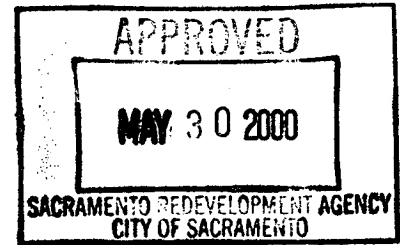




5.3



May 17, 2000



Redevelopment Agency of the City of Sacramento
Sacramento, California

Honorable Members in Session:

SUBJECT: BROADWAY VICTORIAN DISPOSITION AND DEVELOPMENT AGREEMENT.

LOCATION & COUNCIL DISTRICT

3734 Broadway and 3733 5th Avenue are in the Oak Park Redevelopment Project Area in Council District 5

RECOMMENDATION

Staff recommends adoption of the attached resolution(s) which authorize(s) the Executive Director or designee to:

- Execute a Disposition and Development Agreement (DDA) and related documents to transfer Agency owned property located at 3734 Broadway and 3733 5th Avenue to Kynship Development Company
- Approve a budget transfer of \$369,023 from the Oak Park Development Assistance (99 Master Lease Bonds) to the Broadway Victorian Project and make a permanent loan of \$42,788 to Kynship Development Company;
- Make a forgivable loan of \$326,235 to Kynship Development Company for the renovation of the Broadway Victorian and construction of a surface parking lot. Subordinate Agency financing to private construction and permanent financing

CONTACT PERSONS

Jim Hare, Redevelopment Manager, Community Development, 440-1399, ext. 1442
Celia Yniguez, Community Development, 440-1399, ext. 1503

FOR COUNCIL MEETING OF May 30, 2000

SACRAMENTO HOUSING AND REDEVELOPMENT AGENCY

Redevelopment Agency of the City of Sacramento
May 30, 2000
Page 2

SUMMARY

This report recommends authorization for the Agency to enter into a Disposition and Development Agreement with the Kynship Development Company to renovate the Broadway Victorian at 3734 Broadway and construct a surface parking lot at 3733 5th Avenue and transfer \$369,023 from the Oak Park Development Assistance (1999 Master Lease bonds) to the Broadway Victorian Project. The agreement would include two loans totaling \$369,023 from Oak Park redevelopment tax increment funds and the disposition of a parcel with one vacant structure and one vacant lot. The DDA, on file with the Agency Clerk, includes a permanent loan of \$42,788 and a forgivable loan of \$326,235.

PAC ACTION

At its meeting of November 1, 1999 the Oak Park Project Area Committee (PAC) unanimously approved the project. The votes were as follows:

AYES: Brown, Burks, Chandler, Davis, Harris, Johnson, Lampe, Madison, McCalla,
Miller, Parker, White, Williams.

NOES: None

ABSENT: Mitchell, Nash

LOAN COMMITTEE ACTION

At its meeting May 11, 2000, the Sacramento Housing and Redevelopment Agency Loan Committee approved the project. The votes were as follows:

AYES: Burkart, Dobbins, Harland, Meyers

NOES: None

ABSTAIN: Holloway

ABSENT: None

SACRAMENTO HOUSING AND REDEVELOPMENT AGENCY

Redevelopment Agency of the City of Sacramento
May 30, 2000
Page 3

COMMISSION ACTION

At its meeting May 17, 2000, the Sacramento Housing and Redevelopment Commission adopted a motion recommending approval of the attached resolutions. The votes were as follows:

AYES: Amundson, Burns, Castello, Cespedes, Dobbins, Harland, Simon

NOES: None

ABSENT: Holloway, Newsome, Rotz

TABLE OF CONTENTS

BACKGROUND	3
FINANCIAL CONSIDERATIONS.....	5
POLICY CONSIDERATIONS	6
ENVIRONMENTAL REVIEW	7
M/WBE.....	7
RESOLUTIONS	8
ATTACHMENT I.....	10
ATTACHMENT II	11
ATTACHMENT III.....	12
ATTACHMENT IV.....	16

BACKGROUND

Property Information

The Agency purchased 3734 Broadway and 3733 5th Avenue (vacant lot) in 1994. The property had been neglected by previous owners and was severely deteriorated. The Agency stabilized the property with a temporary roof and boarded it.

The single-family residential structure now referred to as the "Broadway Victorian" was constructed in 1910. The two properties total 0.24 acre and are zoned C-1. The building contains 1,492 gross square feet on the first floor and 1,527 gross square feet on the second floor. The house also has a large attic that is not habitable. The Broadway Victorian occupies a key location at the eastern entrance to historic Oak Park (Attachment I). It is one of the largest and most prominent structures in Oak Park. Since 1995, the Agency has marketed the property, but received very limited interest in the property.

SACRAMENTO HOUSING AND REDEVELOPMENT AGENCY

Redevelopment Agency of the City of Sacramento

May 30, 2000

Page 4

Historical Information

Oak Park was the first suburb in Sacramento and was home to many industrial blue-collar workers. Subdivision of the area began in the mid-1880's. Residential and commercial construction increased in 1900 and by 1911 a building boom was underway. During this boom is when the Broadway Victorian was built. Attachment II details the structure's architectural and historical significance. From its completion in 1910 to 1945, five different individuals or families occupied the Victorian as a residence. In 1945 the building's longest occupant, Dr. E. Blechschmidt, a chiropractor, bought the home and established both his residence and business office. Dr. Blechschmidt remained at this location until 1967. The building has been used since as a youth center, a nightclub, and a teen-counseling center. It has been vacant for approximately 8 years. It is anticipated that the structure will be listed on the City Official Register.

Proposal

On September 28, 1999, SHRA received a proposal from Kynship Development Company (KDC) to acquire and redevelop the property. The renovation would repair and replace architectural detailing to match the original or existing. Additionally, some ground floor window openings will be enlarged and a garage door opening framed in with a pair of new windows (Attachment III). The only major element that is missing is the front stairs. In that no plans or photographs of the original stairs have been located, the architect designed a stair that is both functional and architecturally appropriate to the historic structure. Additionally, the proposal includes site landscaping, a wrought iron fence and a fully landscaped parking lot.

The proposal included a commitment from a tenant, the Jesuit Volunteer Corps (JVC) program to lease the building, beginning August 1, 2000. Since the residential structure is located on land zoned C-1, KDC proposed that it be renovate to both commercial and residential standards for later conversion to commercial use when market conditions allow.

Project Concept

The proposed use is as a residence for up to seven participants of the Jesuit Volunteer Corps (JVC) Program. The JVC Program is for recent college graduates that want to provide community service. The JVC Program is a national program operating for 25 years with 13 JV in Sacramento. The JV works for one year at an agency, which provides a stipend of \$8,000 per year. Approximately \$300 - \$350 is for housing and the remaining for living expenses. Participating agencies include Breaking Barriers, Transitional Living and Community Support, Loaves and Fishes, Women's Wisdom Project, California Child, Youth and Family Coalition and St. HOPE Academy. This site is consistent with the Program's mission and philosophy (Attachment IV).

KDC and Agency's development plan calls for conversion of the Broadway Victorian to office. We are hopeful that a commercial office tenant will be interested within two to four years. By

(4)

SACRAMENTO HOUSING AND REDEVELOPMENT AGENCY

Redevelopment Agency of the City of Sacramento

May 30, 2000

Page 5

that time, two new homes will be built on Fifth Avenue as part of YouthBuild, a public parking lot will be constructed on Broadway and 35th Street and renovation and reuse of the Woodruff Hotel and Guild Theater could be complete. These nearby projects will make the Broadway Victorian more attractive to commercial users.

SHRA Actions to Facilitate Schedule

The proposed August 1, 2000 occupancy date requested by the JVC required an aggressive schedule for the project. In order to meet this schedule, the Agency initiated some predevelopment activities in the amount of \$47,000. The Agency commissioned local architect Michael-Malinowski, who is experienced in historic preservation to complete construction drawings. Another predevelopment activity was the removal of a small amount of asbestos. Finally, applications for several approvals were made including Design Review Approval; Official Historic Register Listing; Parcel Merger and Special Permit to Re-establish a Residential Use on a Commercial Zoned Property, and Building Permits.

Developer Background

Kynship Development Company (KDC), a California Limited Partnership, is a real estate development subsidiary of Kynship Enterprises, Inc. (KEI) a California for profit corporation. KDC manages a portfolio of commercial and residential properties in Oak Park. In addition to developing and improving several of its properties, such as the US Bank Building and St. HOPE Academy, KDC provides professional management, maintenance and tenant recruitment for all KEI properties. The principals in the company are Kevin Johnson, President and Kevin Hiestand, Vice President.

With its principal place of business in Oak Park, KEI has always maintained as one of its fundamental goals the betterment of the community and improvement in the quality of life for its residents. KEI strives to achieve this goal through the pursuit of real estate development and other business opportunities, which stimulate growth in communities and lead to reasonable returns on its investment.

Project Requirements

The Agency is placing requirements on the project in order to protect the redevelopment objectives. Included in the DDA will be that the developer shall maintain the historic structure and the property will not be leased to a social service provider.

FINANCIAL CONSIDERATIONS

The total cost to renovate the historic structure and construct the surface parking lot is \$501,040. The figure includes an Agency land contribution set at \$10 in order to financially assist the project. Due to the small amount of leaseable space, 3,018 square feet, and the cost of

SACRAMENTO HOUSING AND REDEVELOPMENT AGENCY

Redevelopment Agency of the City of Sacramento
May 30, 2000
Page 6

renovation, the project can service no more than \$120,000 in debt when it is fully leased as office. The \$120,000 in debt includes a primary loan of \$77,213 from the Nehemiah Community Reinvestment Fund and a \$42,788 loan from the Agency.

Developer equity and an Agency forgivable loan will provide the remaining gap of \$381,040. The loan is forgiven after 30 years if the developer meets the requirements of maintaining the historic structure and not leasing the property to a social service provider.

Below details the project costs and the source of the funds.

Development Item	Total Cost
Agency Land Contribution	\$10
Building Renovation/Parking Lot	\$433,500
Construction Contingency	\$24,275
Developer Fee	\$34,680
Financing & Legal Fees	\$8,575
Total	\$501,040

Sources of Funds	Amount
Developer Equity 10%	\$54,804
Nehemiah CRF – 1 st Position, 5% 30 years	\$77,213
SHRA Forgivable Loan	\$326,235
SHRA Permanent Loan – 2 nd Position, 4% 34 years, payments deferred for 48 months	\$42,788
Total	\$501,040

Agency staff recommends transferring \$326,235 in non-taxable funds and \$42,788 in taxable funds from the Oak Park Development Assistance Project (1999 Master Lease Bonds) to the Broadway Victorian Project.

POLICY CONSIDERATIONS

The recommended actions are consistent with previously approved policy described in the Oak Park Redevelopment Plan, Oak Park Revitalization Strategy, Broadway/Stockton Urban Design Plan and the Oak Park 2000-2004 Implementation Plan. Specifically, the actions will eliminate blight and cause the rehabilitation of an historic property in historic Oak Park.

SACRAMENTO HOUSING AND REDEVELOPMENT AGENCY

Redevelopment Agency of the City of Sacramento

May 30, 2000

Page 7

ENVIRONMENTAL REVIEW

The proposed project is exempt from environmental review pursuant to CEQA Guidelines, Section 15301. All proposed rehabilitation will be conducted consistent with the requirements of the City's adopted historic resources requirements. NEPA does not apply.

M/WBE CONSIDERATIONS

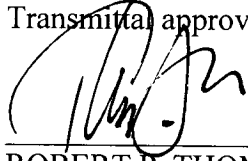
There are no M/WBE considerations associated with this action.

Respectfully submitted,

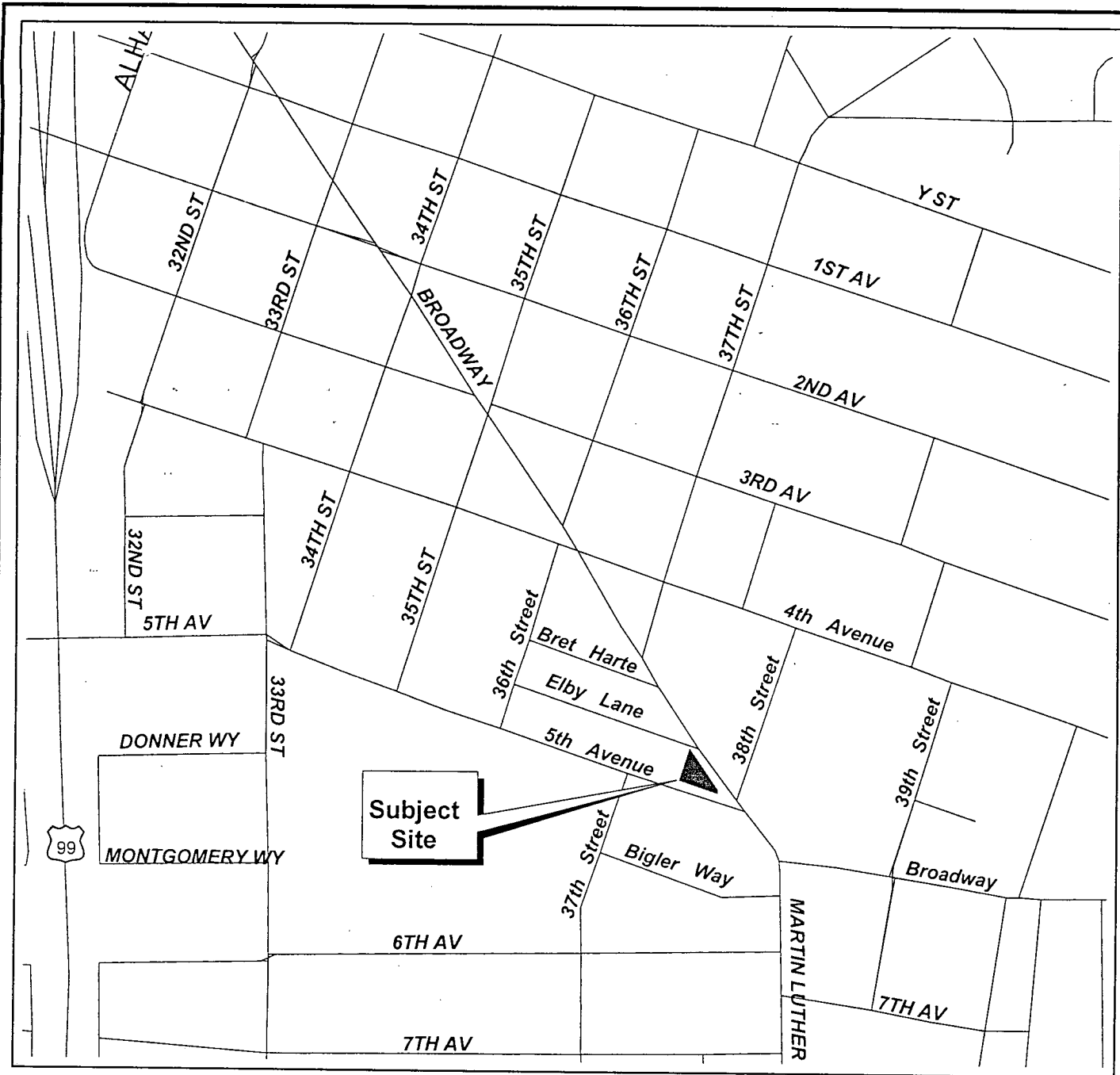


ANNE M. MOORE
Executive Director


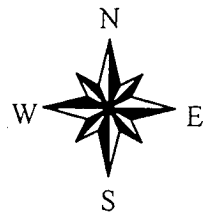
Transmittal approved,



ROBERT P. THOMAS
City Manager



300 0 300 600 Feet



Neighborhoods, Planning
And Development Services
Department

Geographic
Information
System

VICINITY MAP

Broadway Victorian

3734 Broadway, Sacramento CA 95817

APN 013-0153-039

Constructed 1910

Architect unknown

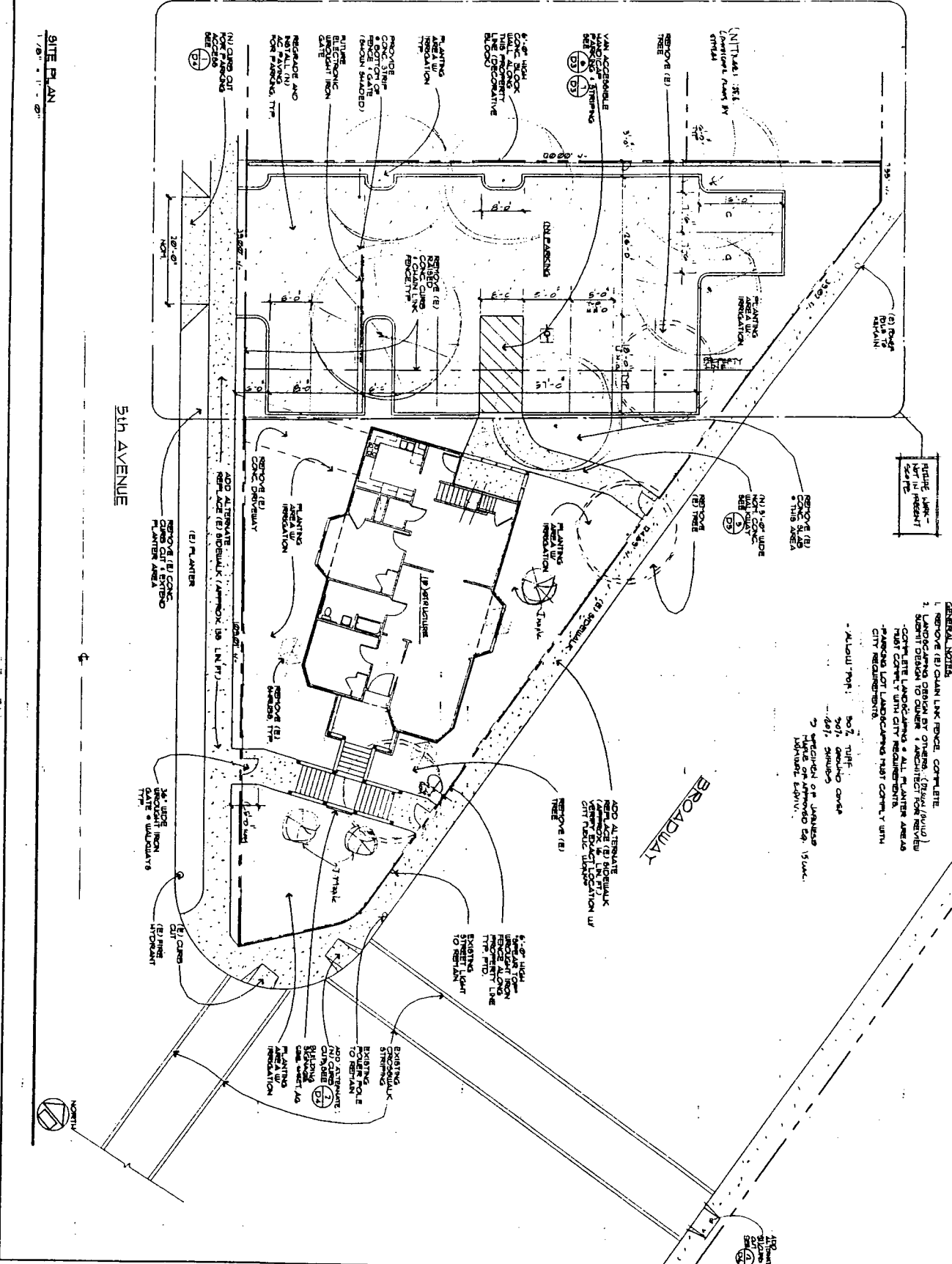
Owner: Sacramento Housing and Redevelopment Agency

Building Architecture

The wood frame residential structure has two stories and an attic beneath its gabled roof. Angled gable bays project from the second floor of the south and east elevations. The second floor entrance is gabled and supported by paneled posts. The building is surfaced with narrow clapboard. A recessed window with lattice arch balustrade lies in the main gable peak. The entry gable contains a floriated bas relief design. Other gables and frieze beneath the eaves are covered with fish scale shingles. The entry porch and stairs have been removed. The ground floor windows have been altered as well as the rear of the structure. There was a fire in the attic and all the windows have been damaged. The building is vacant and boarded. The building stands on the angled lot formed by the intersection of Broadway and 5th Avenue.

Historical Significance

Oak Park is the first Sacramento suburb. Subdivision began in mid-1880. Residential and commercial construction steadily increased in 1900 and by 1911 a building boom was occurring. The first owner of the structure was Mrs. Carrie B. Warner who occupied it after construction in 1910. Mrs. Warner stayed in the house until 1916 when it became the home of Thomas C. Warner, a probable relative. After three years, Harold W. Thomson became the next occupant of the house, staying until 1927. In 1931 Arth and Margaret Wait became the house's next occupants. Mr. Wait, a toolsmith and his wife lived at the house for three years. Robert and Bertha Mitchell who lived there followed them from 1936 to 1945. In 1945 the building's longest occupant, Dr. E. Blechschmidt, a chiropractor, took over title and established both residence and business office there. Dr. Blechschmidt remained until 1967. The building has been used since as a youth center, nightclub and teen-counseling center. It has been vacant for 8 years. Aside from minor interior alteration, the architectural integrity remains in tact. The handsome structure is a good representative of its style and type.



SITE PLAN
1/2" = 1' - 0"

PLANTING AREA -
NOT TO SCALE

- GENERAL NOTES**
1. REMOVE (E) CHAIN LINK FENCE COMPLETE
 2. LANDSCAPING DESIGN BY OTHERS. (BUSH/PLANT) NOT TO SCALE
 3. VERIFY DESIGN TO OWNER & ALL PLANTER AREAS
 4. VERIFY CITY REQUIREMENTS
 5. VERIFY LOT LANDSCAPING THAT COMPLY WITH CITY REQUIREMENTS
- Allow Top: 50'2" TUBE
50'1" SHIELDING
3" DISTANCE OF JUNCTIONS
3" DISTANCE OF APPROVED SQ. 15' MAX.
ADJUSTABLE ELEVATION

APPLIED ARCHITECTURE
INCORPORATED

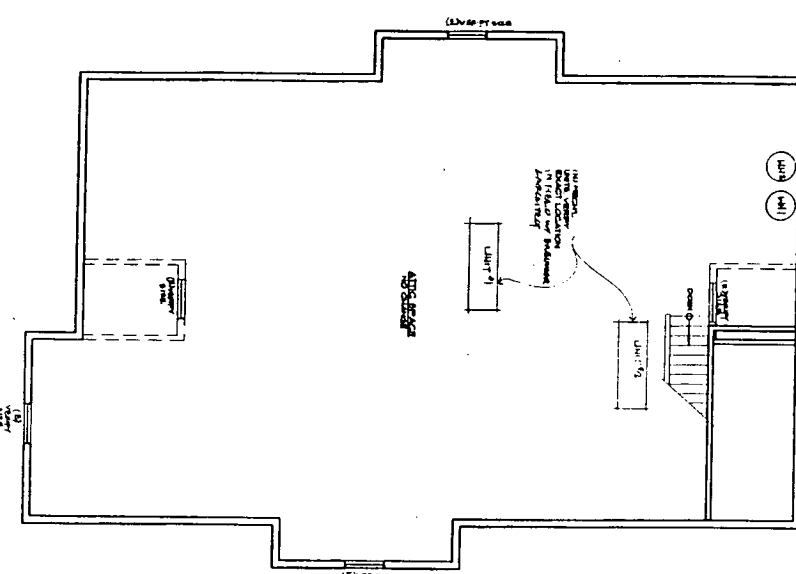
DATE: 1/11/00
BY: AS NOTED
SCALE: AS NOTED
SHEET: 1/1

A1

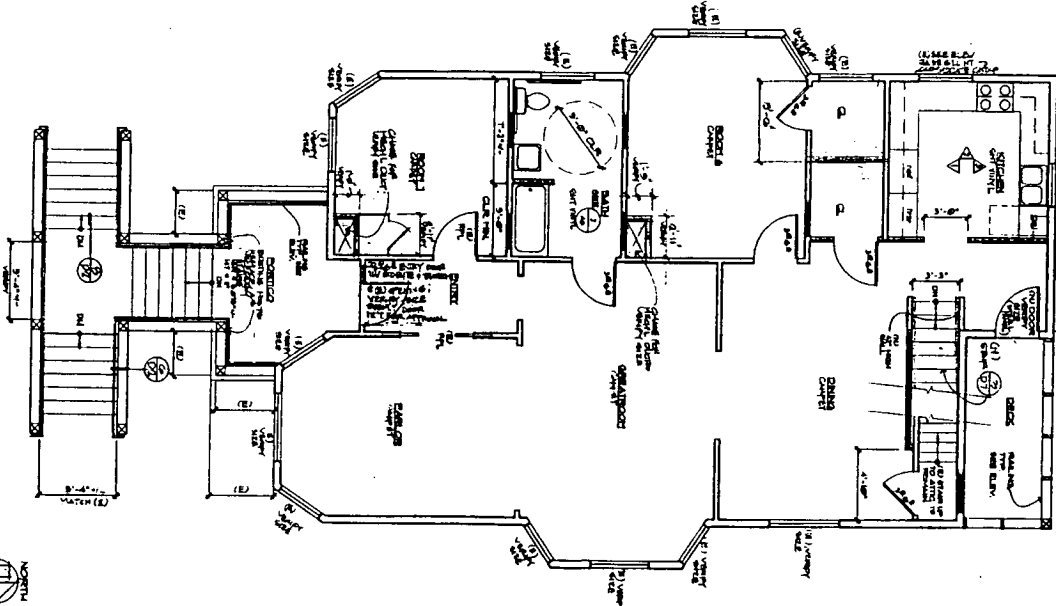
3734 BROADWAY
Sacramento, CA 95817



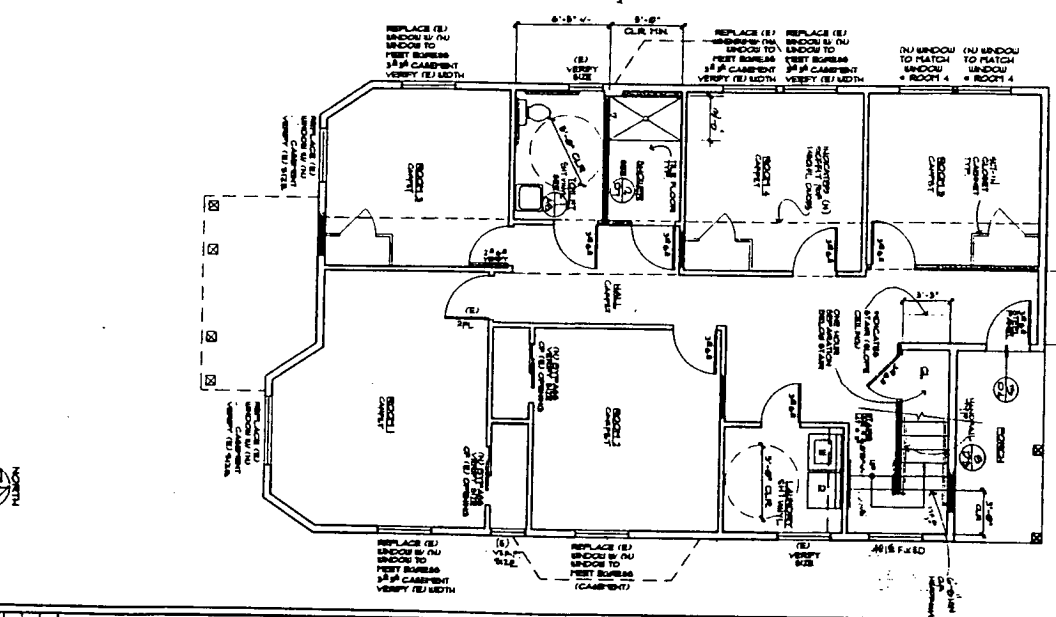
- GENERAL NOTES**
1. VERIFY ALL OPERATIONS PRIOR TO PROCEEDING.
 2. SEE DETAILS FOR DOOR AND WINDOW REQUIREMENTS.
 3. ALL INTERIOR ROOMS SHALL BE HARDWOOD FLOOR FINISH. ALL INTERIOR WALLS SHALL BE GYPSONUM BOARD. ALL INTERIOR CEILING SHALL BE GYPSONUM BOARD. ALL INTERIOR DOORS SHALL BE SOLID (RESIDENTIAL) OR DOOR CONTRACTOR, UNLESS NOTED OTHERWISE.
 4. (1) CHANGES TO THIS PLAN SHALL BE MADE BY THE ARCHITECT. (2) CHANGES TO THIS PLAN SHALL BE MADE BY THE ARCHITECT. (3) CHANGES TO THIS PLAN SHALL BE MADE BY THE ARCHITECT.
 5. ALL NEW ROOMS SHALL MATCH EXISTING ROOMS FOR FINISHES AND MATERIALS. ALL NEW ROOMS SHALL BE GYPSONUM BOARD WALLS, GYPSONUM BOARD CEILING, AND HARDWOOD FLOOR FINISH. ALL NEW ROOMS SHALL BE GYPSONUM BOARD WALLS, GYPSONUM BOARD CEILING, AND HARDWOOD FLOOR FINISH.



6. MATCH ROOMS TO EXISTING ROOMS FOR FINISHES AND MATERIALS. ALL NEW ROOMS SHALL BE GYPSONUM BOARD WALLS, GYPSONUM BOARD CEILING, AND HARDWOOD FLOOR FINISH. ALL NEW ROOMS SHALL BE GYPSONUM BOARD WALLS, GYPSONUM BOARD CEILING, AND HARDWOOD FLOOR FINISH.
7. MATCH ROOMS TO EXISTING ROOMS FOR FINISHES AND MATERIALS. ALL NEW ROOMS SHALL BE GYPSONUM BOARD WALLS, GYPSONUM BOARD CEILING, AND HARDWOOD FLOOR FINISH. ALL NEW ROOMS SHALL BE GYPSONUM BOARD WALLS, GYPSONUM BOARD CEILING, AND HARDWOOD FLOOR FINISH.
8. MATCH ROOMS TO EXISTING ROOMS FOR FINISHES AND MATERIALS. ALL NEW ROOMS SHALL BE GYPSONUM BOARD WALLS, GYPSONUM BOARD CEILING, AND HARDWOOD FLOOR FINISH. ALL NEW ROOMS SHALL BE GYPSONUM BOARD WALLS, GYPSONUM BOARD CEILING, AND HARDWOOD FLOOR FINISH.



9. MATCH ROOMS TO EXISTING ROOMS FOR FINISHES AND MATERIALS. ALL NEW ROOMS SHALL BE GYPSONUM BOARD WALLS, GYPSONUM BOARD CEILING, AND HARDWOOD FLOOR FINISH. ALL NEW ROOMS SHALL BE GYPSONUM BOARD WALLS, GYPSONUM BOARD CEILING, AND HARDWOOD FLOOR FINISH.
10. MATCH ROOMS TO EXISTING ROOMS FOR FINISHES AND MATERIALS. ALL NEW ROOMS SHALL BE GYPSONUM BOARD WALLS, GYPSONUM BOARD CEILING, AND HARDWOOD FLOOR FINISH. ALL NEW ROOMS SHALL BE GYPSONUM BOARD WALLS, GYPSONUM BOARD CEILING, AND HARDWOOD FLOOR FINISH.
11. MATCH ROOMS TO EXISTING ROOMS FOR FINISHES AND MATERIALS. ALL NEW ROOMS SHALL BE GYPSONUM BOARD WALLS, GYPSONUM BOARD CEILING, AND HARDWOOD FLOOR FINISH. ALL NEW ROOMS SHALL BE GYPSONUM BOARD WALLS, GYPSONUM BOARD CEILING, AND HARDWOOD FLOOR FINISH.



ATTIC FLOOR PLAN
1/4" = 1'-0"

SECOND FLOOR PLAN
1/4" = 1'-0"

LOWER FLOOR PLAN
1/4" = 1'-0"



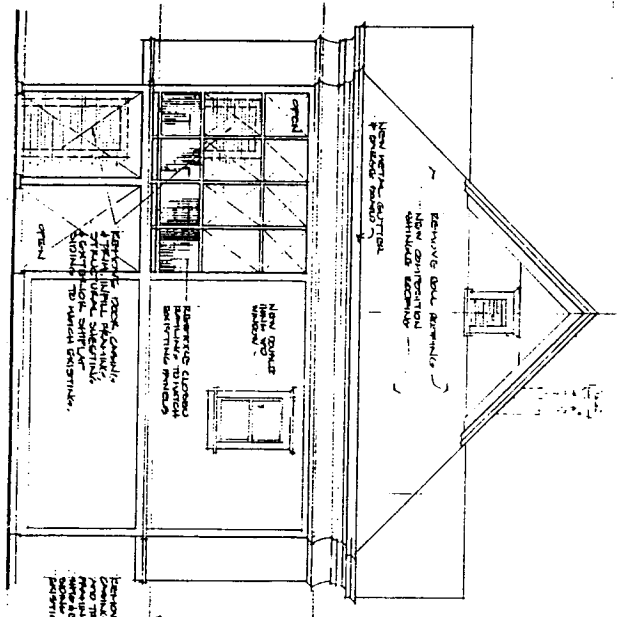
WALL LEGEND

---	0 1/2" x 4" x 8" G.C. AND
---	1 1/2" x 4" x 8" G.C. AND
---	2 1/2" x 4" x 8" G.C. AND
---	3 1/2" x 4" x 8" G.C. AND
---	4 1/2" x 4" x 8" G.C. AND
---	5 1/2" x 4" x 8" G.C. AND
---	6 1/2" x 4" x 8" G.C. AND
---	7 1/2" x 4" x 8" G.C. AND
---	8 1/2" x 4" x 8" G.C. AND
---	9 1/2" x 4" x 8" G.C. AND
---	10 1/2" x 4" x 8" G.C. AND
---	11 1/2" x 4" x 8" G.C. AND
---	12 1/2" x 4" x 8" G.C. AND
---	13 1/2" x 4" x 8" G.C. AND
---	14 1/2" x 4" x 8" G.C. AND
---	15 1/2" x 4" x 8" G.C. AND
---	16 1/2" x 4" x 8" G.C. AND
---	17 1/2" x 4" x 8" G.C. AND
---	18 1/2" x 4" x 8" G.C. AND
---	19 1/2" x 4" x 8" G.C. AND
---	20 1/2" x 4" x 8" G.C. AND
---	21 1/2" x 4" x 8" G.C. AND
---	22 1/2" x 4" x 8" G.C. AND
---	23 1/2" x 4" x 8" G.C. AND
---	24 1/2" x 4" x 8" G.C. AND
---	25 1/2" x 4" x 8" G.C. AND
---	26 1/2" x 4" x 8" G.C. AND
---	27 1/2" x 4" x 8" G.C. AND
---	28 1/2" x 4" x 8" G.C. AND
---	29 1/2" x 4" x 8" G.C. AND
---	30 1/2" x 4" x 8" G.C. AND
---	31 1/2" x 4" x 8" G.C. AND
---	32 1/2" x 4" x 8" G.C. AND
---	33 1/2" x 4" x 8" G.C. AND
---	34 1/2" x 4" x 8" G.C. AND
---	35 1/2" x 4" x 8" G.C. AND
---	36 1/2" x 4" x 8" G.C. AND
---	37 1/2" x 4" x 8" G.C. AND
---	38 1/2" x 4" x 8" G.C. AND
---	39 1/2" x 4" x 8" G.C. AND
---	40 1/2" x 4" x 8" G.C. AND
---	41 1/2" x 4" x 8" G.C. AND
---	42 1/2" x 4" x 8" G.C. AND
---	43 1/2" x 4" x 8" G.C. AND
---	44 1/2" x 4" x 8" G.C. AND
---	45 1/2" x 4" x 8" G.C. AND
---	46 1/2" x 4" x 8" G.C. AND
---	47 1/2" x 4" x 8" G.C. AND
---	48 1/2" x 4" x 8" G.C. AND
---	49 1/2" x 4" x 8" G.C. AND
---	50 1/2" x 4" x 8" G.C. AND
---	51 1/2" x 4" x 8" G.C. AND
---	52 1/2" x 4" x 8" G.C. AND
---	53 1/2" x 4" x 8" G.C. AND
---	54 1/2" x 4" x 8" G.C. AND
---	55 1/2" x 4" x 8" G.C. AND
---	56 1/2" x 4" x 8" G.C. AND
---	57 1/2" x 4" x 8" G.C. AND
---	58 1/2" x 4" x 8" G.C. AND
---	59 1/2" x 4" x 8" G.C. AND
---	60 1/2" x 4" x 8" G.C. AND
---	61 1/2" x 4" x 8" G.C. AND
---	62 1/2" x 4" x 8" G.C. AND
---	63 1/2" x 4" x 8" G.C. AND
---	64 1/2" x 4" x 8" G.C. AND
---	65 1/2" x 4" x 8" G.C. AND
---	66 1/2" x 4" x 8" G.C. AND
---	67 1/2" x 4" x 8" G.C. AND
---	68 1/2" x 4" x 8" G.C. AND
---	69 1/2" x 4" x 8" G.C. AND
---	70 1/2" x 4" x 8" G.C. AND
---	71 1/2" x 4" x 8" G.C. AND
---	72 1/2" x 4" x 8" G.C. AND
---	73 1/2" x 4" x 8" G.C. AND
---	74 1/2" x 4" x 8" G.C. AND
---	75 1/2" x 4" x 8" G.C. AND
---	76 1/2" x 4" x 8" G.C. AND
---	77 1/2" x 4" x 8" G.C. AND
---	78 1/2" x 4" x 8" G.C. AND
---	79 1/2" x 4" x 8" G.C. AND
---	80 1/2" x 4" x 8" G.C. AND
---	81 1/2" x 4" x 8" G.C. AND
---	82 1/2" x 4" x 8" G.C. AND
---	83 1/2" x 4" x 8" G.C. AND
---	84 1/2" x 4" x 8" G.C. AND
---	85 1/2" x 4" x 8" G.C. AND
---	86 1/2" x 4" x 8" G.C. AND
---	87 1/2" x 4" x 8" G.C. AND
---	88 1/2" x 4" x 8" G.C. AND
---	89 1/2" x 4" x 8" G.C. AND
---	90 1/2" x 4" x 8" G.C. AND
---	91 1/2" x 4" x 8" G.C. AND
---	92 1/2" x 4" x 8" G.C. AND
---	93 1/2" x 4" x 8" G.C. AND
---	94 1/2" x 4" x 8" G.C. AND
---	95 1/2" x 4" x 8" G.C. AND
---	96 1/2" x 4" x 8" G.C. AND
---	97 1/2" x 4" x 8" G.C. AND
---	98 1/2" x 4" x 8" G.C. AND
---	99 1/2" x 4" x 8" G.C. AND
---	100 1/2" x 4" x 8" G.C. AND

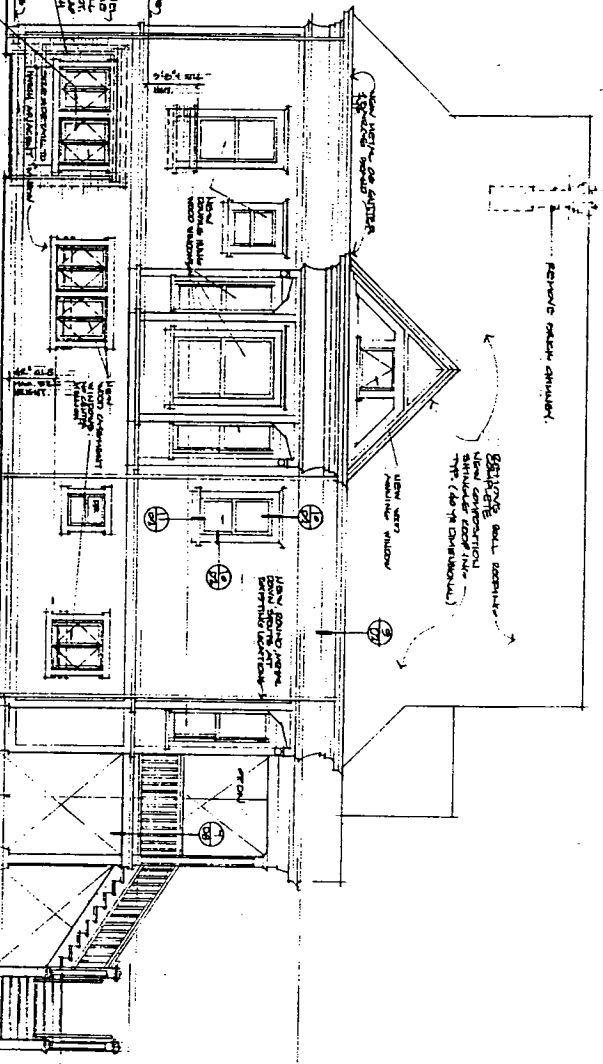
3734 BROADWAY
Sacramento, CA 95817

APPLIED ARCHITECTURE
A 3
1/4" = 1'-0"

WEST (REAR) ELEVATION
 EXTERIOR ELEVATIONS



SOUTH (5th AVENUE) ELEVATION



SCALE:
 1" = 4'-0"
 1/4" = 1'-0"

47

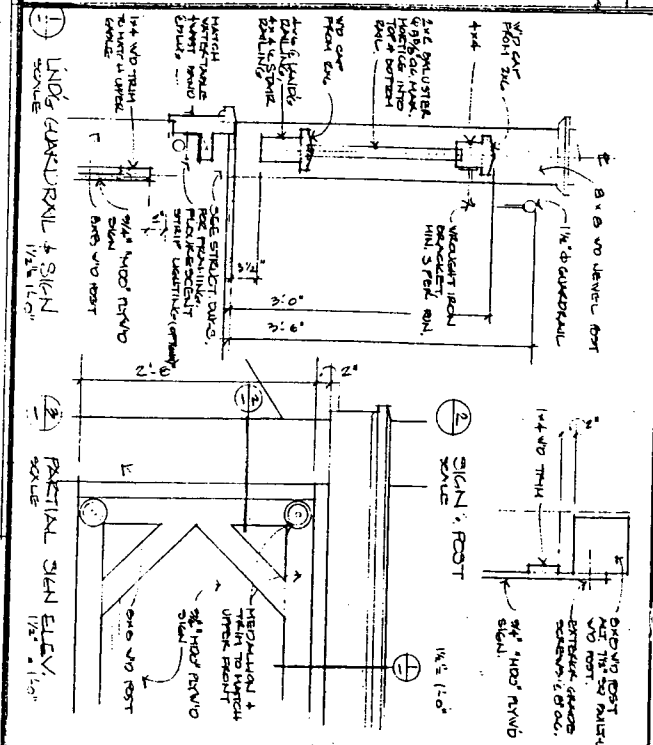
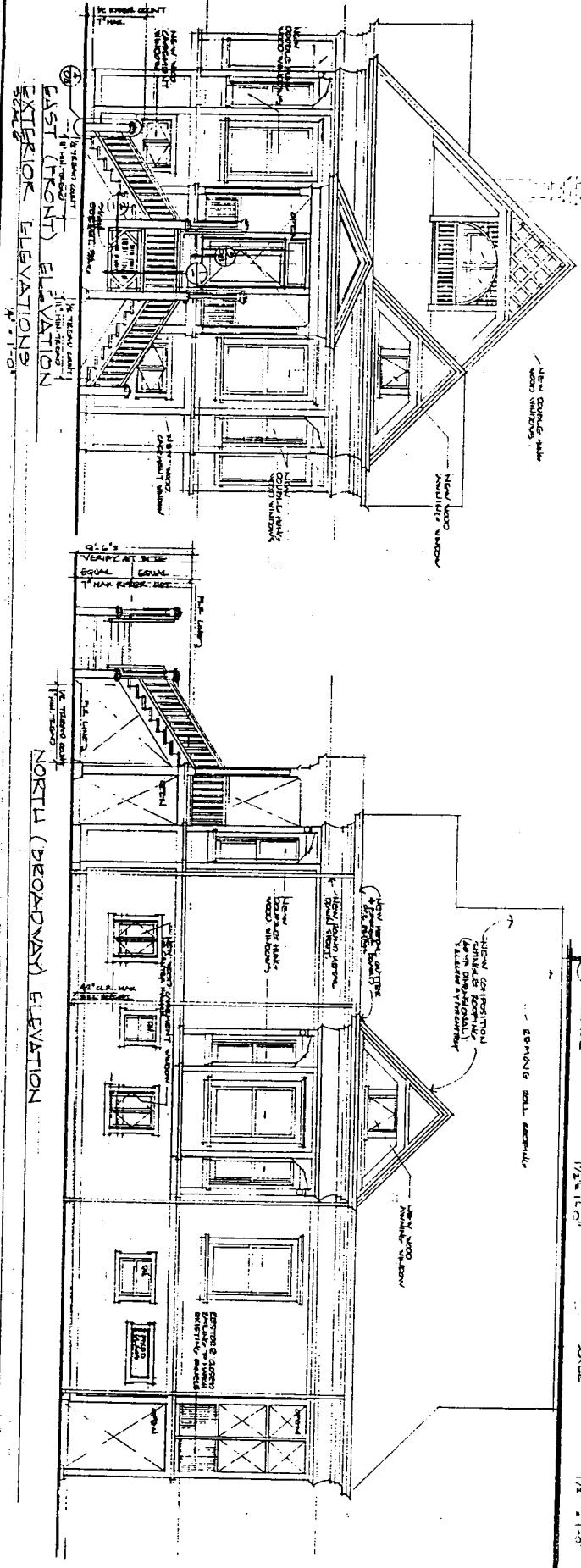
APPLIED ARCHITECTURE
 INCORPORATED

Michael Frank Hoffmann
 AIA Architect
 1400 Street
 Sacramento, CA 95811

3734 BROADWAY
 Sacramento, CA 95817

GENERAL NOTES:

1. Remove storks and trim to remain on structure. Reattach all loose roof damaged pieces of lead to metal sheathing. Install new lead on damaged areas. Seal all joints with lead flashing. Apply lead flashing to all roof joints. Apply lead flashing to all roof joints. Apply lead flashing to all roof joints.
2. All vent assemblies shall be located at the south side (see details) and group together as much as possible (Type B).
3. Repair or replace roof system as indicated typical.
4. Contractor shall obtain the building permit and shall provide the necessary details for the same.
5. All work shall be done in accordance with the building code and shall be subject to the approval of the local building department.
6. All work shall be done in accordance with the building code and shall be subject to the approval of the local building department.
7. All work shall be done in accordance with the building code and shall be subject to the approval of the local building department.
8. All work shall be done in accordance with the building code and shall be subject to the approval of the local building department.
9. All work shall be done in accordance with the building code and shall be subject to the approval of the local building department.



46
1/16/10
APPLIED ARCHITECTURE INCORPORATED

3734 BROADWAY
Sacramento, CA 95817

JESUIT VOLUNTEER PROGRAM

The Jesuit Volunteer Corps (JVC) is a national program, which has operated for 25 years. JVC follows a mission and philosophy which comprises of 4 main values:

****Social Justice**

By volunteering at **worthwhile** community based organizations, the JV's hope to make a tangible difference in the lives of marginalized people 'in their daily struggle for Justice, dignity and human rights. They do this by forming relationships with the poor.

****Simple Lifestyle**

To live on a small stipend in a low-income neighborhood and to become more aware of the daily realities of those whom they work with and are trying to assist.

****Community Living**

Community living gives volunteers a dependable way to give and receive support based on shared Christians values and a common desire to work for justice.

****Spirituality**

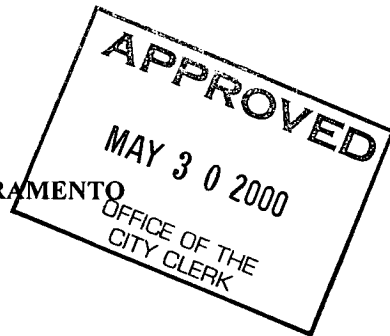
Jesuit volunteers work actively for and with the poor. It is important that they be active in reflecting God's presence in their work and with the people they serve.

In summary, the JVC's are recent college graduates committed to giving back to the community. They provide vibrancy, energy and additional resources to the neighborhood in which they live. It is our goal that more Oak Park community service organizations become aware of the invaluable services of the JVC program.

RESOLUTION NO. 2000-036

ADOPTED BY THE REDEVELOPMENT AGENCY OF THE CITY OF SACRAMENTO

ON DATE OF



BROADWAY VICTORIAN: OAK PARK PROJECT AREA, CEQA EXEMPTION, AND AUTHORIZATION FOR EXECUTION OF 3734 BROADWAY AND 3733 5TH AVENUE DISPOSITION AND DEVELOPMENT AGREEMENT WITH KYNSHIP DEVELOPMENT COMPANY

WHEREAS, the Redevelopment Agency of the City of Sacramento (Agency) and Kynship Development Company (Developer) propose to enter into a disposition and development agreement (DDA) and related agreements pursuant to which the Agency will sell the property at 3734 Broadway and 3733 5th Avenue (Property) in the Oak Park Redevelopment Project Area to Developer, and Developer will develop the Broadway Victorian;

WHEREAS, the proposed DDA and a summary report meeting the requirements of Health and Safety Code Section 33433 (Summary Report) were made available for public inspection consistent with the requirements of Health and Safety Code Section 33433;

WHEREAS, a joint public hearing of the City and the Agency on the proposed DDA was duly noticed and held in accordance with the requirements of Health and Safety Code Section 33431, and at that hearing the City and the Agency evaluated the Summary Report and all of the information, testimony, and evidence presented during the public hearing;

WHEREAS, the sale and redevelopment of the Property will assist in the elimination of blight and will further the goals of the Implementation Plan for the Oak Park Redevelopment Project Area by the assembly of irregular and underutilized parcels of real property for the preservation of a historically significant structure, creation of attractive new housing opportunities at various affordability levels, and development of a parking lot on a vacant parcel; and

WHEREAS, the consideration for the Property pursuant to the proposed DDA will be not be less than the fair reuse value of the Property as set forth in the Summary Report.

BE IT RESOLVED BY THE REDEVELOPMENT AGENCY OF THE CITY OF SACRAMENTO:

Section 1. The Agency hereby finds and determines, based upon substantial evidence provided in the record before it, that the consideration for the disposition of the Property pursuant to the terms and conditions of the proposed DDA is not less than the fair reuse value of

FOR CITY CLERK USE ONLY

RESOLUTION NO.: _____

DATE ADOPTED: _____

the Property in accordance with the covenants and conditions governing the Property and the development costs required under the proposed DDA.

Section 2. The Agency hereby finds and determines that the disposition of the Property pursuant to the proposed DDA will assist in the elimination of blight.

Section 3. The Agency hereby finds and determines that the DDA is consistent with the Implementation Plan for the Oak Park Redevelopment Project Area.

Section 4. The Agency hereby finds and determines that the proposed project is exempt from environmental review pursuant to CEQA Guidelines, Section 15301. All proposed rehabilitation will be conducted consistent with the requirements of the City's adopted historic resources requirements.

Section 5. The Agency approves the DDA and related agreements with the Developer for the purchase and sale and development of the Property as provided in the DDA.

Section 6. The Executive Director is authorized to execute the DDA and related agreements, in substantially the form on file with the Agency Clerk, subject to modifications as approved by Agency Counsel, and to enter into other agreements, execute other documents and perform other actions necessary to provide funding assistance to the Developer and to ensure proper repayment and/or forgiveness of Agency funds, including without limitation, subordination, extensions and restructuring of payments, all as approved by Agency Counsel.

Section 6. The Executive Director is authorized to modify or amend the agreements and documents with the approval of Agency Counsel.

Section 7. The Executive Director is authorized to disburse and receive funds for the above purposes, as provided in the DDA.

Section 8. The Agency Budget is amended to transfer \$369,023 from the Oak Park Development Assistance Project (1999 Master Lease Bonds) to the Broadway Victorian Project.

CHAIR

ATTEST:

SECRETARY

FOR CITY CLERK USE ONLY

RESOLUTION NO.: _____

DATE ADOPTED: _____