

CITY OF SACRAMENTO

Permit No: 9900797

1231 I Street, Sacramento, CA 95814

Insp Area: 4

Site Address: 3717 LILY ST SAC

Sub-Type: AOTHR

Parcel No: 252-0121-006

Housing (Y/N): N

CONTRACTOR

OWNER

ARCHITECT

HERNANDEZ, IMELDA; ZEPEDA JOHNNY & ANTONIO

Nature of Work: TOTAL REHAB OF SINGLE FAMILY DWELLING

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class _____ License Number _____ Date _____ Contractor Signature _____

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

12

I, _____, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B & PC for this reason: _____

Date 3-1-99 Owner Signature [Signature]

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 3-1-99 Applicant/Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____ Exp Date _____

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I will not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 3-1-99 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

OWNER-BUILDER VERIFICATION
ATTENTION PROPERTY OWNER

An owner-builder building permit has been applied for in your name and bearing your signature.

Please complete and return this information in the envelope provided at your earliest opportunity to avoid unnecessary delay in processing and issuing your building permit. No building permit will be issued until this verification is received.

1. I personally plan to provide the major labor and materials for construction of the proposed improvement (yes or no) NA
2. (have) have not NA signed an application for a building permit for the proposed work.
3. I have contracted with the following person (firm) to provide the proposed construction:

Name NA Address _____
City _____ Telephone _____
Contractors License No. _____

4. I plan to provide portions of the work, but I have hired the following person to coordinate, supervise, and provide the major work.

Name NA Address _____
City _____ Telephone _____
Contractors License No. _____

5. I will provide some of the work but I have contracted (hired) the following to provide the work indicated:

Name	Address	Phone	Type of Work
<u>NA</u>			

Signed Tony Popada
Job Address 3417 LILY Date 3-1-99
Permit No.: 9900791

3717 Lily St

HOUSE

← North

2x6 Joists 2'0" C'
ON 4x11 PLATE - EXISTING

6'0" x 6'8" Alum Sliding Door, To replace existing

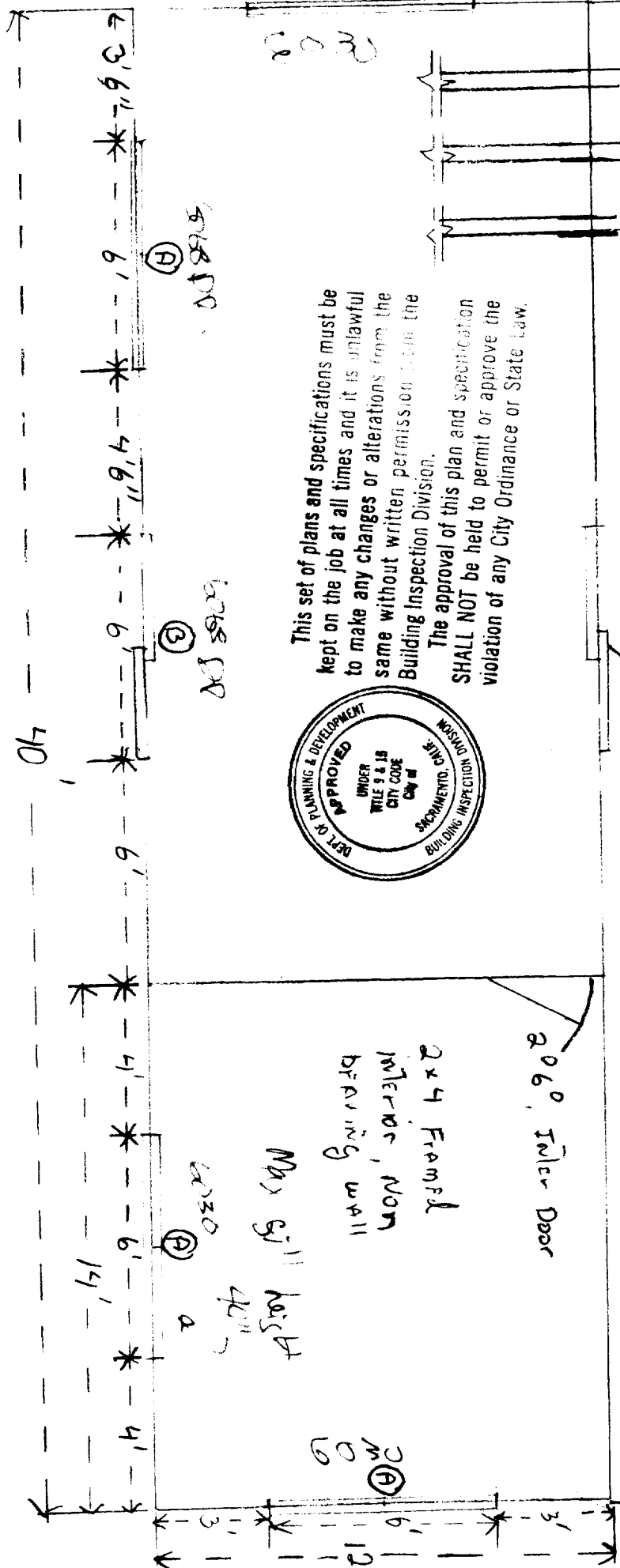
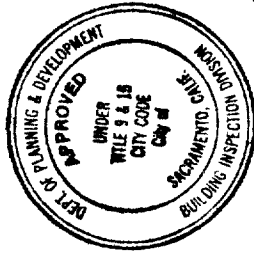
Will must be 50% open min.

2'0" 6'0" Inset Door

2x4 Framed Interior, Non bearing wall

Max 5'11" height

This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.
The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.



Scale 1/4" = 1'

BACK YARD

- (A) 3'0" x 6' Alum Vert Sliding Door Panel
- (B) 6'0" x 6'0" Alum Sliding door Door Panel insulated

6x8 DOOR

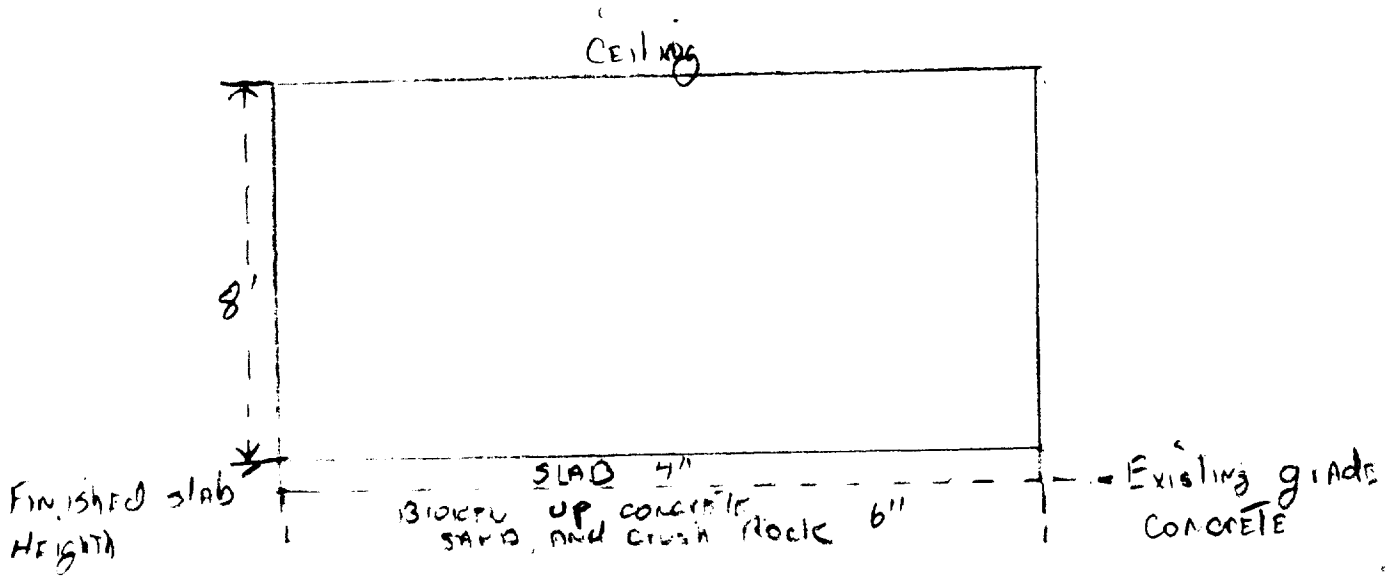
6x8 DOOR

6x8 DOOR

2'0" 6'0" Inset Door

DETAIL SHEET

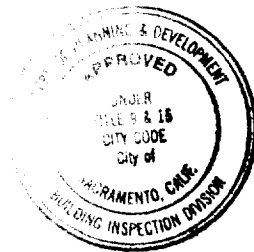
3717 Lily St



ELEVATION - REMODEL (CONCRETE TO CEILING)

Door AND Window Schedule, ENTIRE HOUSE

MARK	SIZE	PART REQ	REMARKS
A	3'0" x 6'0"	4	ALUM INSULATED SLIDING
B	6'0" x 6'8"	2	ALUM SLIDING INSU.
C	4'6" x 3'0"	3	ALUM HORIZ SLIDING INSU
D	5'0" x 9'0"	1	2 SINGLE HUNG BA SIDE OF FIXED * SEE ELEV DETAIL



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

3717
Lily

PLUMBING WORK

Bed Room

EN-

KITCHEN

Both
Rm

REMODEL

Only Plumbing work in main
House will be cosmetic
Bathroom - New shower, toilet sink etc
KITCHEN - No changes

Existing WATER
SERVICE 1" galvanized

CLEAN OUT

Approx 64'
4" ABS WASTE
from HOUSE TO
CITY SEWER LINE
TO REPLACE damage
LINE

- TWO WAY CLEAN OUTS
- 1) BACK OF HOUSE
 - 2) BACK FENCE

This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.
The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

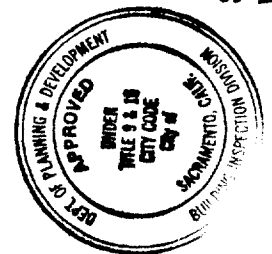
1" App 23' NEW
1" Galvanized To
match existing
To repair damage

WATER
SERVICE

CLEAN OUT

BACK FENCE

CITY SEWER LINE

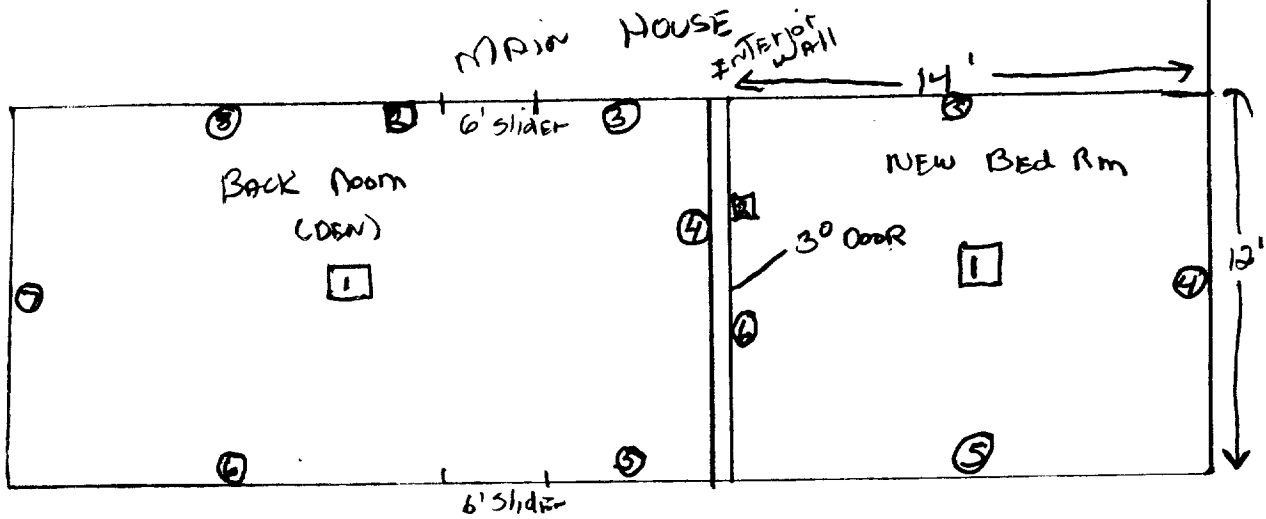


← North

ELECTRICAL WORK

3717 Lily St

200 AMP SERVICE
South wall.
MAIN HOUSE



BACK yd

BACK ROOM

- 1 Ceiling light fixture
- 2 " " Switch
- 3, 4, 5, 6, 7, 8 - OUTLETS

NEW BEDROOM

- 1 Ceiling light fixture
- 2 " " Switch
- 3, 4, 5, 6, . OUTLETS

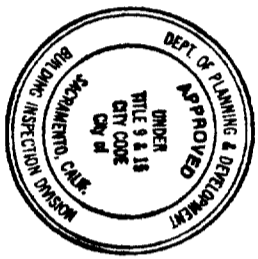
WIRE will be run through walls to ceiling to SERVICE BOX TO CODE, TO 20 AMP BREAKER

BREAKERS - 1 20 AMP
WIRE SIZE - 12 2
grounded

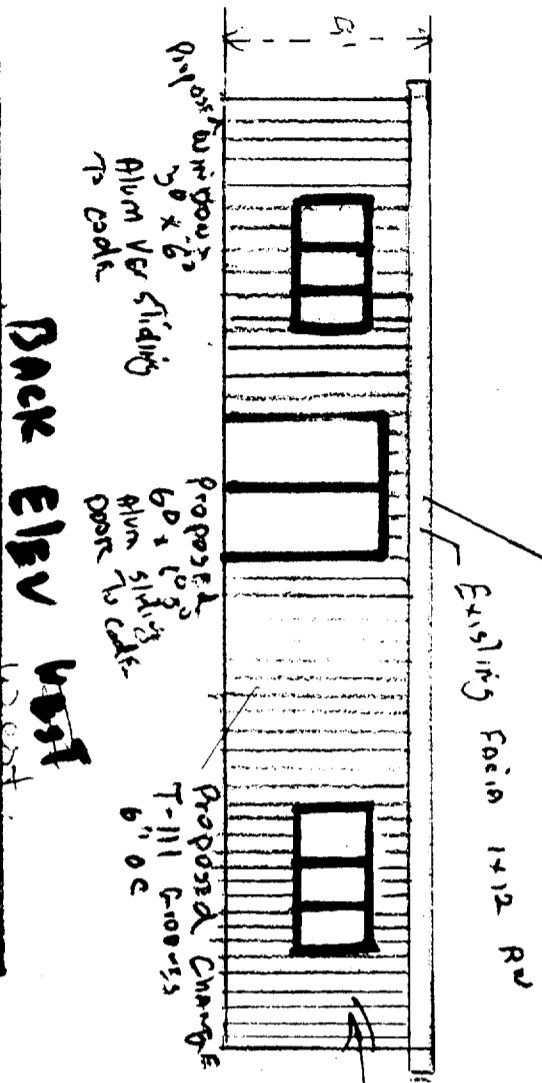


All set of plans and specifications must be followed on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

The approval of this plan and specifications SHALL NOT be held to permit or excuse the violation of any City Ordinance or State Law.



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division. The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

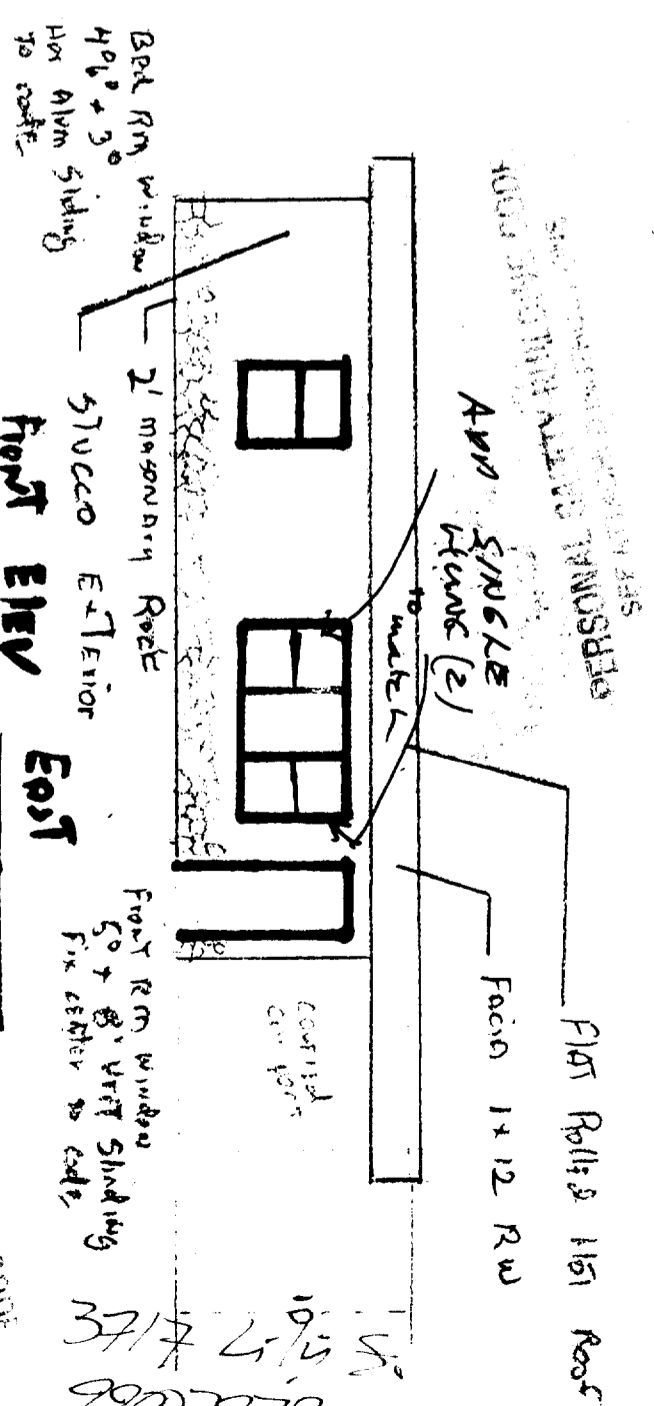


EXISTING ROOF Flat HGT rolled
Existing Facia 1x12 RW

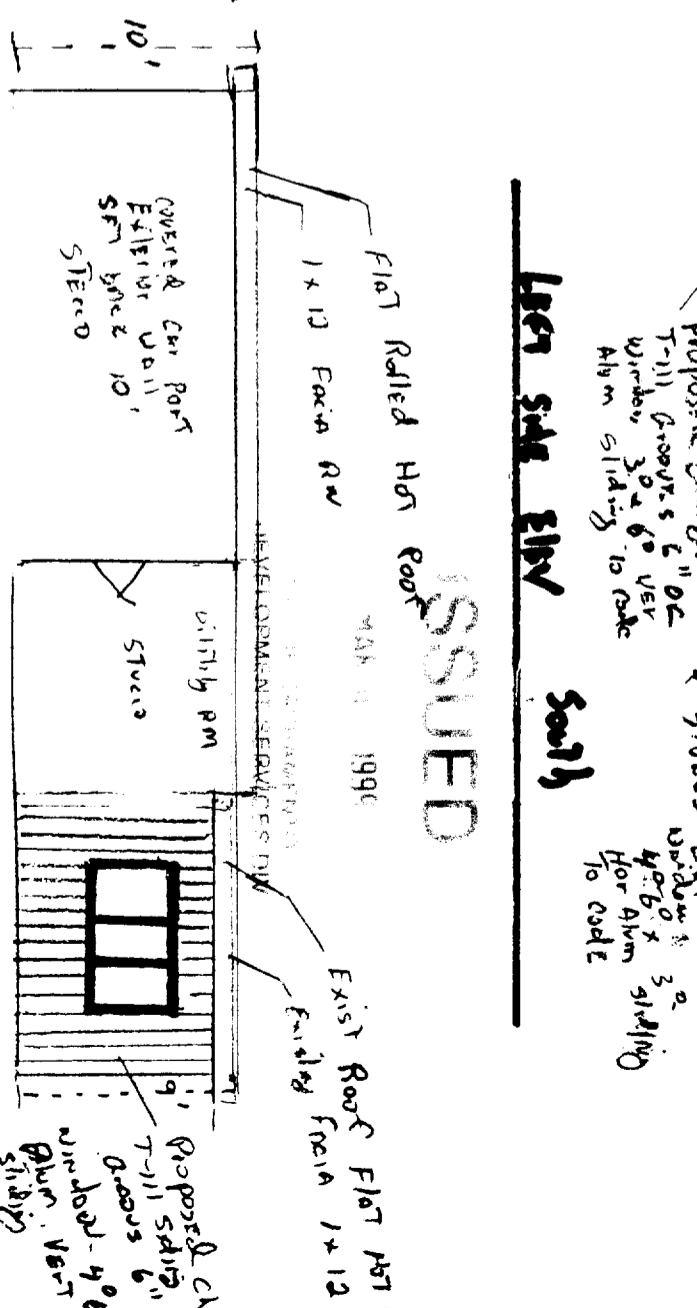
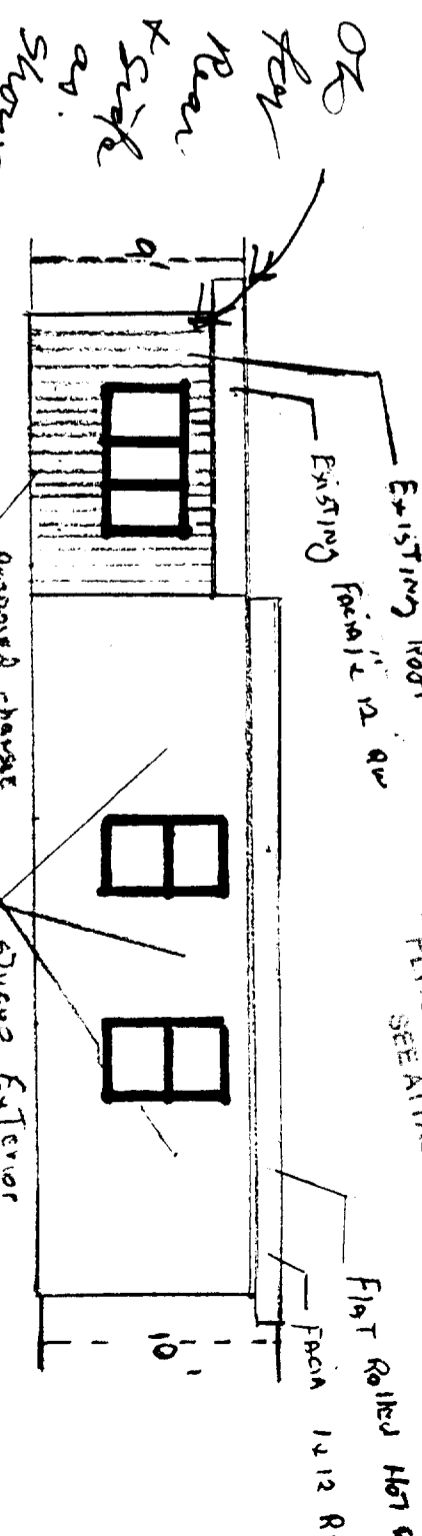
This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division. The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

UPC Section 201
All pipe, pipe fittings, traps, fixtures, materials, and devices used in a plumbing system shall be listed or labeled by an approved listing agency.

Reviewed by Mgt P. 2/1/99
Verify code compliance in field
2-Exists roof to remain.
Bedroom & entry to maintain & verify
UT/Boone 2/16/99
PR 99-009



PERSONAL SAFETY BUILDING CODE
SEE ATTACHED INSTRUCTIONS



ISSUED
MAY 11 1990

3717 664 st

RED - 6' Neatwood Fence

YARD windows (3ea 4'6" x 3'0" for sliders)

YARD windows (3ea 3'0" x 6'0" sliders)

YARD windows (2ea 5'0" x 9'0" sliders)

YARD windows (2ea 6'0" x 8'0" sliders)

YARD windows (2ea 6'0" x 8'0" sliders)

YARD windows (2ea 6'0" x 8'0" sliders)

YARD windows (2ea 6'0" x 8'0" sliders)

YARD windows (2ea 6'0" x 8'0" sliders)

YARD windows (2ea 6'0" x 8'0" sliders)

YARD windows (2ea 6'0" x 8'0" sliders)

YARD windows (2ea 6'0" x 8'0" sliders)

YARD windows (2ea 6'0" x 8'0" sliders)

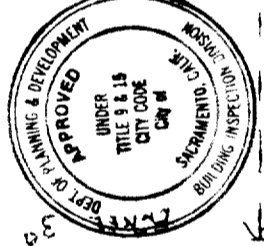
YARD windows (2ea 6'0" x 8'0" sliders)

YARD windows (2ea 6'0" x 8'0" sliders)

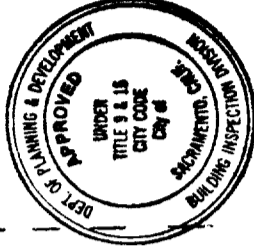
YARD windows (2ea 6'0" x 8'0" sliders)

YARD windows (2ea 6'0" x 8'0" sliders)

This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division. The approval of this plan and specification shall NOT be held to permit or approve the violation of any City Ordinance or State Law.



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division. The approval of this plan and specification shall NOT be held to permit or approve the violation of any City Ordinance or State Law.



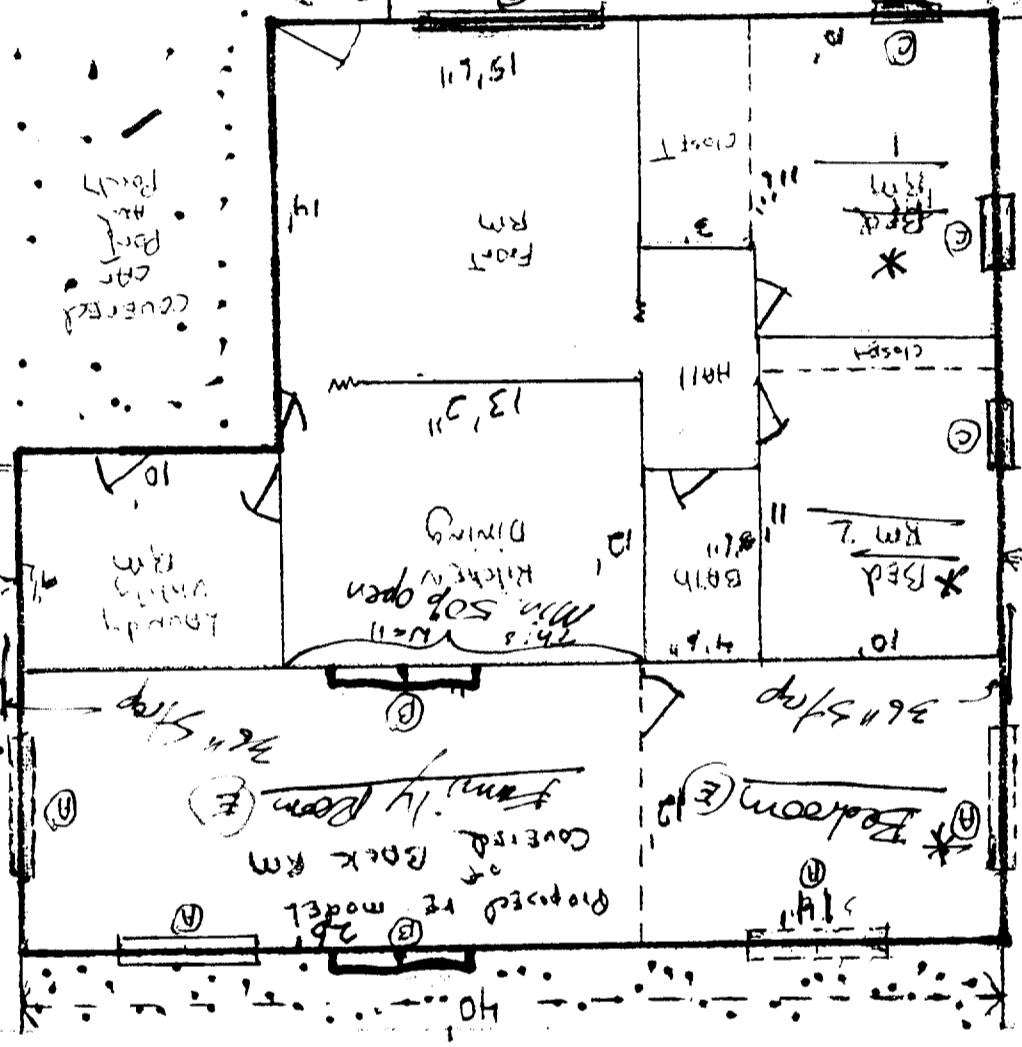
ISSUED

MAR 01 1999

Front yard

Rear yard

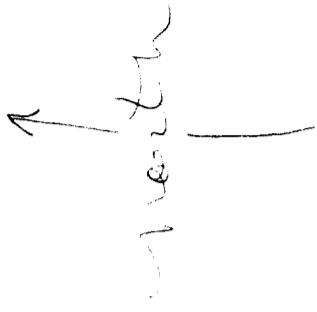
* Bedroom
Egress must be maintained -
existing bedrooms.
When window is open max
size -> 20" W x 24" H opening, min 5.7 sq ft.
max bottom 44" from floor.



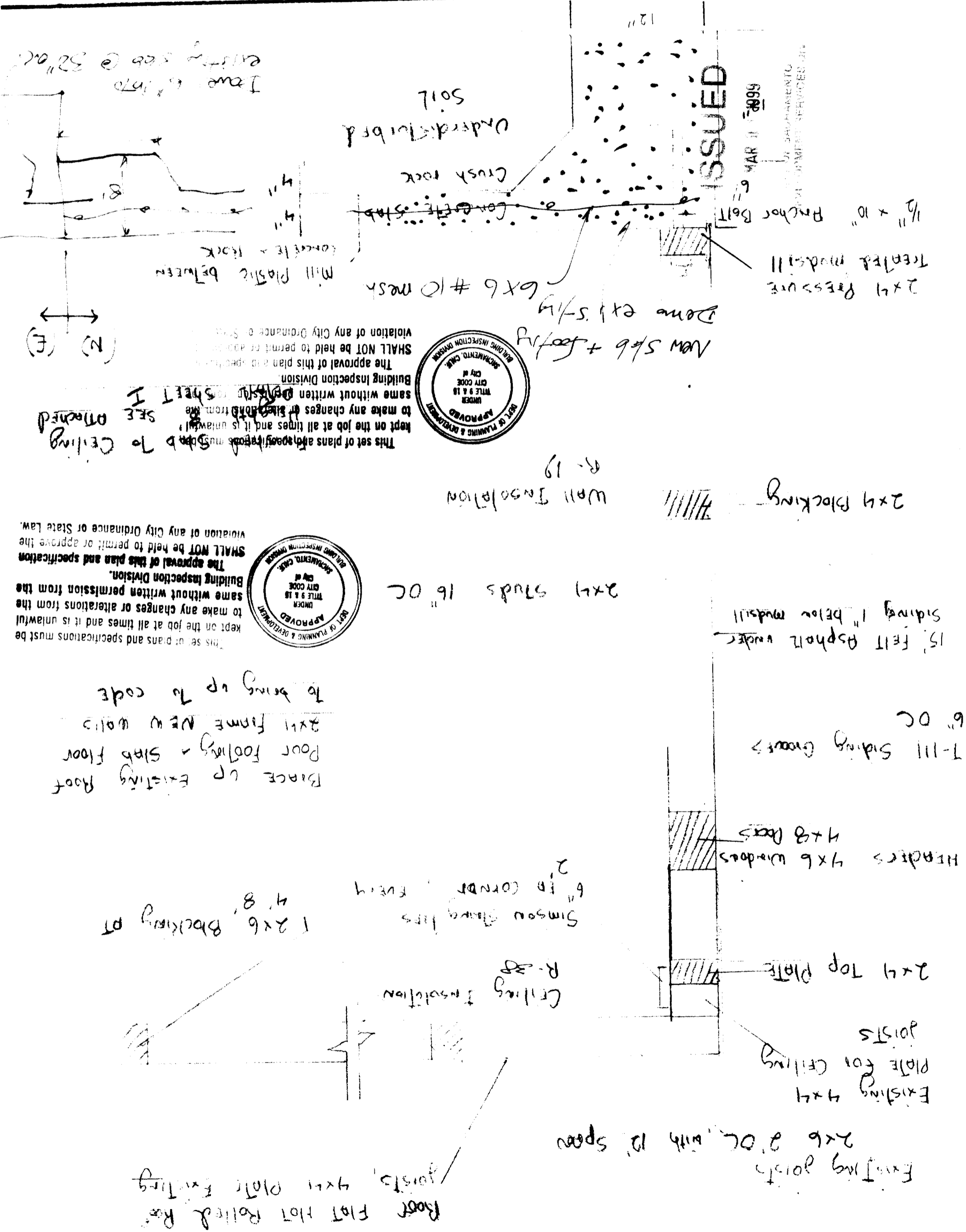
DRIVE

CITY OF SACRAMENTO
DEPARTMENT OF PLANNING & DEVELOPMENT

Scale 1/8" = 1'-0"



EXISTING
 12' x 40' Completely closed in Back Room
 Block walls 4'6" High Sides (North, South) then wood framed to roof
 Block wall 2' High Back (West) then wood framed to roof
 Front wall 2x4 Framed, House to Back Room



ISSUED

MAR 11 1989



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division. The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division. The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

