENT SERVICES

STRAP DETAIL @ GARAGE FRONT
N.T.S.



NORMAN SCHEEL
STRUCTURAL ENGINEER
6939 SUNRISE BLVD., SUITE 123
CITRUS HEIGHTS, CA 95610

PROJECT: PLAN 41-R

JOB NO: 96030

DATE: 1-22-96

CLIENT: JTS COMMUNITIES

CALCULATED BY: TH

SHEET NO: 3 OF 3

FOOTING CALCULATIONS

ALLOWABLE SOIL BEARING PRESSURE 1500 PSF

CONTINUOUS FOOTING SPECIFICATIONS

USE 12" WIDE X 12" DEEP CONTINUOUS FOOTING WITH 1- #4
BAR TOP AND BOTTOM

CONTINUOUS FOOTING GOOD FOR: 5291# REACTION

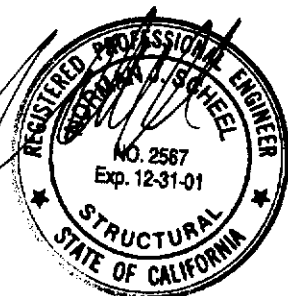
NOTES:

1. ALL CONCRETE TO BE 2500 PSI MINIMUM WITH A 5 SACK MIX.
2. ONE-STORY FOOTINGS DEPTHS TO BE 12" MINIMUM INTO UNDISTURBED SOIL UNLESS SPECIFIED OTHERWISE BY SOIL REPORT.
3. TWO-STORY FOOTINGS DEPTHS TO BE 18" MINIMUM INTO UNDISTURBED SOIL UNLESS SPECIFIED OTHERWISE BY SOIL REPORT.
4. ALL STEEL BARS TO BE GRADE 40 MINIMUM.

ISSUED

MAY 22 1998

CITY OF SACRAMENTO
DEVELOPMENT SERVICES, INC.



Norman

May 22, 1998

Scheel

JTS Communities
3434 Marconi Avenue #C
Sacramento, CA 95821

Structural

RE: Uplift on girder truss at 3-Car / Bonus options - Plan 41R (#96030)

Engineer

To whom it may concern:

6939 Sunrise Blvd, Suite 123
Citrus Heights, CA 95610
(916) 726-0612
(916) 726-3189 fax

This letter is to verify that for the above plan, the girder truss over the garage is not required to have any uplift restraints. The dead load from the garage trusses hanging off the side of the girder will negate any uplift that is created at this location. See attached calculation for further clarification.

If I can be of further assistance, please call me.


NORMAN SCHEEL
STRUCTURAL ENGINEER

NORMAN SCHEEL
Structural Engineer
email norm@nsse.com

ROBERT COON
Project Manager
email rob@nsse.com

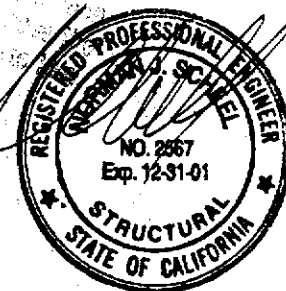
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Civil Engineer
email tracy@nsse.com

PAULO IBANEZ
Design Engineer
email paulo@nsse.com

STEVEN COOKSEY
C.A.D. Supervisor

ISSUED

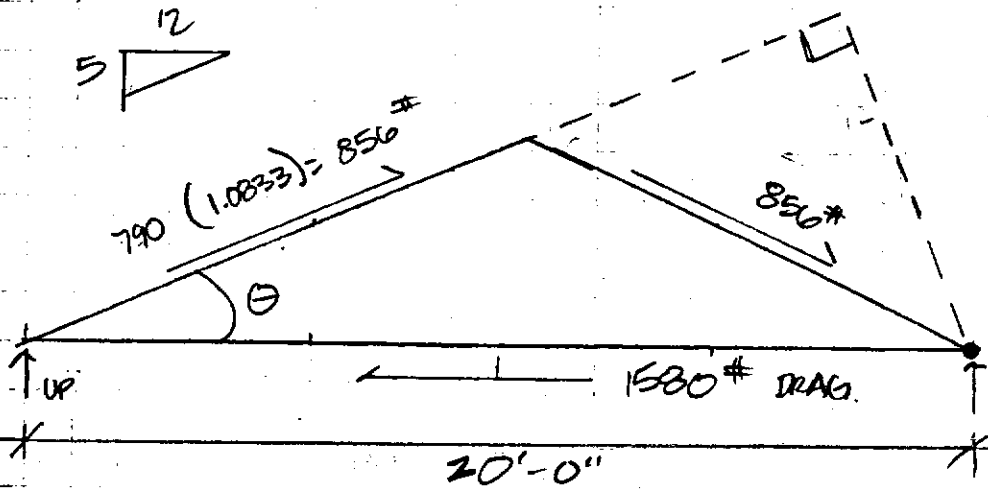
MAY 22 1998



NORMAN SCHELL
 STRUCTURAL ENGINEER
 6939 SUNRISE BLVD., SUITE 123
 CITRUS HEIGHTS, CA 95610

PROJECT: _____
 JOB NO: _____ DATE: _____
 CLIENT: _____
 CALCULATED BY: PI
 SHEET NO: OF

$$P = 79 \text{ PLF} (20) = 1580 \#$$



$$\sum M_e = 0 \Rightarrow \text{UPLIFT} = \frac{856(20)\left(\frac{5}{12}\right) - \frac{21(11)(20)^2}{2}}{20}$$

$$\text{UPLIFT} = -1953 \#$$

∴ NO UPLIFT
 RESTRAINTS REQUIRED
 ON GIRDER.

ISSUED

MAY 22 1998

CITY OF SACRAMENTO
 DEVELOPMENT SERVICES

