

CITY PLANNING COMMISSION

927 10TH STREET, SUITE 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT <u>Campbell Taggart Inc., c/o Diepenbrock, Wulff, Plant & Hannegan-Ste 800, Sacto</u>	455 Capitol Mall 95814
OWNER <u>Multiple Owners (See *)</u>	
PLANS BY <u>The Benham Group - 1000 Des Peres Rd. #355, St. Louis, MO & Murray Smith & Assoc.</u>	
FILING DATE <u>3/23/84</u>	50 DAY CPC ACTION DATE _____
Negative DEC <u>4/16/84</u>	EIR _____
	ASSESSOR'S PCL NO <u>013-291-01,02,03,04,05</u>
	REPORT BY: <u>JP:sg:lao:sm</u>

- APPLICATION:**
1. Negative Declaration
 2. Special Permit to locate a portion of a 104 space parking lot in the Single Family (R-1) zone (Sec. 2-C-28 and 2-E-5)
 3. Variance to remodel and expand an existing non-conforming 96,000± square foot commercial bakery to 147,000± square feet in the General Commercial (C-2) zone (Sec. 2-C-41 and 2-E-9)
 4. Variance to waive 25 of the required 129 parking spaces for a commercial bakery use (Withdrawn)
 5. Variance to locate 102 required parking spaces off-site for a commercial bakery use (Sec. 6-D-14)
 6. Lot Line Adjustment to merge five parcels into one lot to accommodate an existing commercial bakery (Subdivision Map Act (Sec. 66499.20-3/4)
 7. Lot Line Adjustment to merge five parcels into one lot to accommodate a proposed off-site parking lot (Subdivision Map Act Sec. 66499.20-3/4)

LOCATION: 3226 Montgomery Way (bakery site) and NE corner of 33rd Street and 6th Avenue (parking lot site).

PROPOSAL: The applicant is requesting the necessary entitlements to expand the existing 96,000± square foot Rainbo Bread Bakery to 147,000± square feet.

PROJECT INFORMATION:

	<u>Bakery Site</u>	<u>Parking Lot Site</u>
1974 General Plan Designation:	Residential	Residential
1963 Oak Park Community Plan Designation:	Shopping or Commercial	Shopping or Commercial and Light Density Residential
1973 Oak Park Redevelopment Plan:	Manufacturing	Manufacturing and Open Space
Existing Zoning of Site:	C-2	C-2 and R-1
Existing Land Use of Site:	Commercial Bakery	Vacant, Abandoned Commercial Structure and three Single Family Residences

- *Rainbo Baking Co., 3226 Montgomery Way, Sacramento, CA
- *John C. Martz, 5 Romany Park Lane, St. Louis, MO 63132
- *Fred & June Arriba, 5095 Scarborough Way, Sacramento, CA 95823
- *Quine & Linda Jackson, 3341-6th Avenue, Sacramento, CA 95817

003402

Surrounding Land Use and Zoning:

North:	Multi-Family Residential; R-1, R-4-R	McClatchy Park; R-1
South:	Restaurant, Single & Multi-Family Residential; R-1, C-2	Church, Single & Multi-Family Residential; R-1, C-2
East:	McClatchy Park & Parking Lot Site; R-1, C-2	Single Family Residential; R-1
West:	Freeway 99; TC	Bakery Site; C-2
Parking Required:	129 Spaces (1:1000 ratio, excluding the 18,000± square foot route truck building)	
Parking Provided:	27	104
	(Total 131 spaces)	
Property Dimensions:	300±' x 560±'	150±' x 249±'
Property Area:	3.9± acres	0.9± acres
Topography:	Flat	
Street Improvements/Utilities:	Existing	
Square Footage of Existing Bakery Buildings:	96,000± square feet	
Square Footage of Proposed Bakery Buildings:	51,000± square feet	
Total Proposed Square Footage:	147,000± square feet	
Proposed Building Colors:	Beige, to match existing buildings	
Proposed Building Materials:	Textured metal wall panels on new construction	

STAFF EVALUATION: Staff has the following comments regarding this proposal:

1. The subject site consists of 10 parcels totaling 5± acres in the Single Family (R-1) zone and General Commercial (C-2) zone. The Rainbo Bread Bakery is located on five of the parcels, on the block bounded by 32nd Street, 33rd Street, 6th Avenue and Montgomery Way. The existing buildings located on this block are the bakery plant, warehouse, truck dock, truck maintenance facility and bakery thrift store, totaling 96,000± square feet. Due to increased production and expansion costs, the applicant is proposing to modernize the existing bakery facility by constructing a 33,000± square foot addition to the bakery plant and a new 18,000± square foot route truck building. (Exhibits A-S)

Total proposed building square footage for the bakery site would be 147,000± square feet. The bakery was constructed in 1927 and is currently a non-conforming use as the current Zoning Ordinance allows a maximum of 6,400 square feet of floor area for a bakery in the General Commercial zone. The applicant, therefore, is requesting a variance to expand an existing 96,000± square foot non-conforming use to 147,000± square feet. A lot line adjustment is also requested to merge the five parcels comprising the bakery site into one parcel.

As part of the bakery expansion all but 27 of the existing 103 parking spaces on the bakery site will be eliminated. The bakery expansion will require

that 129 parking spaces be provided (ratio one space per 1,000 square feet, not including the proposed 18,000 square foot route truck building). The applicant, therefore, is requesting the necessary entitlements to construct a 104 space employee parking lot on the five parcels located at the northeast corner of 6th Avenue and 33rd Street. The two parcels adjacent to 33rd Street are vacant except for an abandoned commercial structure and are in the General Commercial zone. The three eastern parcels adjacent to 6th Avenue are in the Single Family zone and contain single family dwellings on each lot.

2. The proposal has been reviewed by the City Traffic Engineering, Real Estate, Building, Engineering, and Water and Sewer Divisions. The following comments were received:

Traffic Engineering

- a. Remove all unused and abandoned driveways;
- b. Planter at corner of 32nd Street and 6th Avenue should be increased in size;
- c. Delete back-in trash loading;
- d. Driveway off of 6th Avenue used as entrance to employee parking lot is too close to the intersection. Driveway should be relocated or deleted;
- e. Sidewalks should be a minimum of 4.5 feet. Any sidewalks on private property along the street should be dedicated to the City of Sacramento.

Real Estate

Pay off any existing assessment before recordation of lot line adjustments.

Building, Engineering, Water and Sewer

No comments.

3. The subject site is located in the Oak Park Redevelopment Area and the proposal was reviewed by the Oak Park Project Area Committee and Redevelopment Agency staff. The Oak Park PAC endorsed the project at their April 4, 1984 meeting after being assured by the applicant that the new employee parking lot would not create traffic congestion. (Exhibit T) Redevelopment Agency staff has found the proposal consistent with the Oak Park Redevelopment Plan and recommend approval of the project. Redevelopment staff, however, is concerned with the encroachment of the parking facility onto property currently occupied by residences and would prefer to see the parking provided on the bakery site. However, if this is not possible, Redevelopment staff recommends that; a.) the area between the existing residences and parking spaces be heavily landscaped with screening shrubs, b) automobiles using the parking facility should use through streets rather than residential streets, and c) the three existing residential units should be relocated. (Exhibit V)

4. Several residents in the vicinity have contacted Planning Staff regarding the proposed bakery expansion. The majority of these residents did not oppose the bakery expansion, but several did inquire whether the expansion would create more noise in the area. The applicant has stated that the increased production will not increase the overall truck traffic in and out of the bakery (Exhibit V). Furthermore, the proposed, improved loading and unloading efficiencies and added environmental sound barriers should reduce any impacts on the surrounding area. Only one resident objected to the proposed bakery expansion, stating that the parking lot site would be better used for residential purposes (Exhibit Y).
5. The applicant proposes to add additional raised landscaped planters and trees around the perimeter of the bakery site. Staff recommends that the applicant provide additional landscaping along Montgomery Way, in order to enhance the appearance of the North side of the bakery site. Revised landscape and irrigation plans shall be submitted for Staff review and approval, prior to issuance of building permits.
6. The applicant originally proposed textured metal wall panels, to be used as the building materials for the new bakery addition and route truck building (Exhibits P-R). Staff indicated to the applicant that the proposed materials would not be compatible with the existing bakery structure. The original bakery is a fine example of art deco architecture, and its features should be retained, where possible.

Subsequently, the applicant redesigned the exterior elevations of the bakery addition and route truck building, and proposes to use a lightly textured dryvit on the exterior walls of the new construction. The dryvit will match the color of the existing bakery. The revised elevations will be available for Commission review at the May 24th meeting.

Staff has no objections to the revised elevations for the proposed new construction. The revised design and materials are compatible with the existing bakery structure and surrounding residential neighborhood. The width of the reveal lines on the route truck building, however, should be widened to provide visual relief along 33rd Street and Montgomery Way. The applicant has indicated to Staff that they have no objections to increasing the width of the reveal lines on their building.

7. The submitted site plans indicate 27 parking spaces on the bakery site (Exhibit E). Staff inspection of the site revealed that, while these areas are currently used for parking, many of the parking spaces are either not striped, or not striped as shown on the site plan. The applicant should be aware that these spaces will need to be striped, as indicated on the submitted site plan, before building permits will be finalized.
8. The construction of the proposed employee parking lot in a portion of the Single Family zone will necessitate the removal of three residential structures. The City Preservation Director visually inspected these structures and determined that they are not architecturally significant. The residence located on the western parcel appears, from the exterior, to be in the best physical condition of the three units and the most feasible structure for relocation. Staff recommends that the applicant make the three residences available to interested parties for relocation if structurally and economically feasible.

9. Traffic Engineering and Planning staff have several concerns regarding the proposed site plan for the employee parking lot. Traffic has indicated that the western driveway entrance is too close to the intersection of 6th Avenue and 33rd Street and needs to be relocated. Planning staff is concerned that the eastern driveway entrance is located too close to the adjacent single family residences, and should be relocated further to the west or along 33rd Street. In addition, to reduce the impact of the parking lot on the adjacent residences, staff recommends that any lighting proposed for the parking lot is focused on the parking area only and away from the residential uses.
10. The site plan for the proposed 102 space employee parking lot indicates several unnecessary wheel stops. These stops should be removed and the parking spaces redesigned to allow for a two foot wide planter overhang for the vehicles. The planter area along the eastern property line should also be heavily landscaped in screening shrubs and trees in order to insure an adequate noise and visual buffer between the proposed parking lot and adjacent residential uses. In addition, the current site plan does not indicate the location of any trees currently existing on the site or in the City right-of-way. These trees should be indicated on the revised landscape, shading and irrigation plans for the parking lot site.

Since this proposed parking lot will be used during the evening hours, it is suggested that a lighting system be provided (low profile) to provide safety and deter crime.

11. A six foot high solid masonry wall is also required between the proposed parking facility and adjacent residential zones to the north and east. It is recommended that the applicant design a decorative wall to provide visual relief to the adjacent residential use and uses of McClatchy Park. The design of the wall shall be reviewed and approved by the Planning Director prior to issuance of building permits. The site plan also indicates that a six foot high wrought iron fence is to be located along the West and South perimeters of the parking lot site. Staff approves of the proposed wrought iron fencing material, as it enhances the appearance of the site, along with providing security.
12. Staff has no objection to the proposed Rainbo Bakery expansion. Currently, the plant employs 198 people on a 24 hour per day basis. After the bakery expansion, an increase of 15 employees is anticipated (Exhibit W). The applicant has determined that the peak employee period is between the hours of 8 AM and 2 PM when 106 employees are present (Exhibit X). The 131 parking spaces proposed will provide adequate parking for these employees plus additional parking for bakery visitors and patrons of the bakery thrift shop. As noted above, the number of truck transports in and out of the bakery site is not scheduled to increase due to the modernization of the facility, and the number of larger transport trucks entering and exiting the bakery site will decrease by eight trucks. In addition, the loading and unloading of all route trucks will take place inside the new route truck loading building. These trucks, when not in use, will be stored in this loading area and not take away from the required parking on the bakery site. Staff, therefore, recommends approval of the requested entitlements for the proposed bakery renovation and expansion.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the proposed project will not have a significant adverse effect on the environment and has filed a negative declaration.

STAFF RECOMMENDATION: Staff recommends the following actions:

1. Ratification of the negative declaration;
2. Approval of the special permit to locate a portion of a parking lot in the Single Family zone, subject to conditions and based upon findings of fact which follow;
3. Approval of the variance to remodel and expand an existing non-conforming use, subject to conditions and based upon findings of fact which follow;
4. Approval of the variance to locate 102 parking spaces off-site, subject to conditions and based upon finding of fact which follow;
5. Approval of the lot line adjustment to merge five parcels into one lot to accommodate an existing commercial bakery by adopting the attached resolution;
6. Approval of the lot line adjustment to merge five parcels into one lot to accommodate a proposed off-site parking lot by adopting the attached resolution.

Conditions

- a. Revised landscape, shading and irrigation plans for both the bakery site and the employee parking lot shall be submitted for staff review and approval prior to issuance of building permits. Revised plans for the bakery site shall indicate additional landscaping along Montgomery Way. Revised plans for the parking lot site shall indicate;
 1. the removal of all unnecessary wheel stops and widening of planter areas;
 2. the location of screening shrubs and trees along the eastern property line of the new parking lot to act as a visual and noise buffer;
 3. all existing trees on the site and in the City right-of-way.
- b. All parking areas located on the bakery site shall be striped as shown on the submitted site plan.

- c. The applicant shall, through advertising, offer the three residential structures located on the parking lot site up for relocation purposes and/or transfer the structures to an interested house mover for relocation to a holding site.
- d. A revised parking lot site plan indicating relocated driveway entrances and the design and location of lighting fixtures shall be submitted for staff review and approval prior to issuance of building permits.
- e. The applicant shall comply with the requirements of the City Traffic Engineering Division regarding the dedication of public sidewalks.
- f. The design of the required six foot high masonry wall shall be submitted for the review and approval of the Planning Director prior to issuance of building permits.
- g. A six foot high wrought iron fence shall be installed along the West and South property lines of the parking lot site, as indicated on the submitted site plan (Exhibit E).

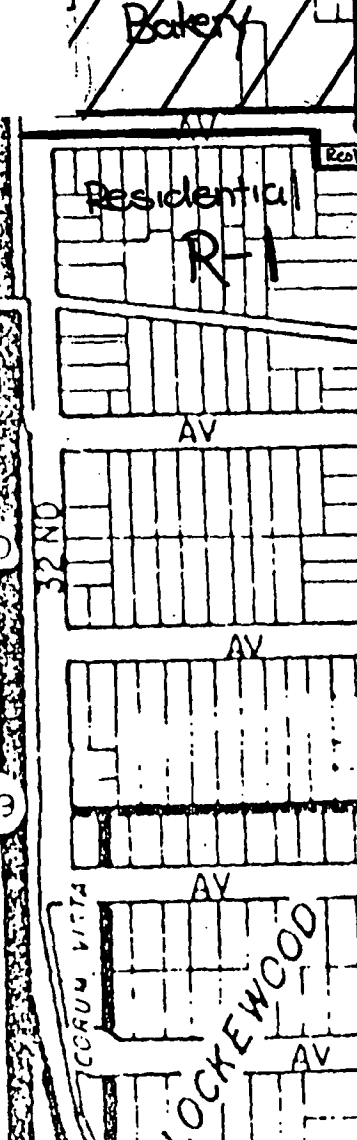
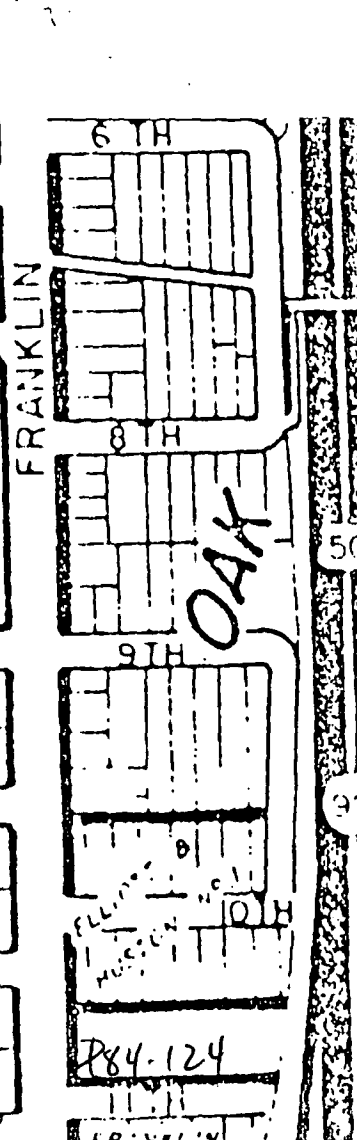
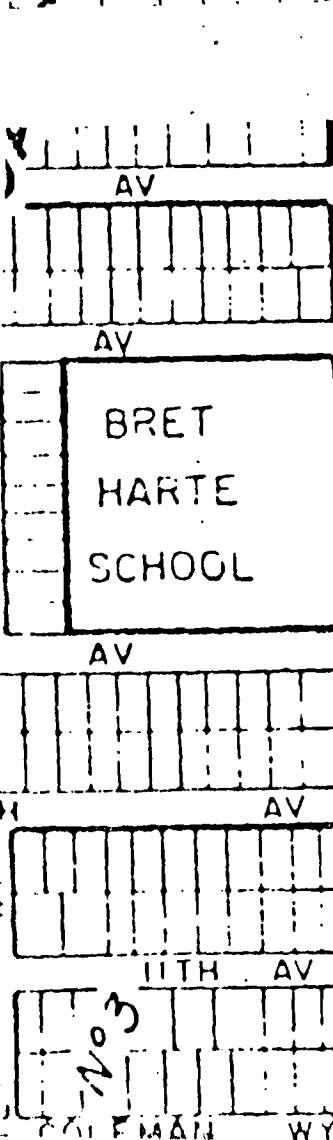
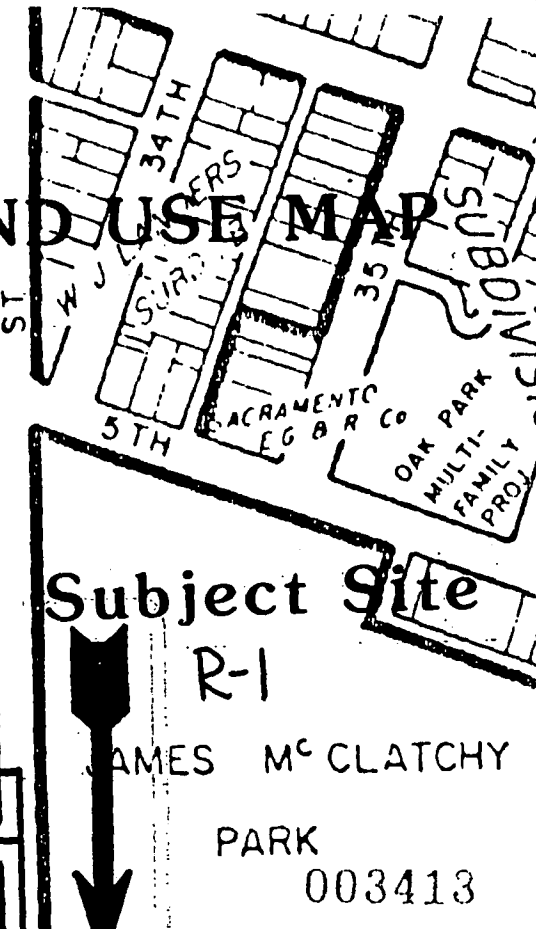
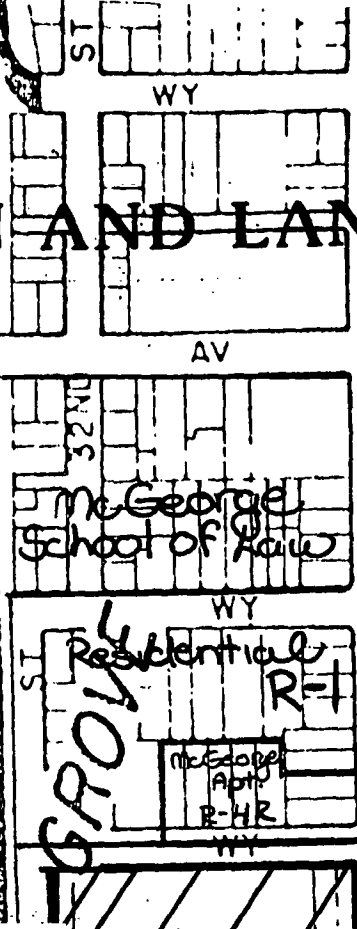
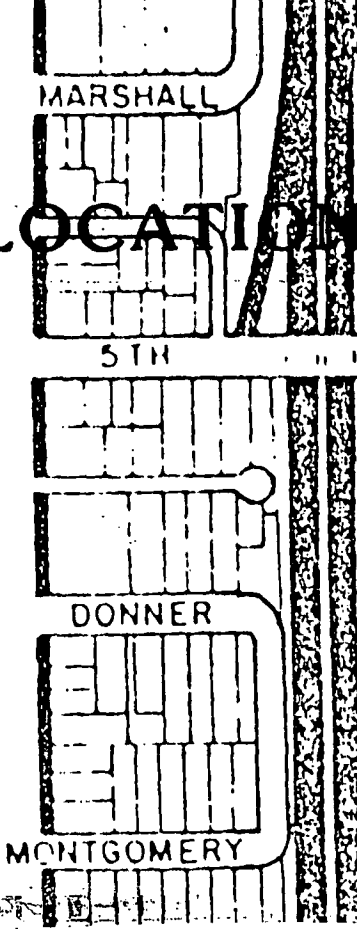
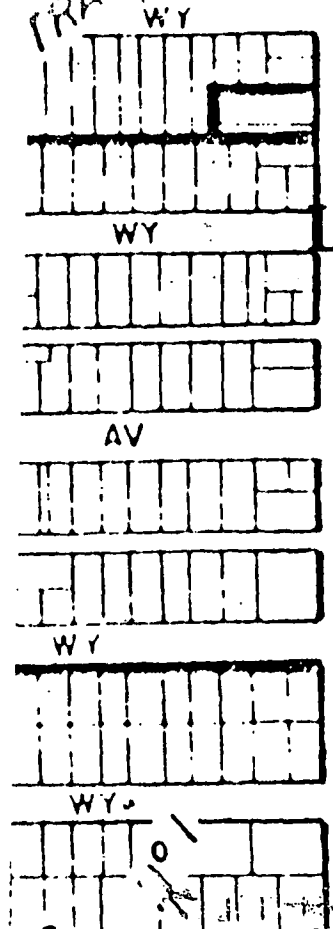
Findings of Fact

- a. The project, as conditioned, is based upon sound principles of land use in that;
 - 1. the bakery facility is compatible with the adjacent residential and commercial uses and other existing public and private facilities such as parks, churches and schools;
 - 2. adequate off-street parking will be provided.
- b. The project, as conditioned, is not detrimental to the public health, safety or welfare nor will result in the creation of a nuisance in that;
 - 1. the proposed building additions are compatible with the existing structures on the subject site;
 - 2. adequate landscaping for the parking lot and bakery sites will be provided;
 - 3. adequate off-street parking for bakery employees, vehicles and visitors will be provided.
- c. The variances, as conditioned, are not a special privilege extended to one individual property owner in that;
 - 1. the bakery expansion and off-site parking lot will not significantly alter the characteristics of the area;
 - 2. a variance would be granted to other property owners facing similar circumstances.

- d. The project is in conformance with the 1974 General Plan which designates the sites for residential use and the 1963 Oak Park Community Plan which designates the sites for shopping, commercial and light density residential uses. Parking facilities are allowed in residential zones with special permit approval.
- e. The project conforms to the 1973 Oak Park Redevelopment Plan which designates the bakery site for manufacturing uses and the new parking lot site for manufacturing and open space.

003409

LOCATION AND LAND USE MAP



Subject Site

R-1

JAMES M^cCLATCHY
PARK
003413

GROW

Bakery

Residential R-1

Residential R-1

OAK

TEX

P84-124

No 3

CORUN VISTA

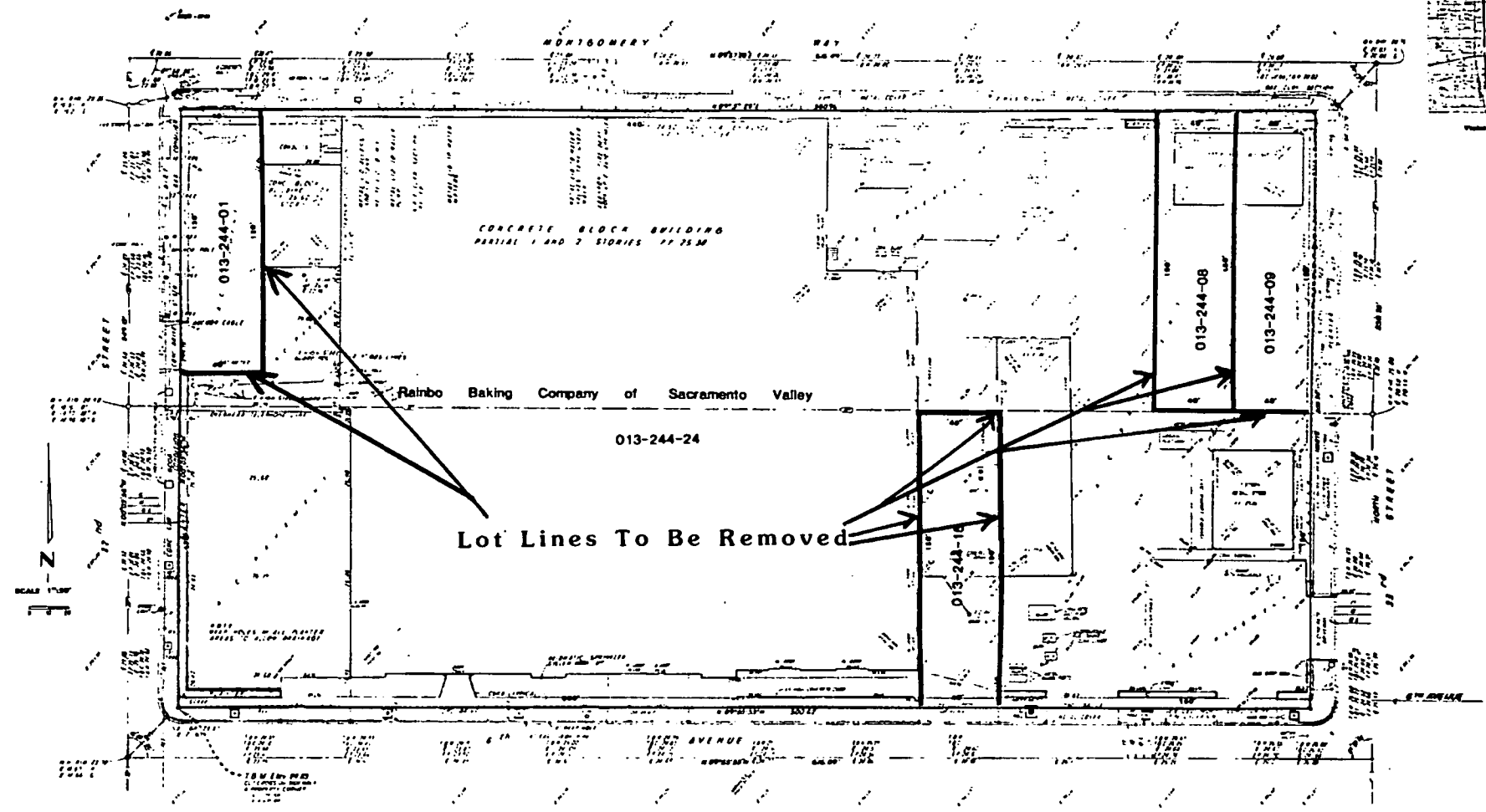
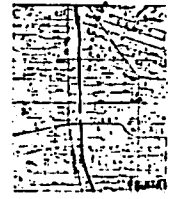
LOCKWOOD

ENJAMIN

INGLEVIEW

A B C D E F G H I J K L M N O P Q R S T U

Site



003415

MERGER EXHIBIT
for
APN 013-244-01,08,09,15,24

LEGEND
.....
.....
.....
.....
.....

EXHIBIT A

Campbell Tappet, Inc. <small>and its associated entities</small>		

EXHIBIT B

LEGAL DESCRIPTION

LOTS 66 THROUGH 78 INCLUSIVE IN BLOCK C AND LOTS 80 THROUGH 93 INCLUSIVE
IN BLOCK D AS SAID LOTS ARE SHOWN AND SO DESIGNATED ON THE "CORRECTED
AMENDED PLAT OF OAK GROVE" FILED IN THE OFFICE OF THE RECORDER COUNTY OF
SACRAMENTO, STATE OF CALIFORNIA IN BOOK 3 OF MAPS, MAP NO. 15

P84-124

003392

84-124

5-24-84

69

Merger Exhibit for APN 13-291-1,2,3,4,5

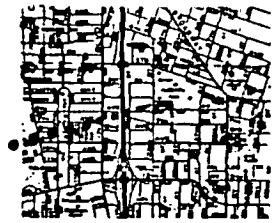
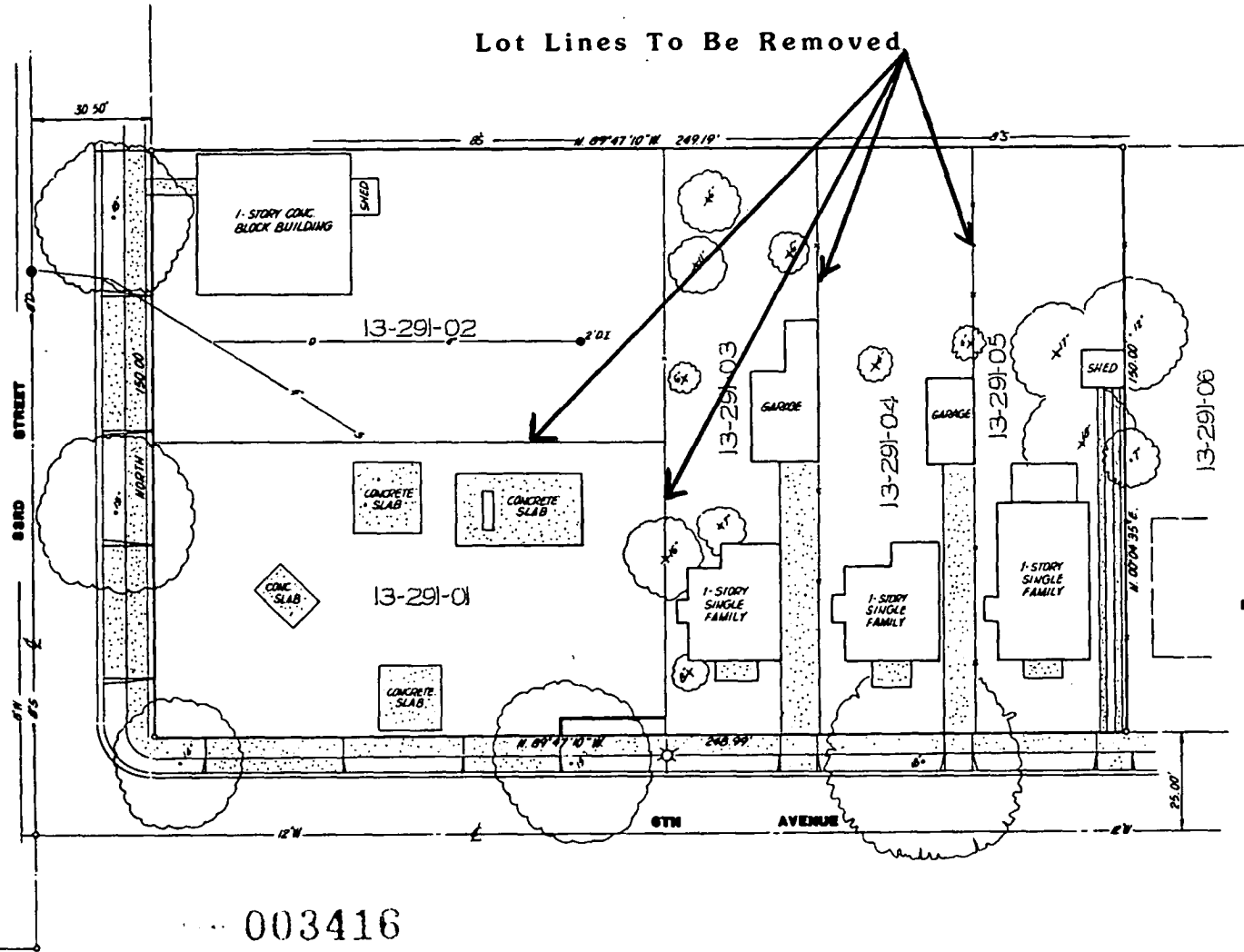
Lots 2601 - 2606, "PLAT OF OAK TERRACE" S.M. 48
City of Sacramento

MURRAY SMITH & ASSOCIATES

March, 1984

JAMES MC CLATCHY PARK

Lot Lines To Be Removed



Locality Map



NOTE: All structures shown herein to be removed.
X ... DENOTES TREES TO BE REMOVED

003416

EXHIBIT C

884-124

5-24-84

#9

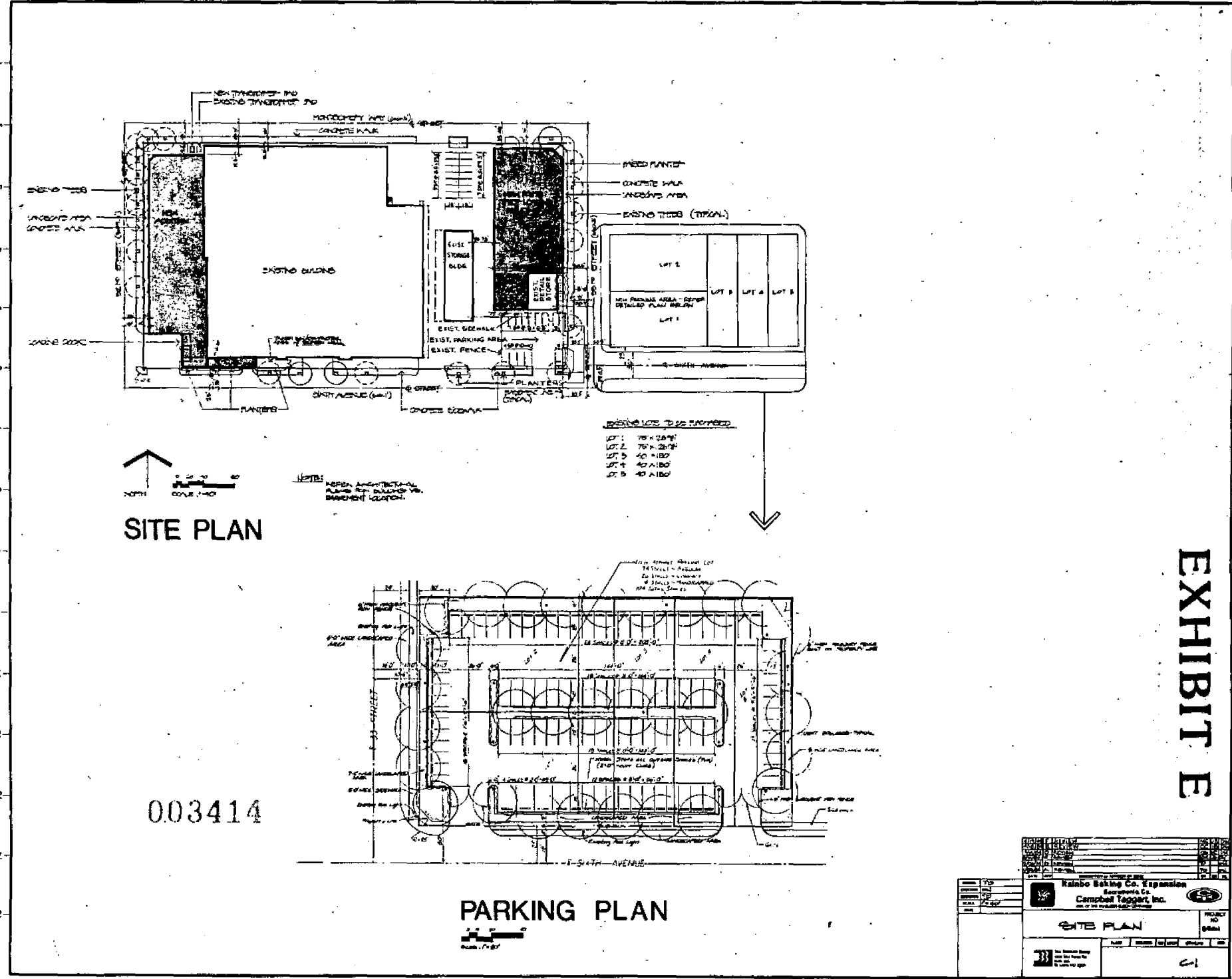


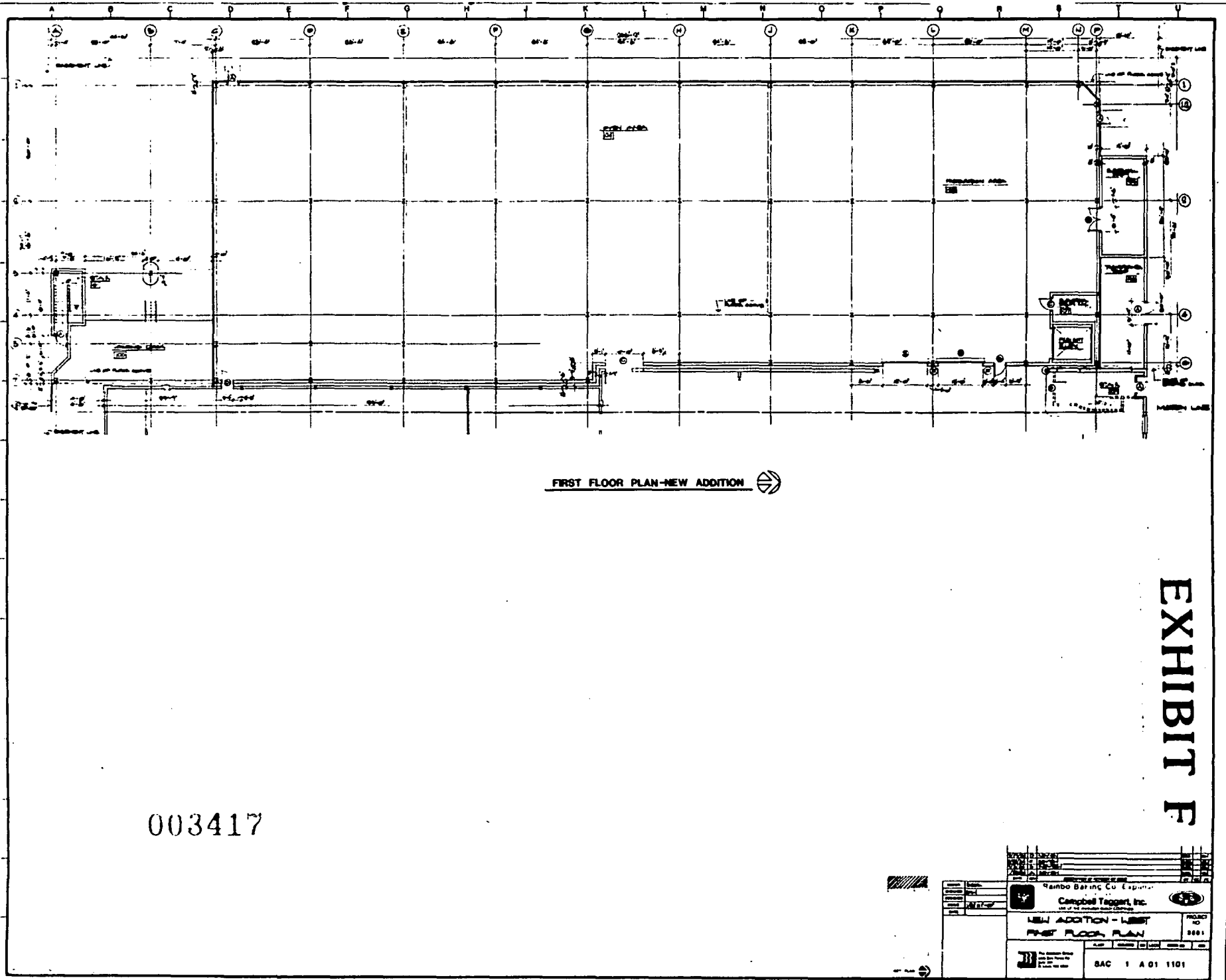
EXHIBIT E

Rainbo Baking Co. Expansion		PROJECT NO.	0801
Surreyville, Ct.		DATE	5/24/84
Campbell Taggart, Inc.		SCALE	AS SHOWN
SITE PLAN		REV.	
DATE	BY	CHKD.	

84.124

5-24-84

#9



FIRST FLOOR PLAN-NEW ADDITION

003417

EXHIBIT F

Rambo Boring Co. Explor. Campbell Trapp, Inc. NEW ADDITION - WEST FIRST FLOOR PLAN		PROJECT NO. 8801
SAC 1 A 01 1101		DATE 5/24/84

EXHIBIT G

HARRIS BUILDING CO. Expansion	
Campbell Tappan, Inc.	
NO. 100	
SECOND FLOOR PLAN	
Dwg. No. 1 A 01 1111	

FIRST FLOOR PLAN-EXISTING

003418

P84-124

5-24-84

#9

EXHIBIT H

PROJECT NO.	003419
DATE	5/24/84
SCALE	AS SHOWN
DRAWN BY	...
CHECKED BY	...
DATE	...
PROJECT NAME	...
CLIENT	...
ARCHITECT	...
ENGINEER	...
DATE	...
PROJECT NO.	003419
DATE	5/24/84
SCALE	AS SHOWN
DRAWN BY	...
CHECKED BY	...
DATE	...
PROJECT NAME	...
CLIENT	...
ARCHITECT	...
ENGINEER	...
DATE	...

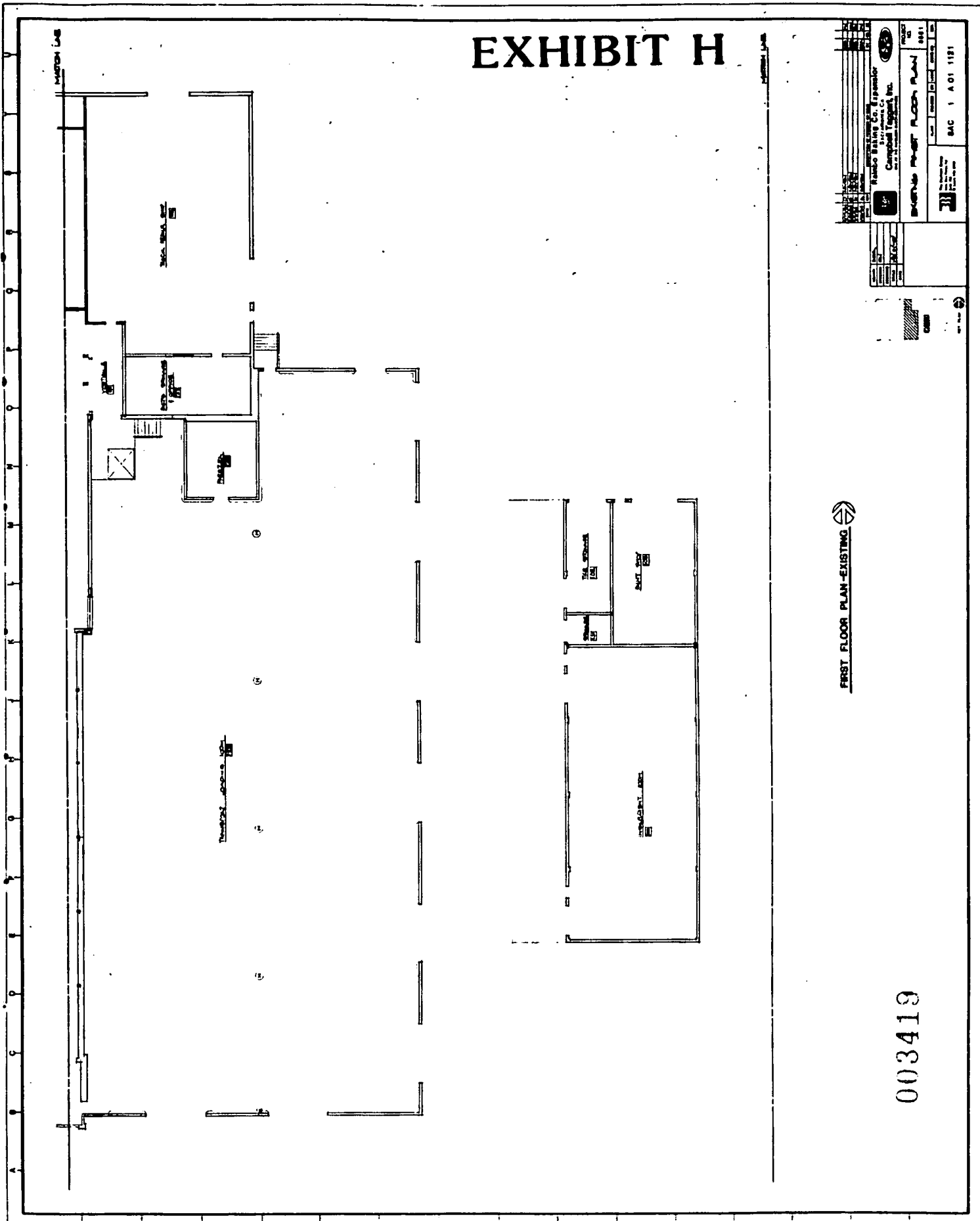
FIRST FLOOR PLAN-EXISTING

003419

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5-24-84

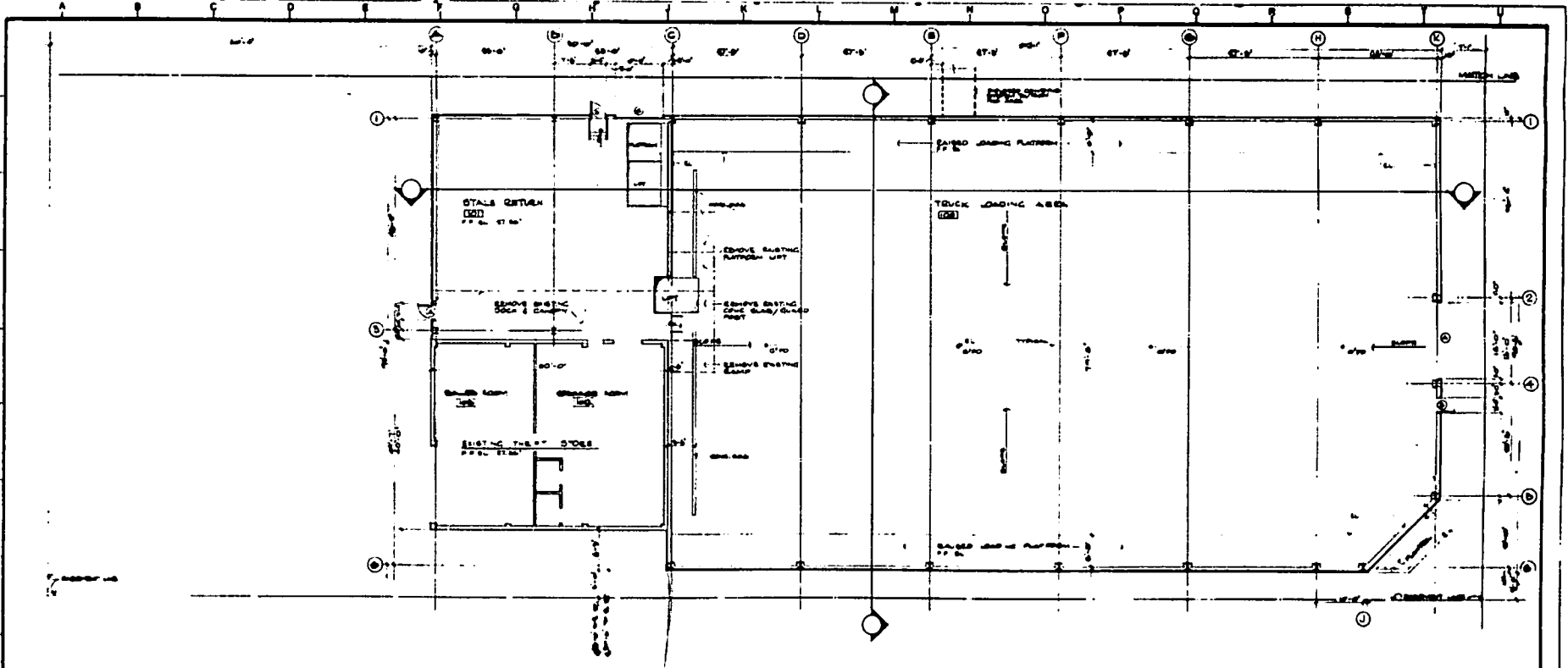


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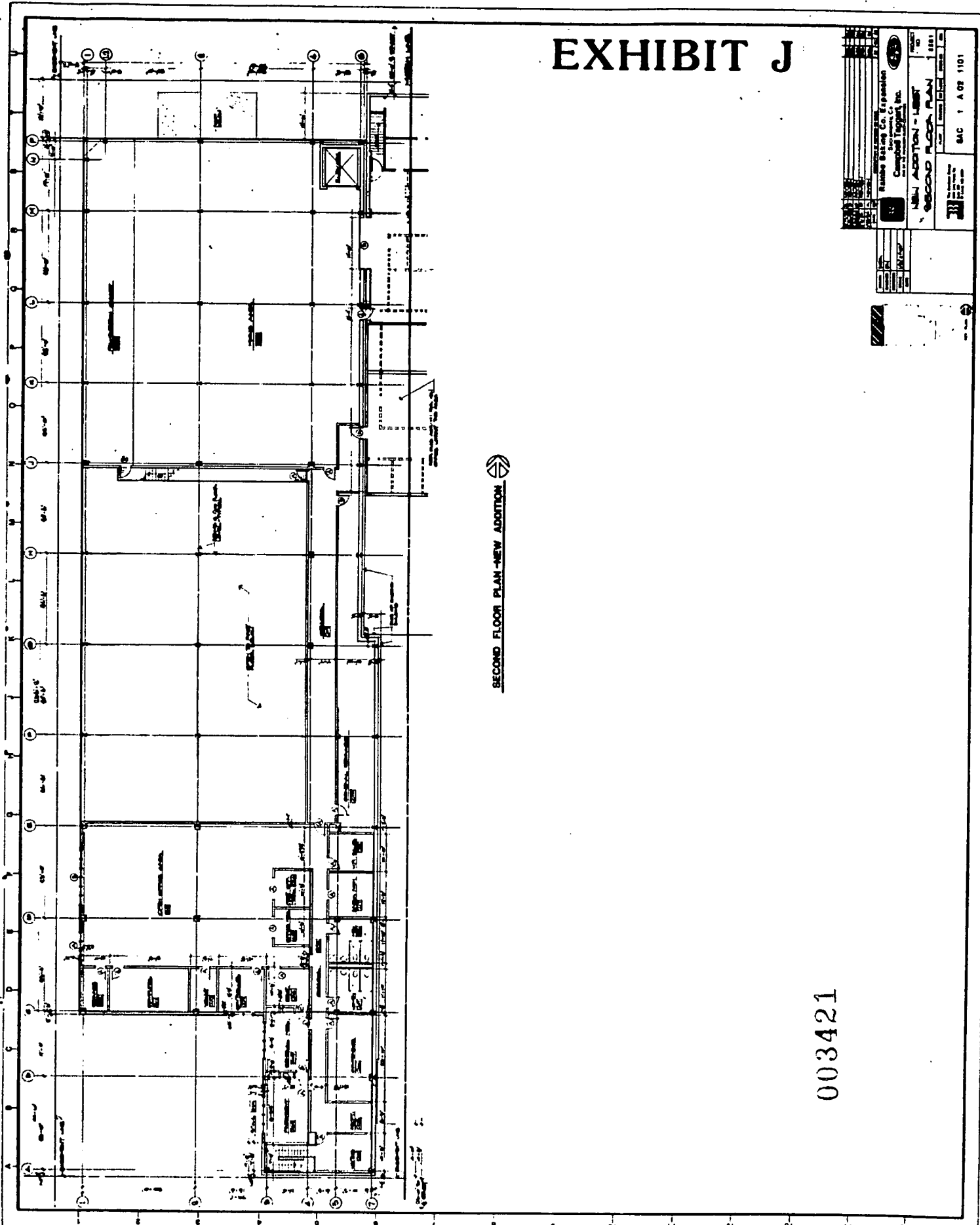


FIRST FLOOR PLAN - ROUTE TRUCK LOADING

EXHIBIT I

Rembo Baking Co. Expansion Campbell Tappan, Inc.	
ROUTINE TRAFFIC SHOP - NEW ROUTE TRUCK LOADING FLOOR PLAN	
SAC 8 A 01 1121	

EXHIBIT J



SECOND FLOOR PLAN - NEW ADDITION

PROJECT NO.	100-100-100-100
DATE	1981
SCALE	1/4" = 1'-0"
DRAWN BY	J.M.
CHECKED BY	J.M.
APPROVED BY	J.M.
CLIENT	...
ARCHITECT	...
ENGINEER	...
CONTRACTOR	...
DESCRIPTION	NEW ADDITION - WEST
FLOOR PLAN	SECOND FLOOR PLAN
SHEET NO.	100-100-100-100
TOTAL SHEETS	100-100-100-100
DATE	1981
BY	J.M.
FOR	...
PROJECT NO.	100-100-100-100
DATE	1981
SCALE	1/4" = 1'-0"
DRAWN BY	J.M.
CHECKED BY	J.M.
APPROVED BY	J.M.
CLIENT	...
ARCHITECT	...
ENGINEER	...
CONTRACTOR	...
DESCRIPTION	NEW ADDITION - WEST
FLOOR PLAN	SECOND FLOOR PLAN
SHEET NO.	100-100-100-100
TOTAL SHEETS	100-100-100-100
DATE	1981
BY	J.M.
FOR	...

003421

P84-124

5-24-81

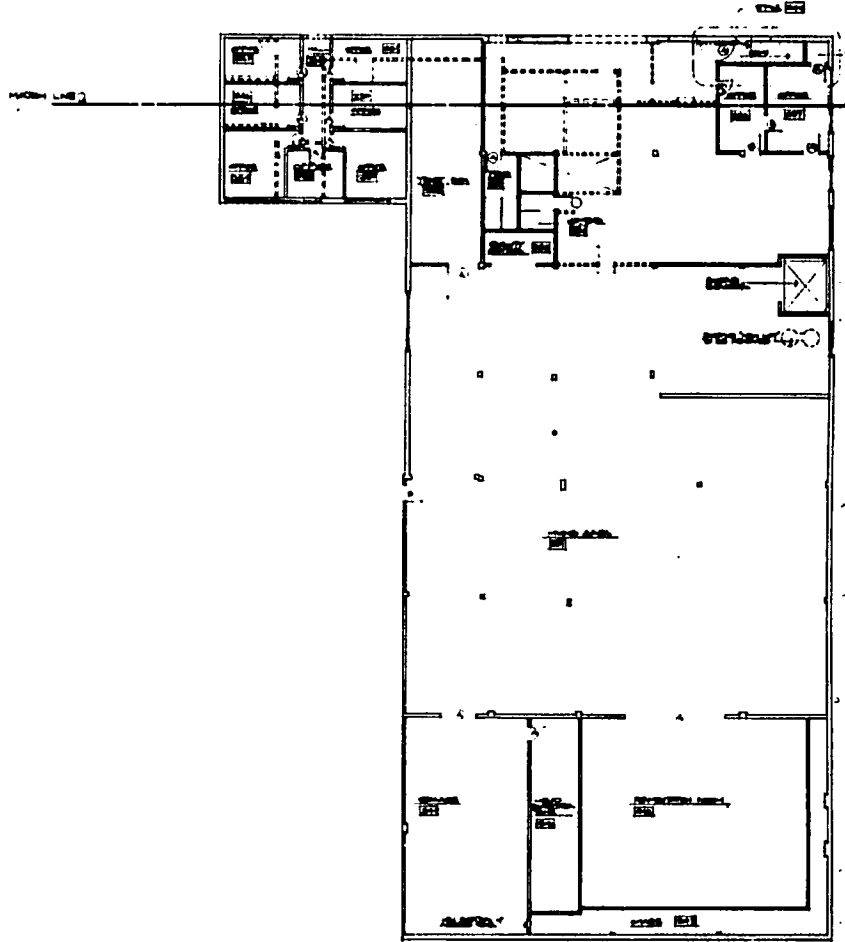
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A9

003422



SECOND FLOOR PLAN - EXISTING

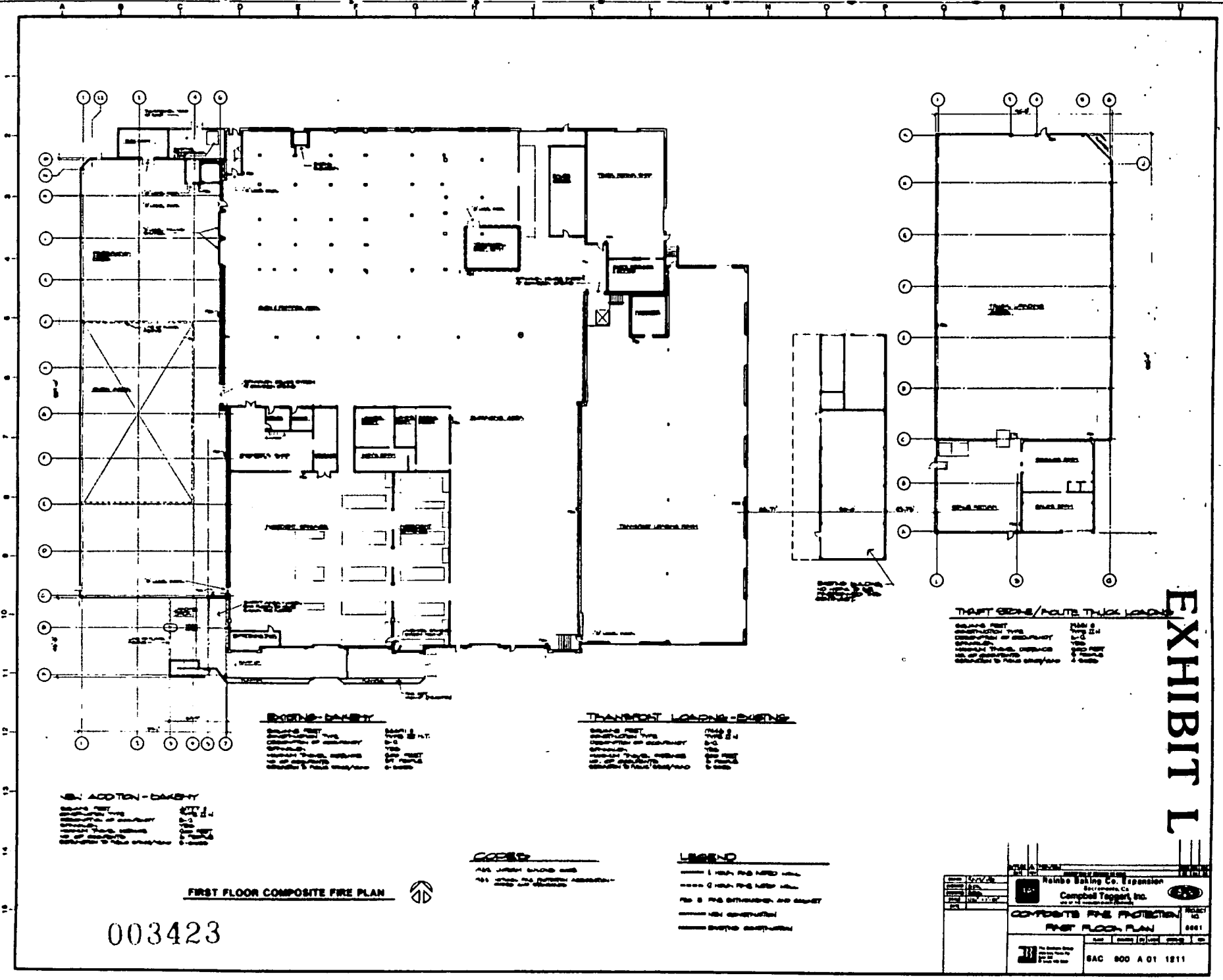
EXHIBIT K

Rainbo Baking Co. Inc. - Miami Campbell Taggart, Inc. ARCHITECTS	
PROJECT NO. 8881	SHEET NO. 003422
EXISTING SECOND FLOOR PLAN	
SAC 1 A 02 1111	

P84-124

5-27-84

#9



FIRST FLOOR COMPOSITE FIRE PLAN

003423

EXISTING DATA

1. EXISTING WALLS
2. EXISTING DOORS
3. EXISTING WINDOWS
4. EXISTING CEILING
5. EXISTING FLOOR

THREAT LOADS - EXISTING

1. GRADE FLOOR
2. CEILING FLOOR
3. EXISTING WALL
4. EXISTING WINDOW
5. EXISTING DOOR
6. EXISTING CEILING
7. EXISTING FLOOR

THREAT LOADS / ROUTE THICK LOADS

1. GRADE FLOOR
2. CEILING FLOOR
3. EXISTING WALL
4. EXISTING WINDOW
5. EXISTING DOOR
6. EXISTING CEILING
7. EXISTING FLOOR

NEW DATA - EXISTING

1. NEW WALLS
2. NEW DOORS
3. NEW WINDOWS
4. NEW CEILING
5. NEW FLOOR

CODES

1. ALL JARVIS BAKING CO.
2. ALL OTHERS ARE ASSUMED
TO BE AS SHOWN

LEGEND

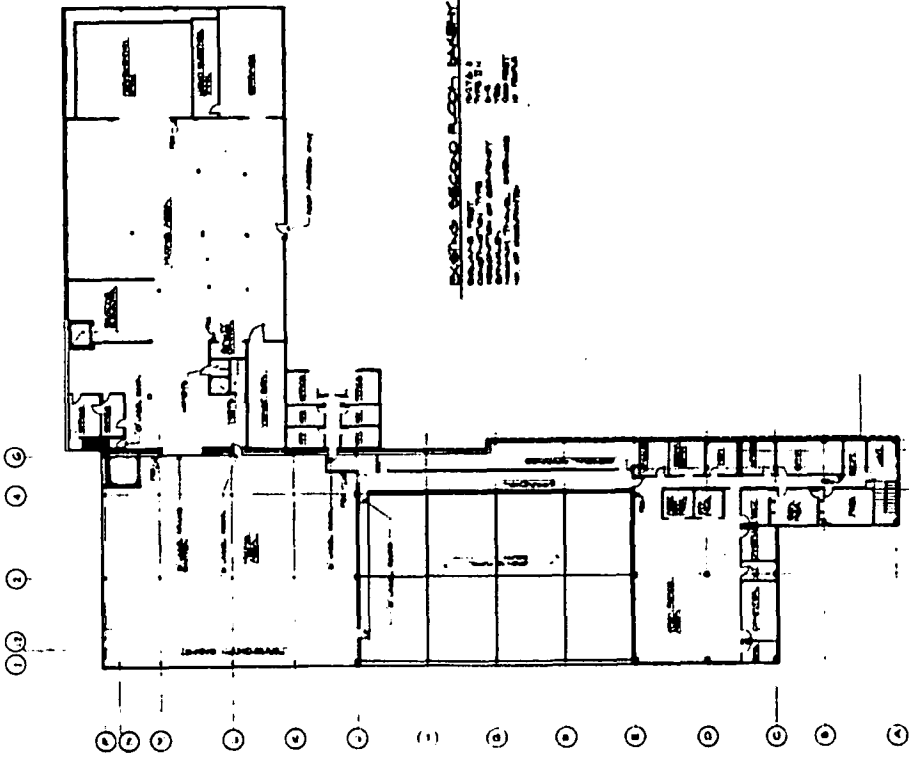
1. 1 HOUR FIRE RATED WALL
2. 2 HOUR FIRE RATED WALL
3. 3 HOUR FIRE RATED WALL
4. 4 HOUR FIRE RATED WALL
5. 5 HOUR FIRE RATED WALL
6. 6 HOUR FIRE RATED WALL
7. 7 HOUR FIRE RATED WALL
8. 8 HOUR FIRE RATED WALL
9. 9 HOUR FIRE RATED WALL
10. 10 HOUR FIRE RATED WALL

EXHIBIT L

RAINBO BAKING CO. EXPANSION Rainbo Baking Co. Expansion Sacramento, Ca. Campbell Tappan, Inc. Fire Protection Division		PROJECT NO. 003423
COMPOSITE FIRE PROTECTION FIRST FLOOR PLAN		SHEET NO. 001
SAC 800 A 01 1211		

EXHIBIT M

DATE	10/2/81	BY	...
PROJECT	Nashua Building Co. Expansion Nashua, N.H. Contractor: Tappan, Inc.		
NO.	100	DATE	10/2/81
PROJECT		EXPANSION	
FLOOR PLAN		SECOND FLOOR	
DRAWN BY		...	
CHECKED BY		...	
SCALE		SAC 900 A 07 1911	



LEGEND
 --- 1 inch, 1/4 inch walls
 --- 2 inch, 1/2 inch walls
 --- 4 inch, 1/2 inch walls
 --- 8 inch, 1/2 inch walls
 --- 16 inch, 1/2 inch walls

SECOND FLOOR BAYNET
 1. 1 inch, 1/4 inch walls
 2. 2 inch, 1/2 inch walls
 3. 4 inch, 1/2 inch walls
 4. 8 inch, 1/2 inch walls
 5. 16 inch, 1/2 inch walls

LEGEND
 --- 1 inch, 1/4 inch walls
 --- 2 inch, 1/2 inch walls
 --- 4 inch, 1/2 inch walls
 --- 8 inch, 1/2 inch walls
 --- 16 inch, 1/2 inch walls

LEGEND
 --- 1 inch, 1/4 inch walls
 --- 2 inch, 1/2 inch walls
 --- 4 inch, 1/2 inch walls
 --- 8 inch, 1/2 inch walls
 --- 16 inch, 1/2 inch walls

SECOND FLOOR COMPOSITE FIRE PLAN

003424

P84-124

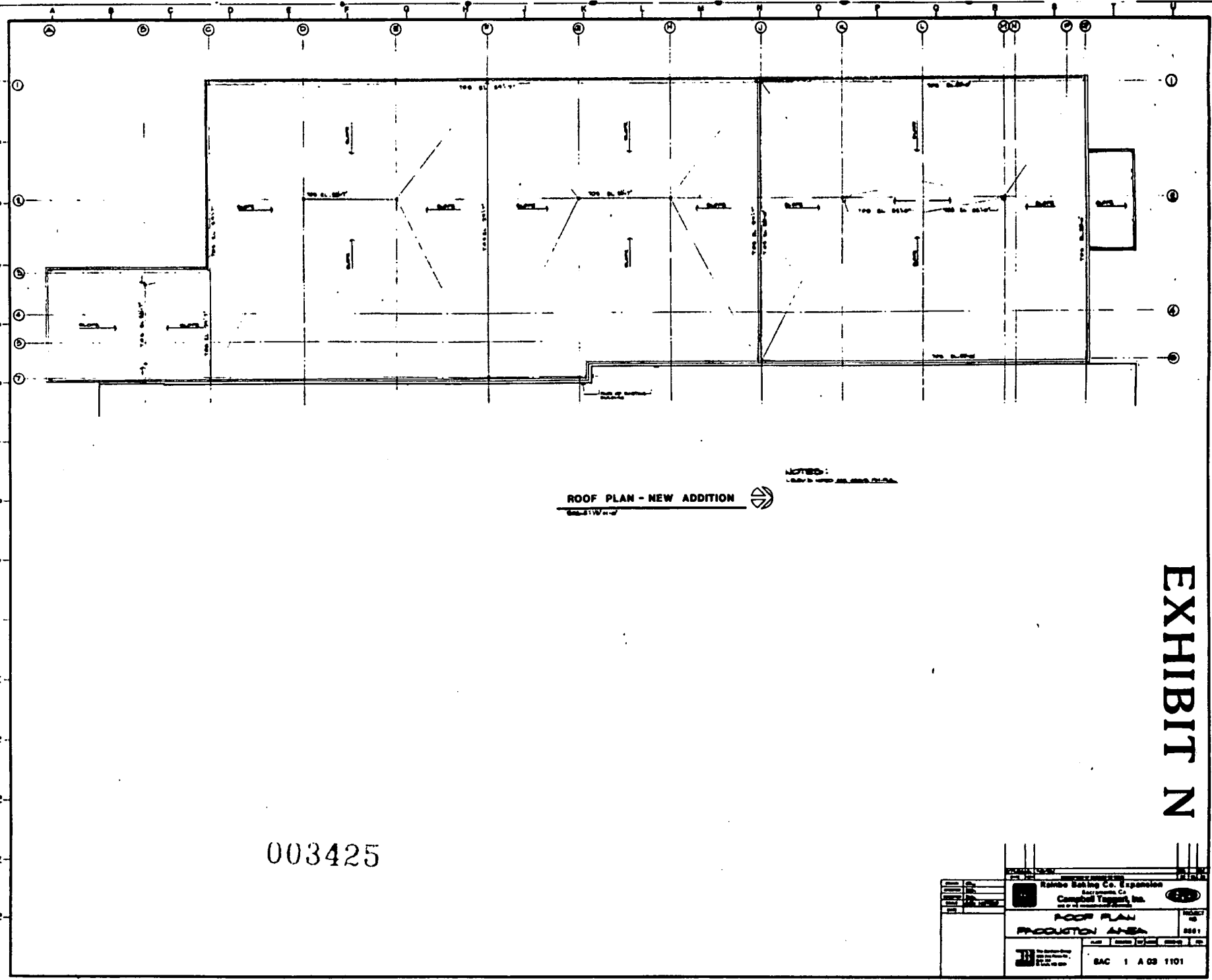
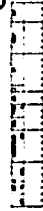
529-84

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88-124

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6 #



ROOF PLAN - NEW ADDITION

NOTED:
 SEE SHEET 88-124 FOR DETAILS

003425

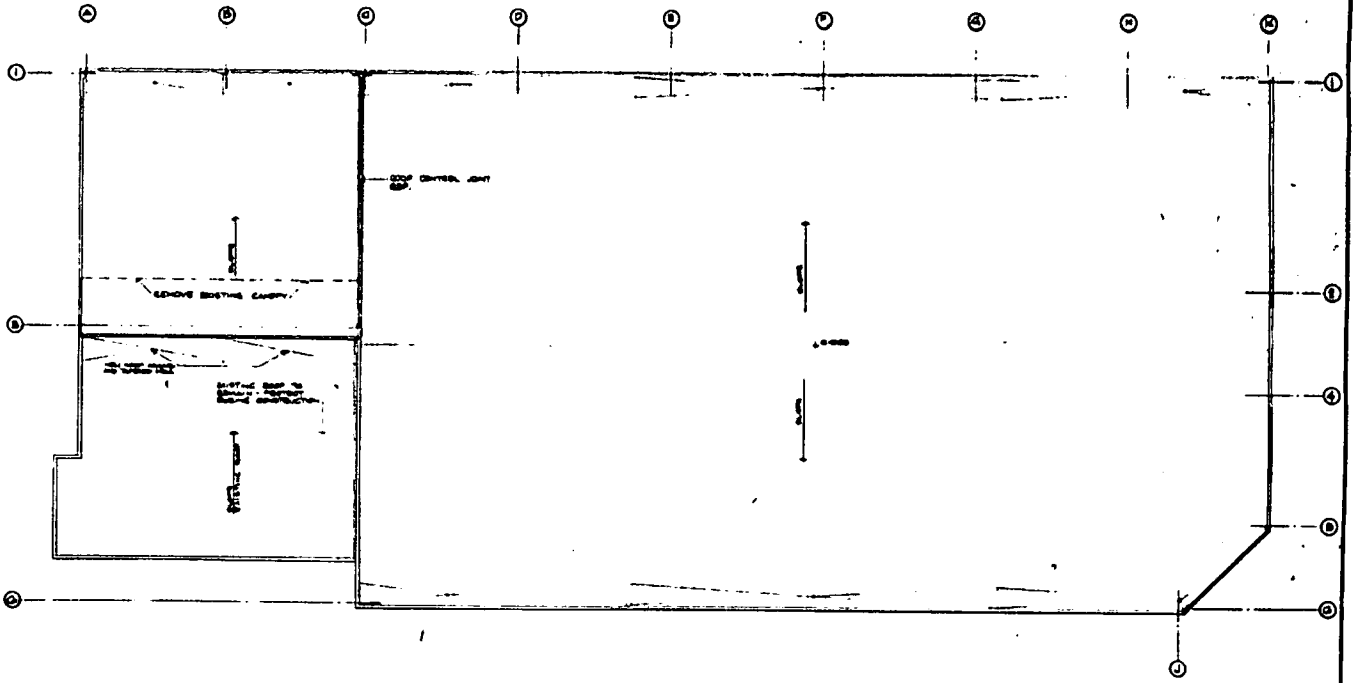
EXHIBIT N

Rambo Baking Co. Expansion Eastman Co. Campbell Taggart, Inc. 100 W. 10th Street St. Paul, Minn. 55102		PROJECT NO. 8801
ROOF PLAN PRODUCTION AREA		SHEET NO. 8801
SAC 1 A 03 1101		DATE 10/1/84

784-124

5-24-84

#9



ROOF PLAN - ROUTE TRUCK LOADING



003426

EXHIBIT O

Naimbo Baking Co. Expansion Sacramento, Ca. Campbell Yagouti, Inc. <small>Architects</small>		PROJECT NO. 8801
ROOF PLAN ROUTE TRUCK LOADING		SHEET NO. 8801
SAC 8 A 02 1131		DATE

EXHIBIT P

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WEST ELEVATION FROM 23RD ST.

SOUTH ELEVATION FROM 23RD AVE.

003427

D84-124

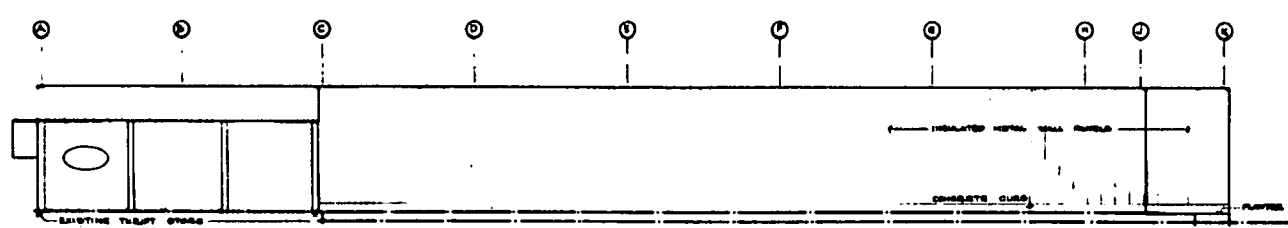
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#9

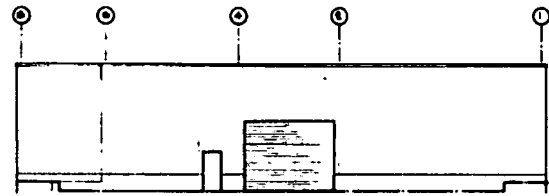
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5-27-87

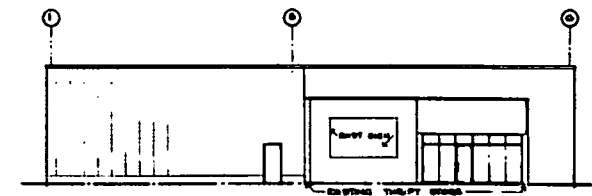
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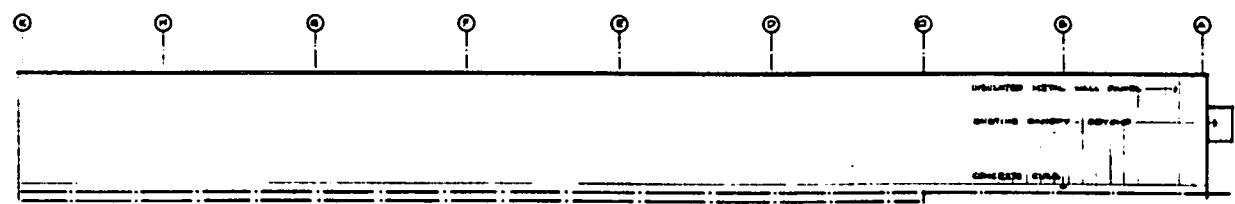
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

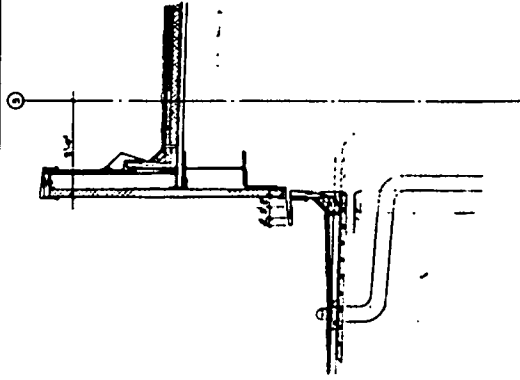
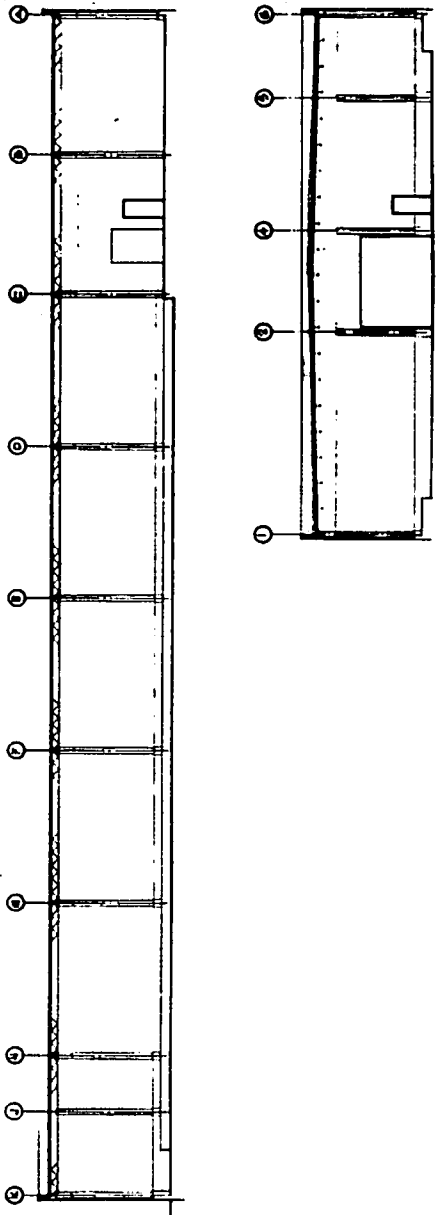
003428

EXHIBIT Q

Halsey Building Co. Engineers Engineers & Architects Campbell Tappan, Inc. 100 N. 1st St., Suite 100 St. Paul, MN 55101		PROJECT NO. 0001
ROUTE TRUCK LOADING EXTERIOR ELEVATIONS		SHEET NO. 0001
SAC A 0002		DATE 5/27/87

EXHIBIT R

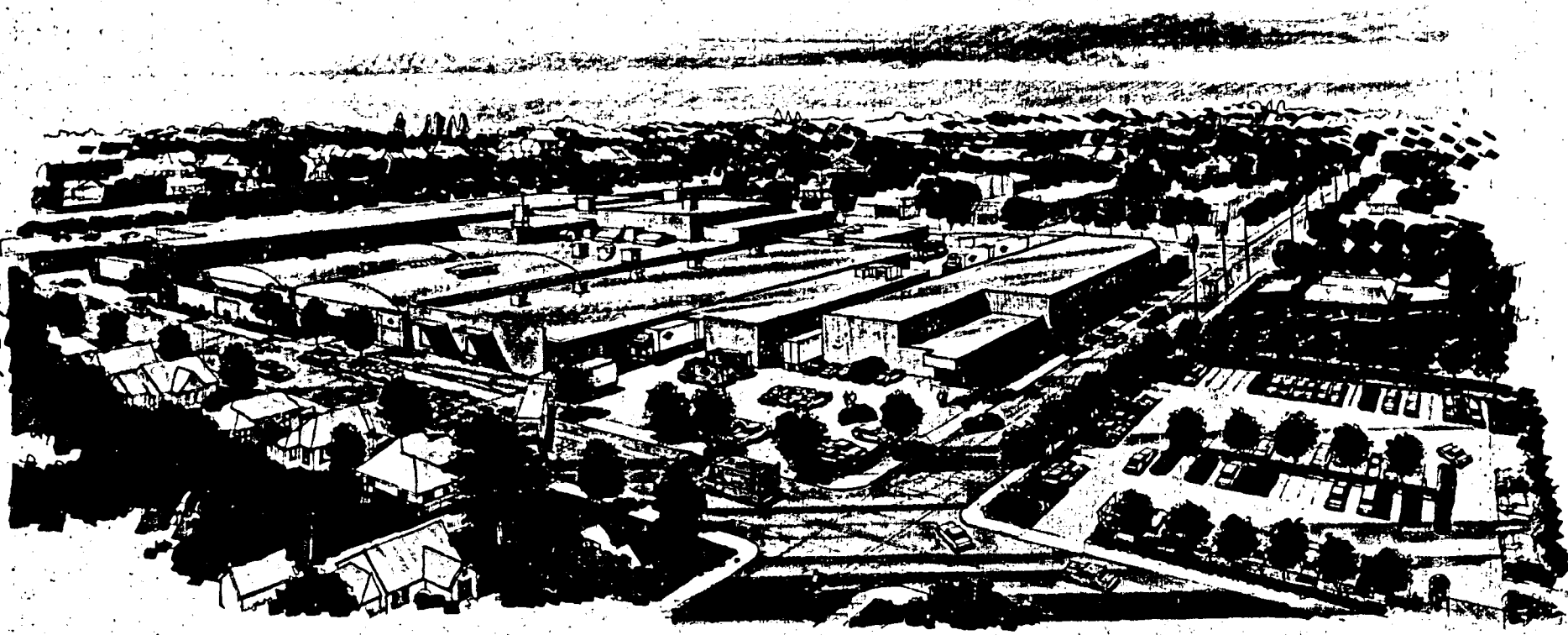
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ALLIANCE COLLECTION	
CIVIL RIGHTS DIVISION	
MEMPHIS OFFICE	



003429

P84-124

8-24-84



RAINBOW BAKING CO.
SACRAMENTO
EXPANSION

003430

No. 9

EXHIBIT S

May 7, 1984

EXHIBIT Y

Mae F. Worthing
3701 2nd Avenue
Sacramento, Ca. 95817

CITY PLANNING DEPARTMENT
MAY 4 - 1984
RECEIVED

City of Sacramento
Planning Department
927 - 10th Street, Suite 300
Sacramento, Ca. 95814

Foy Patterson
Project: 84-124

I, Mae F. Worthing, feel that the
use of this property for a parking
lot is a very poor idea.

The location of this property is an
ideal location for a multi-family
dwelling. If anything, relocate the
bakery. The large trucks that are
used by the bakery are very bad
safety problems in the area.

003459

Sincerely,
Mae F. Worthing
5-24-84

No. 9

P84-124