

DEPARTMENT OF
PLANNING AND DEVELOPMENT

CITY OF SACRAMENTO
CALIFORNIA

1231 I STREET
ROOM 200
SACRAMENTO, CA
95814-2998

BUILDING INSPECTIONS
916-449-5716

PLANNING
916-449-5604

December 9, 1992

SPECIAL PERMIT MODIFICATION
(P92-278)

APPLICATION: Planning Director's Modification of a Special Permit to allow construction of a 3,803 square foot veterinary hospital on 1.2± partially developed acres in the Rural Estates (RE 1/4) zone.

LOCATION: 7615 Sheldon Road

SUMMARY: The applicant is requesting a special permit modification for the construction of an 3,803 square foot veterinary hospital. The modification allows the review of the site using City standards. The site has an existing special permit approved by the County of Sacramento. Between the time of the special permit and building permits, the site was annexed to the City.

BACKGROUND INFORMATION: The subject site is located within the Cosumnes River College annexation area. The site currently contains a valid special permit from the County of Sacramento to develop a veterinary hospital. The entitlements from the County of Sacramento include a Use Permit to allow a veterinarian office and animal hospital, a Variance to reduce the required lot area from five acres to 1.23 acres, and a Special Review of parking to reduce the required number of spaces from 26 to 19. The site, upon annexation, is zoned Rural Estates (RE 1/4). A veterinary hospital within the City limits is allowed in any zone subject to special permit approval. Since the site has a valid County special permit, staff determined a special permit modification would be adequate to ensure compliance with City standards.

APPLICANT'S PROPOSAL: The applicant is requesting a modification of the County's special permit to allow the construction of a 3,803

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square foot veterinary hospital. The site currently contains a 1,371 square foot residence. The residence is being expanded to a 3,803 square foot veterinary hospital.

STAFF ANALYSIS: Staff has no objection to the applicant's proposal. The County of Sacramento held public hearings on the proposed project. It was supported by the South Sacramento Community Planning Advisory Council, and had no neighborhood opposition. It was established that there was a need for a full service small animal veterinary facility in the area.

The submitted site plan places the building in the center of the site, with parking around the perimeter of the building. The applicant has revised his site plan to incorporate the parking and maneuvering areas required by the City. The County reviewed a special permit to reduce the parking requirements. The City, however, views veterinary hospitals as a medical use requiring one parking space for each 200 square feet. The 3,803 square foot veterinary hospital requires 19 parking spaces. The site plan indicates 19 spaces provided on site. It is unclear from the applicant's site plan how much of the area of the lot which is not used for parking is landscaped. The applicant shall submit a landscape plan for review and approval of the Planning Director prior to the issuance of Building Permits. The landscape plan shall indicate the required fifty percent tree shading of the parking and driveway areas, as well as all other landscape areas. The front setback area should be landscaped with a combination of trees, shrubs and groundcover to shield the driveway from view from the street. All portions of the property which are not landscaped or paved shall be barricaded from entry by a six inch concrete curb, fence, or bollards. No storage or parking is allowed on unpaved surfaces.

The proposed development has been reviewed by City Transportation Division, and Fire Department to ensure compliance with City development standards. The Transportation Division has requested that the right-of-way for Sheldon Road be a 64 foot half street. This dedication will be required at the time of Building Permits. The applicant should enter into an agreement to pay a fair share of the infrastructure improvements for the future construction of the right-of-way.

The City of Sacramento Zoning Ordinance requires that a six foot solid masonry wall be located along property lines which abut residential uses or zones. The site plan indicates a wood fence or chain link with slats. The site plan will need to be modified to indicate a solid masonry wall along the east, west, and northern property lines. The wall shall be located outside of the required front setback area.

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The proposed building is a single story building. The elevations indicate the exterior materials to be cement plaster with brick trim at the base. There is also steel gridwork which accents the main entrance. Staff has no objection to the proposed design of the building. The roof material is indicated to be "Hardshake" or something similar. If composition shingle roofing is proposed, it shall be a minimum 25 year rated laminated dimensional composition shingle.

The applicant has also indicated the proposed signage for the site. Staff has no objection to the location or design of the proposed monument sign. The Sign Ordinance, however, limits signage to 16 square feet for non-residential uses within a residential zone. The applicant's proposal consists of a 30 square foot (15' x 2') sign. The applicant should redesign the sign prior to the issuance of Sign Permits.

ENVIRONMENTAL DETERMINATION: The modification of the special permit does not require environmental review, however, the entitlements issued by the County of Sacramento resulted in a Negative Declaration with mitigation measures. The applicant shall comply with the following mitigation measures which were required by the County of Sacramento:

- A. To compensate for the removal of the 12 inch dbh oak tree the applicant shall plant twelve 15-gallon native oak trees (either valley oak/Quercus lobata or interior live oak/Q. wislizenii). Prior to the physical modification of the project site, a Replacement Oak Tree Planting Plan shall be prepared by a certified arborist or other professional tree expert and shall be submitted to the Planning Director for review and approval. The Replacement Oak Tree Planting Plan shall include at the minimum the following elements:
1. Location of all on-site replacement plantings and the species proposed to be planted. As many of the replacement oak trees should be planted on site as possible.
 2. Replacement oak trees that cannot be accommodated on the subject site shall be planted in appropriate off-site permanent open space lands.
 3. Maintenance agreements that will provide care and irrigation of the trees for 3-year establish period. The entity that is responsible for the maintenance program shall be identified.
 4. Planting schedules and maintenance schedules shall be identified.

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- B. Air conditioning or another suitable means of ventilation shall be provided in the dog run area.

RECOMMENDATION: Staff recommends the Planning Director approve the Special Permit Modification to allow construction of a 3,803 square foot veterinary hospital subject to conditions and based upon findings of fact which follow.

Conditions

1. There shall be a minimum of 19 parking spaces provided on site.
2. The applicant shall submit a landscape plan for review and approval of the Planning Director prior to the issuance of Building Permits. The landscape plan shall indicate the required fifty percent tree shading of the parking and driveway areas, as well as all other landscape areas. The front setback area shall be landscaped with a combination of trees, shrubs and groundcover to shield the driveway from view from the street.
3. All portions of the property which are not landscaped or paved shall be barricaded from entry by a six inch concrete curb, fence, or bollards. No storage or parking is allowed on unpaved surfaces.
4. The dedication of a 64 foot half-street (standard 62-foot half-street plus 2 feet to accommodate bike lanes) for Sheldon Road will be required at the time of Building Permits. The applicant should enter into an agreement with the Public Works Department to pay a fair share of the future infrastructure improvements prior to the issuance of Building Permits.
5. The site plan shall indicate a six foot ^{wood fence} ~~high solid masonry wall~~ along the north, east and west property lines. The wall shall not be located within the required front setback area.
6. The design of the structure shall be as per the submitted plans. If composition shingle roofing is proposed, it shall be a minimum 25 year rated laminated dimensional composition shingle.
7. The applicant shall submit a revised sign prior to the issuance of Sign Permits. The sign shall be a monument sign not exceeding 16 square feet in area.

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*See Planning Director Review form
CY*

8. The application shall comply with the mitigation measures in the Negative Declaration prepared by the County of Sacramento. These mitigation measures include:

a. To compensate for the removal of the 12 inch dbh oak tree the applicant shall plant twelve 15-gallon native oak trees (either valley oak/Quercus lobata or interior live oak/Q. wislizenii). Prior to the physical modification of the project site, a Replacement Oak Tree Planting Plan shall be prepared by a certified arborist or other professional tree expert and shall be submitted to the Planning Director for review and approval. The Replacement Oak Tree Planting Plan shall include at the minimum the following elements:

See Planning Director Review form [initials]

- 1) Location of all on-site replacement plantings and the species proposed to be planted. As many of the replacement oak trees should be planted on site as possible.
- 2) Replacement oak trees that cannot be accommodated on the subject site shall be planted in appropriate off-site permanent open space lands.
- 3) Maintenance agreements that will provide care and irrigation of the trees for 3-year establish period. The entity that is responsible for the maintenance program shall be identified.
- 4) Planting schedules and maintenance schedules shall be identified.

b. Air conditioning or another suitable means of ventilation shall be provided in the dog run area.

Findings of Fact

- 1. The project, as conditioned, is based upon sound principles of land use in that the veterinary hospital is compatible with the surrounding land uses which consist of agricultural and residential uses.
- 2. The project, as conditioned, will not be detrimental to the public welfare in that adequate open space and parking is provided.
- 3. The project is consistent with the General Plan and South

Sacramento Community Plan which both designate the site
Special Planning District.

Report Prepared By:

Cindy Gros 12-9-92
Cindy Gros, Associate Planner Date

Recommendation Approved By:

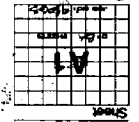
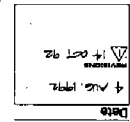
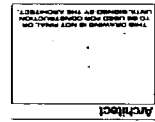
Gary Stonehouse 12-9-92
Gary Stonehouse, Planning Director Date

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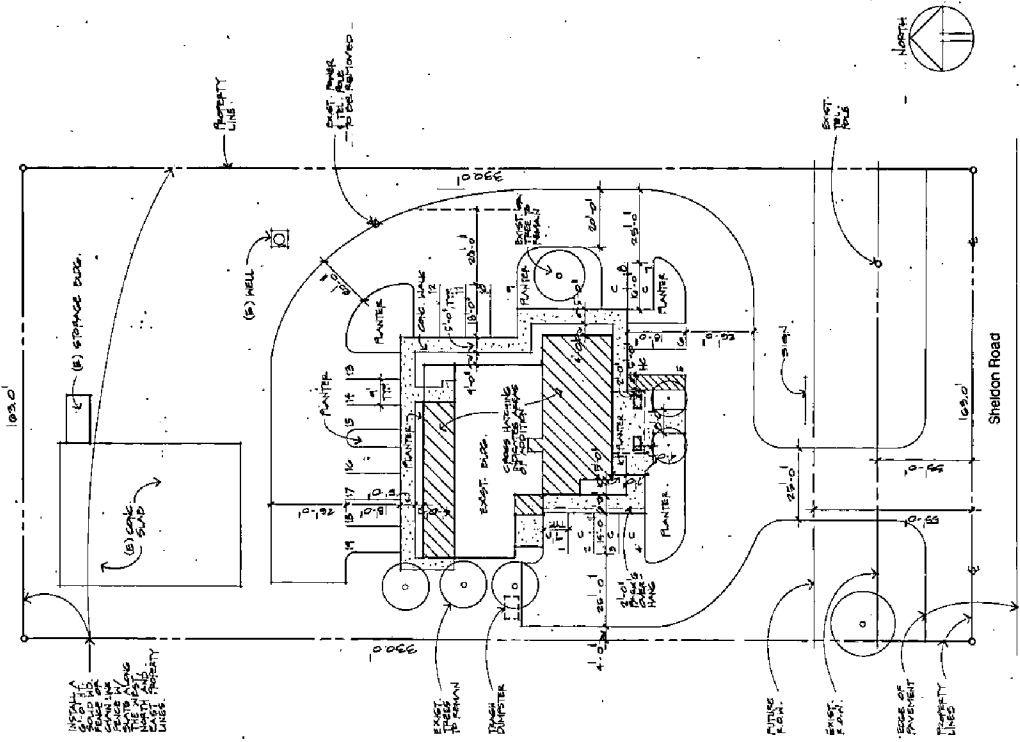


EXHIBIT - A SITE PLAN

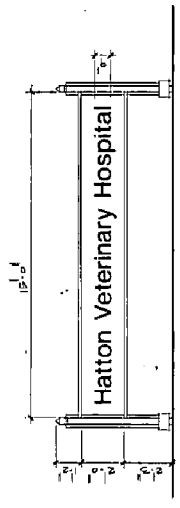


ARTEGRAF, Inc. is not to be held responsible for any errors or omissions in this drawing which may occur in the field or in the construction of the project.

Contractor: [Blank]



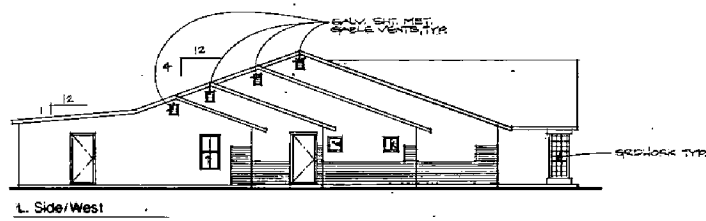
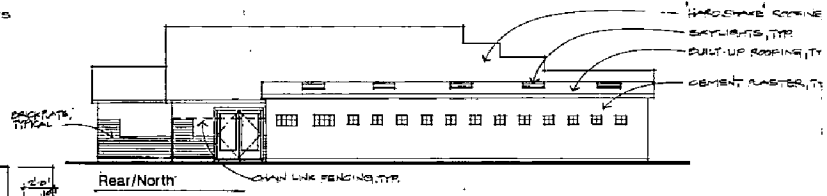
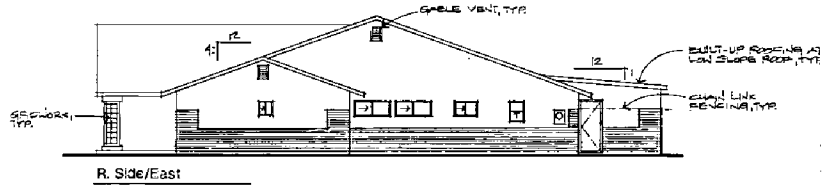
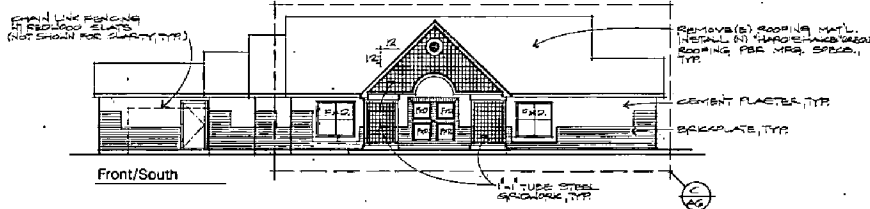
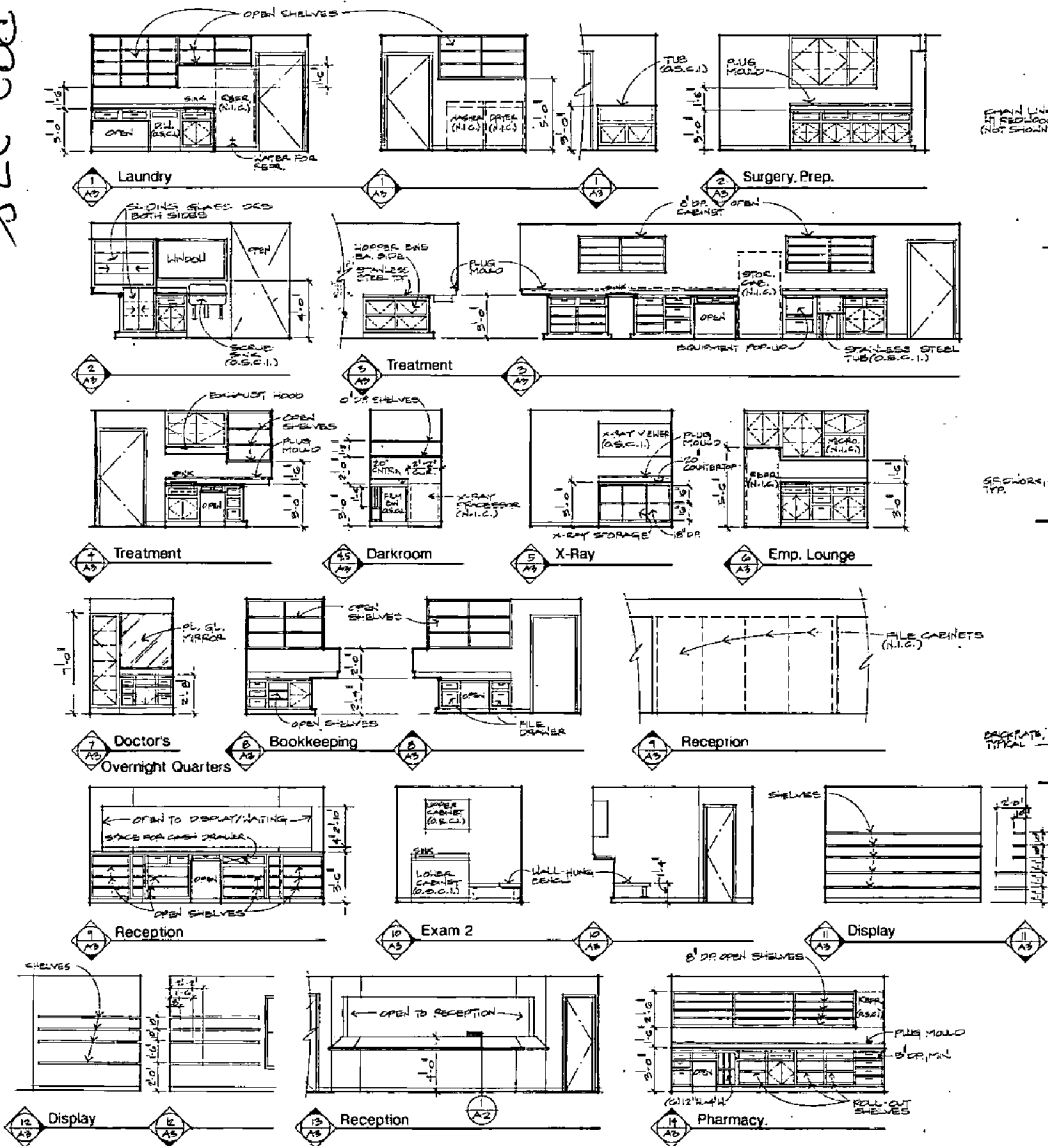
Site Plan
SCALE 1" = 20'-0"



Sign Elevation
SCALE 3/8" = 1'-0"

P92-278

ppg-278



Exterior Elevations
SCALE 1/8" = 1'-0"

1524

ARKTEGRAEF ARCHITECTS

OFFICE

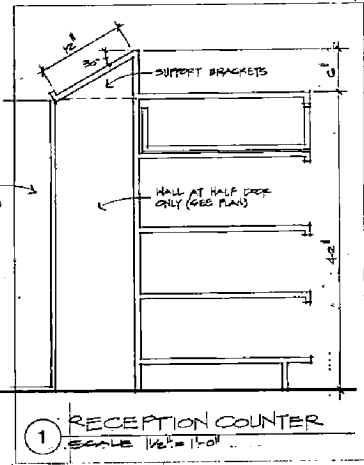
EXHIBIT - B
ELEVATIONS

Architect

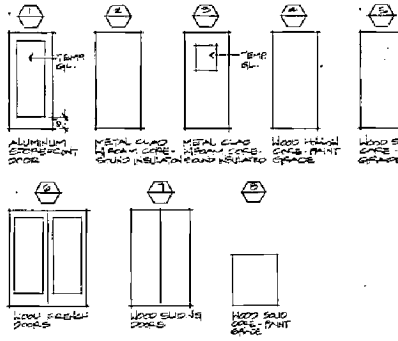
Date 4 AUG. 1974

Sheet 34

890-278-281



Door Types

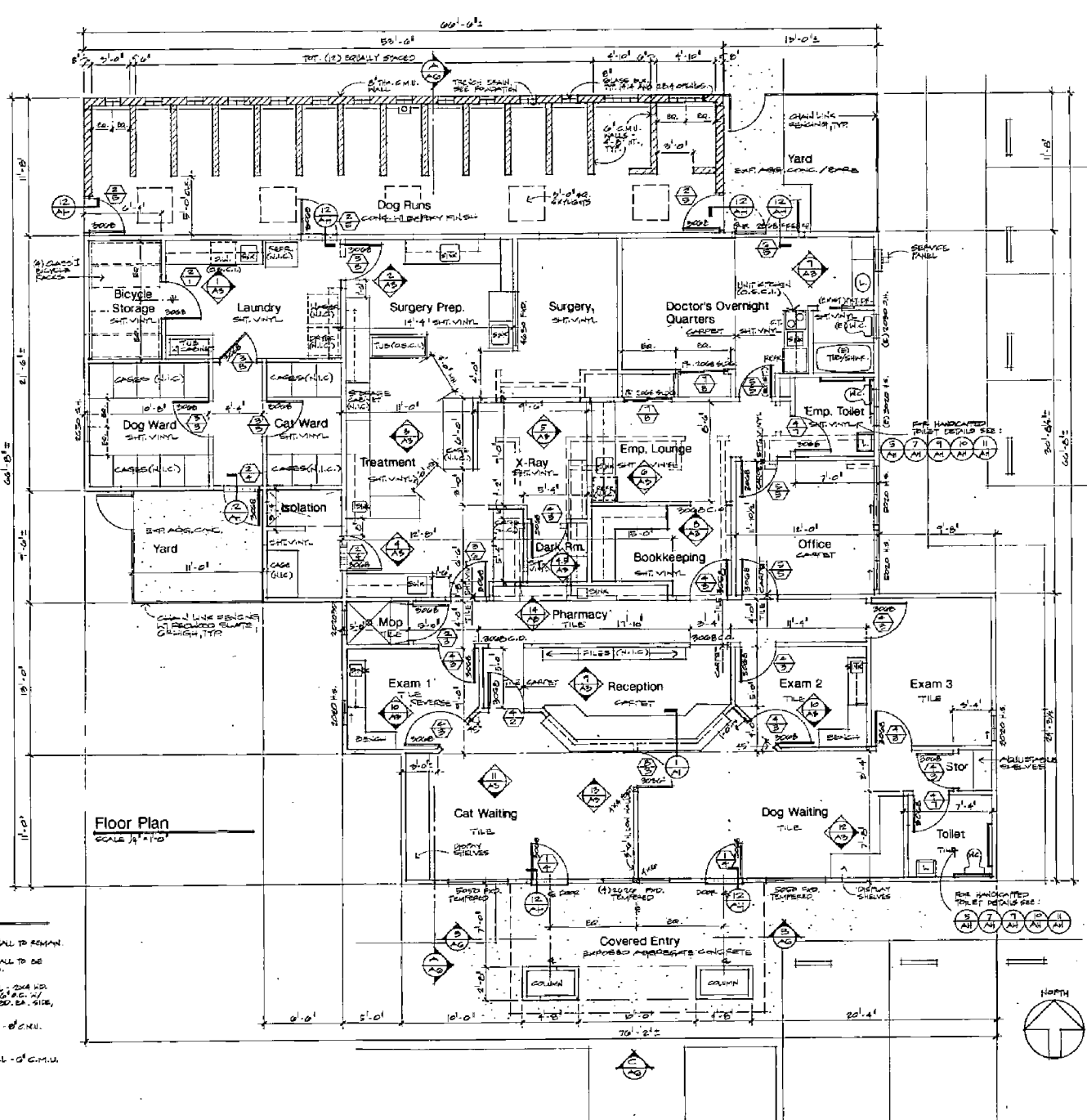


Hardware Function

- CLASSROOM, STORAGE
- CLOSET
- PASSAGE
- RUBER CYLINDER DOORSET & CLOSER
- ENTRANCE
- DUMMY LEVER, PUSH PLATE & CLOSER
- PRIVATE & CLOSER
- RECESSED PULL

Legend

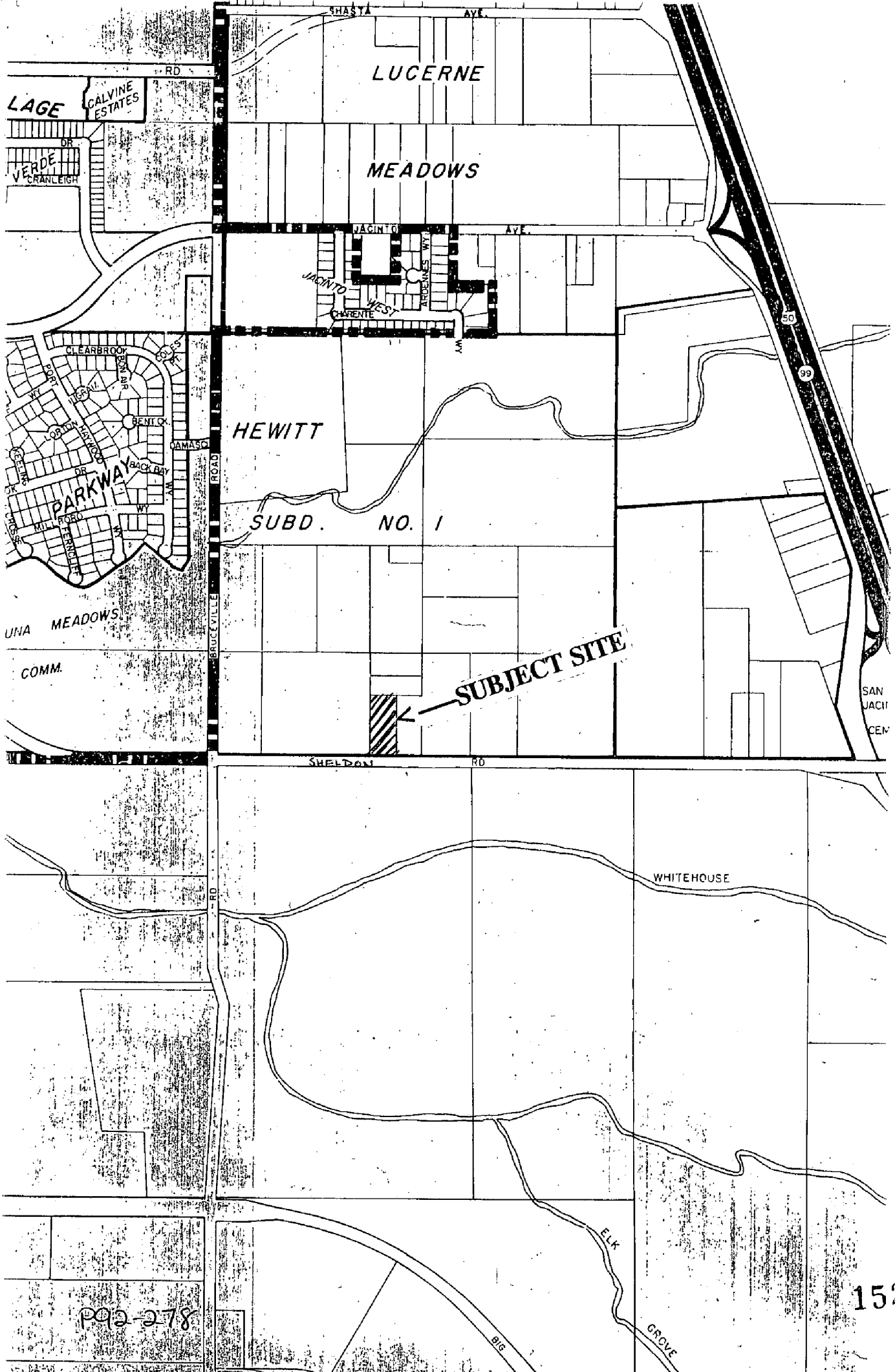
- EX ST. WALL TO REMAIN
- EX ST. WALL TO BE REMOVED
- NEW WALL - 2000 W.P. STIPS @ 16" O.C. W/ 1/2" GYPS. BO. OR G.I. BO.
- NEW WALL - 8" CMU
- NEW WALL - 12" CMU



ARKTEGRAF
OFFICE

EXHIBIT - C
FLOOR PLANS

Architect
Date 4 AUG. 1962
Sheet 23



LAGE

CALVINE ESTATES

LUCERNE

MEADOWS

JACINTO AVE.

JACINTO

CHARENTE

WEST

ARDENNES WY.

HEWITT

SUBD. NO. 1

CLEARBROOK

ORION

HELEN

BENTON

AMASCO

BACK BAY

PARKWAY

MILL ROAD

FRITCH

UNAMEADOWS

COMM.

SUBJECT SITE

SHELDON RD.

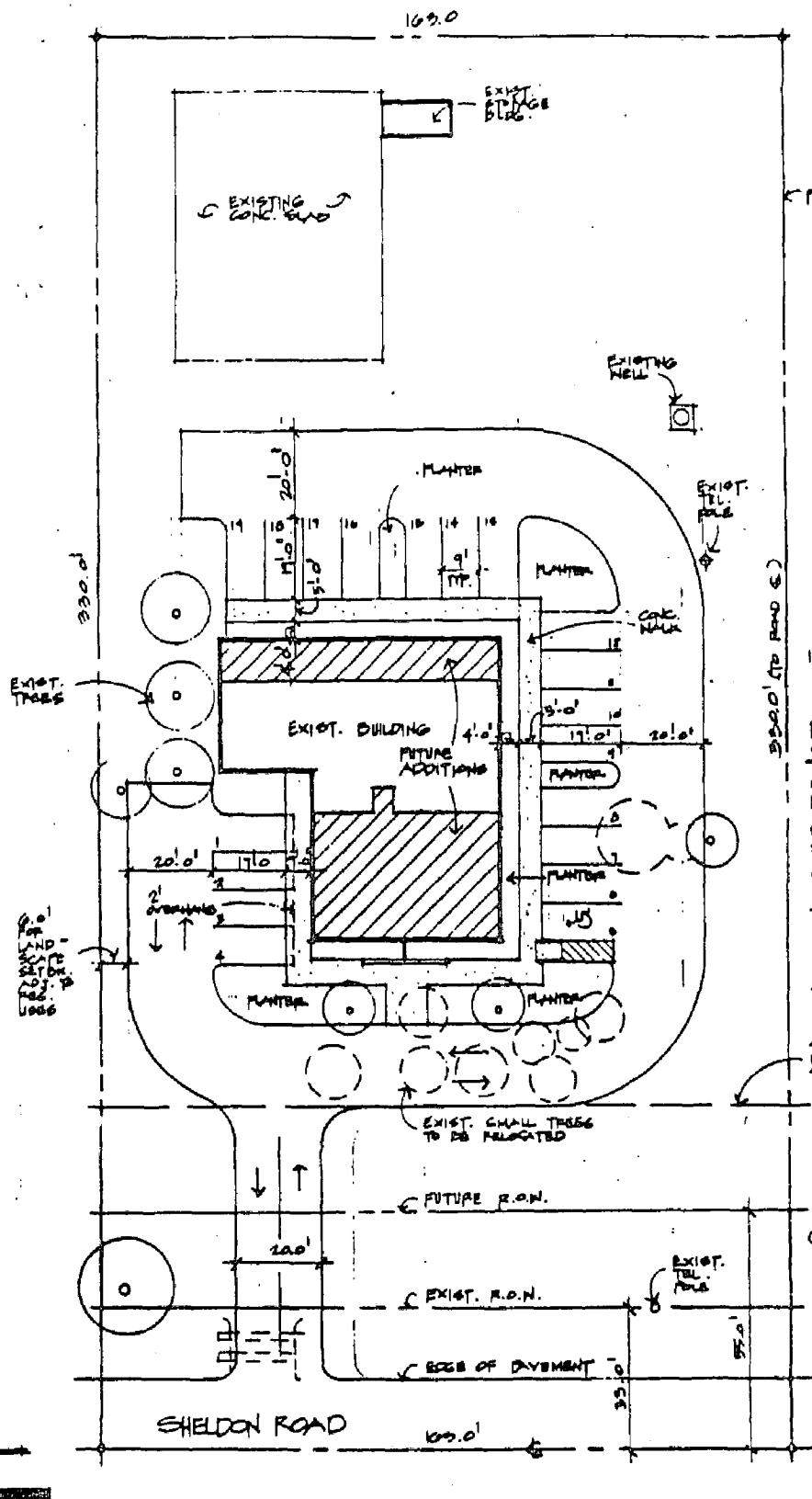
WHITEHOUSE

ELK

GROVE

ppg-278

1526

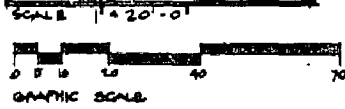


PROPOSED VETERINARY OFFICE:

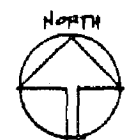
EXIST. PROPERTY ZONING IS A R 5 COUNTY
 USE INSTITUTIONAL DEVELOPMENT STANDARDS (380-01) PG. 294
 PARKING REQ. USE 4.5 SPACES PER 1000 (380-22) PG. 309
 THEREFORE: NEW BLDG. = 4000 S.F.
 4000 ÷ 1000 = 4
 4 × 4.5 = 18 SPACES PER 17 SPACES PROVIDED
 SINGLE LOADED ALSO PROVIDED TO 20.0' (330-88) PG. 320

85.0' FRONT LANDSCAPE SETBACK
 FRONT ACCESS IS 20.0' WIDE PER (380-97) PG. 324
 FIRE DEPT. IS WITHIN 150.0' OF ALL POINTS OF THE BLDG. FROM END OF FRONT ACCESS (TO BE APPROVED BY FIRE DISTRICT.)

SITE PLAN

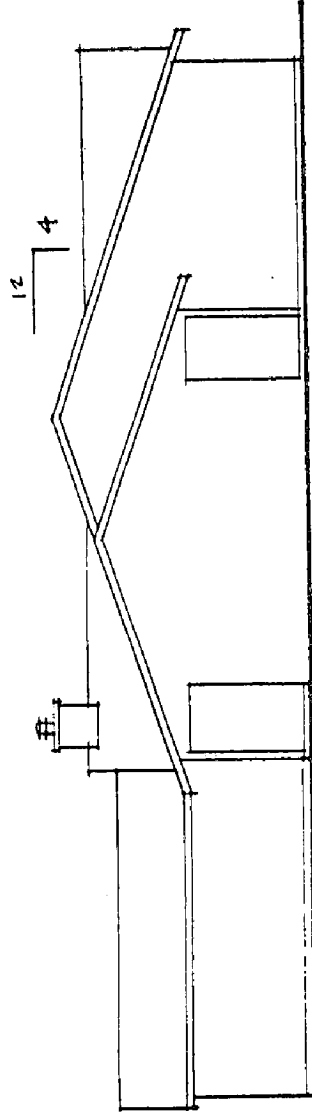


A.P.N. # 117-0212-019

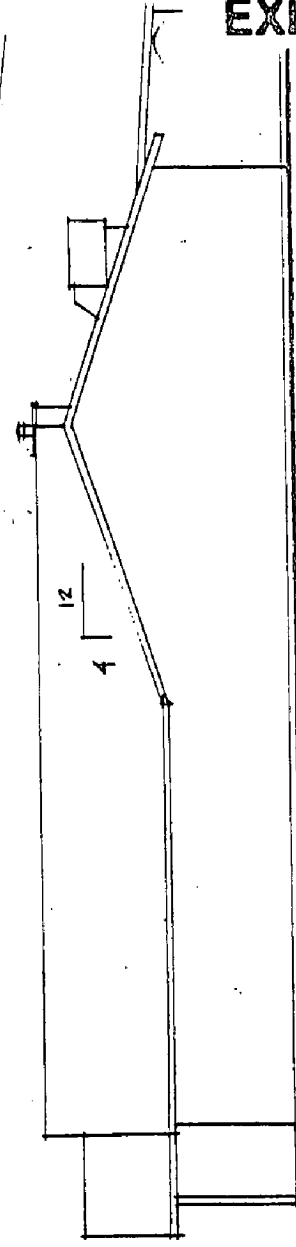


7/18/91
 1527

EXHIBIT "B"

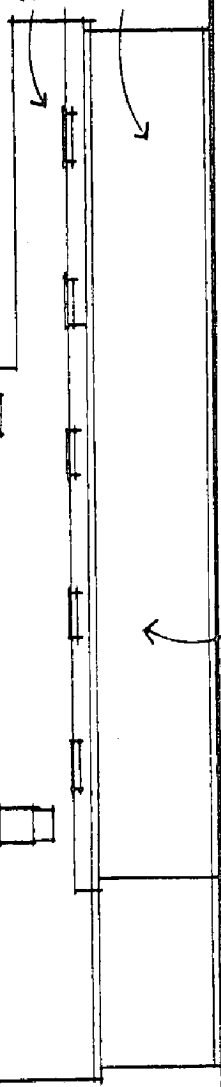


FRONT (SOUTH)



REAR (NORTH)

R. SIDE (EAST)



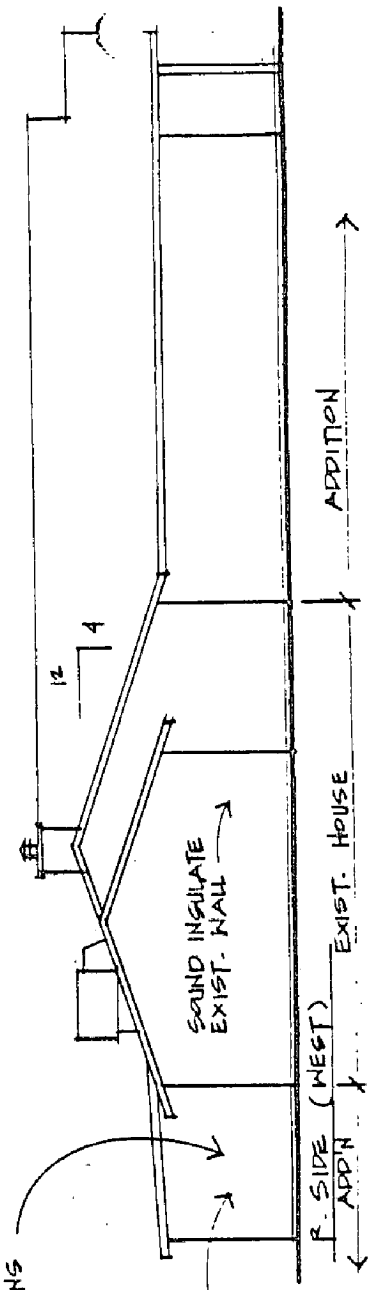
SKYLIGHTS OF TRANSLUCENT
ROOF. SOUND INSULATED
NEW SOUND INSULATED
CONCRETE BLOCK
WALL

AREA OF DOG RUNS

VETERINARIAN'S OFFICE

PRELIMINARY MASSING ELEVATIONS

SCALE 1/8" = 1'-0", TYPICAL



R. SIDE (WEST)

SOUND INSULATE EXIST. WALL

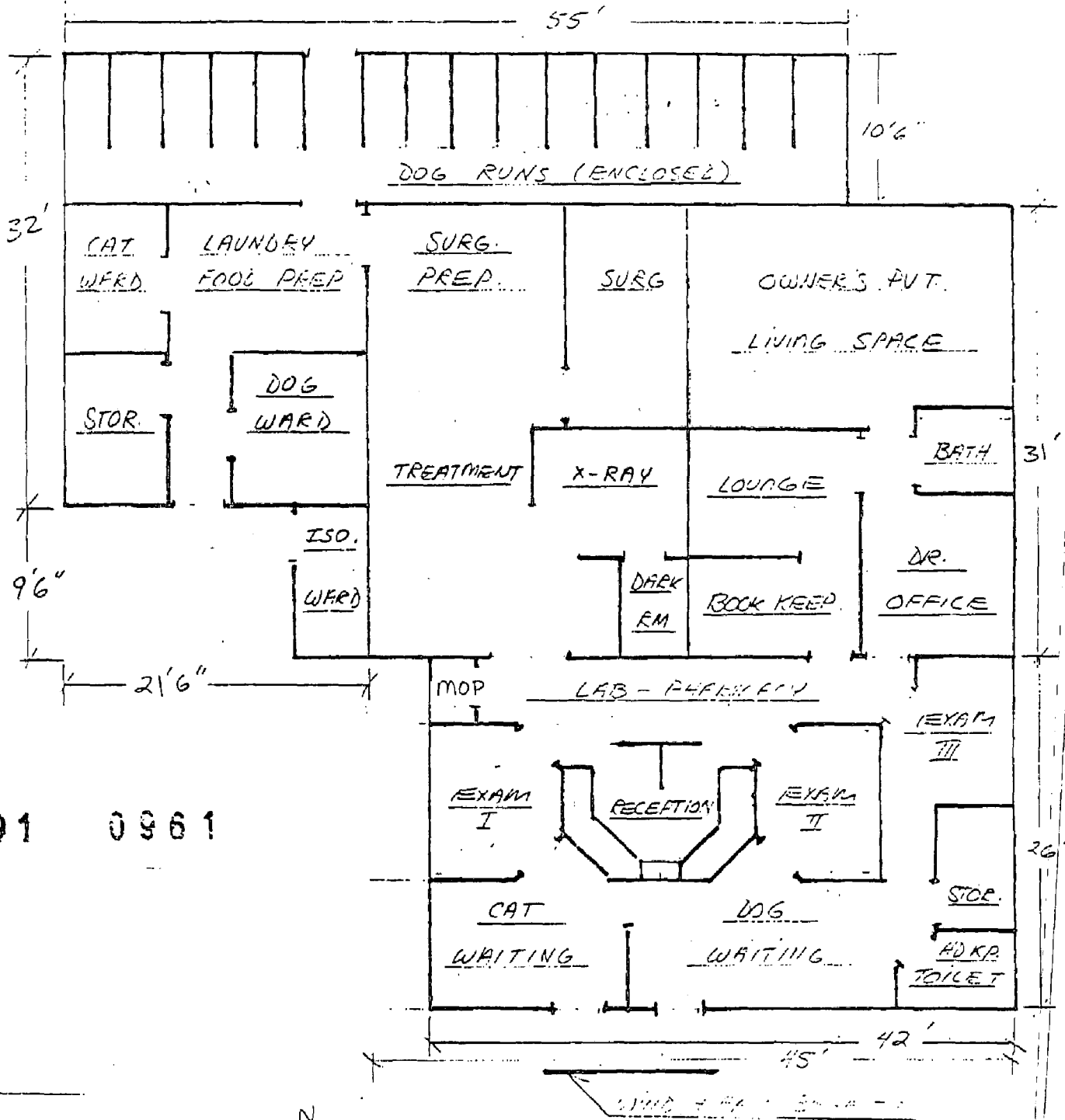
CONC. BLOCK WALL

EXIST. HOUSE

ADDITION

EXHIBIT "C"

PLAN OF CLERK WARDEN'S OFFICE
 DETAIL OF PLAN FOR UNIT
 FLOOR PLAN FOR ENCLOSED UNIT



91 0961

1523

TREE EXHIBIT

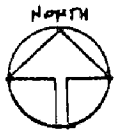
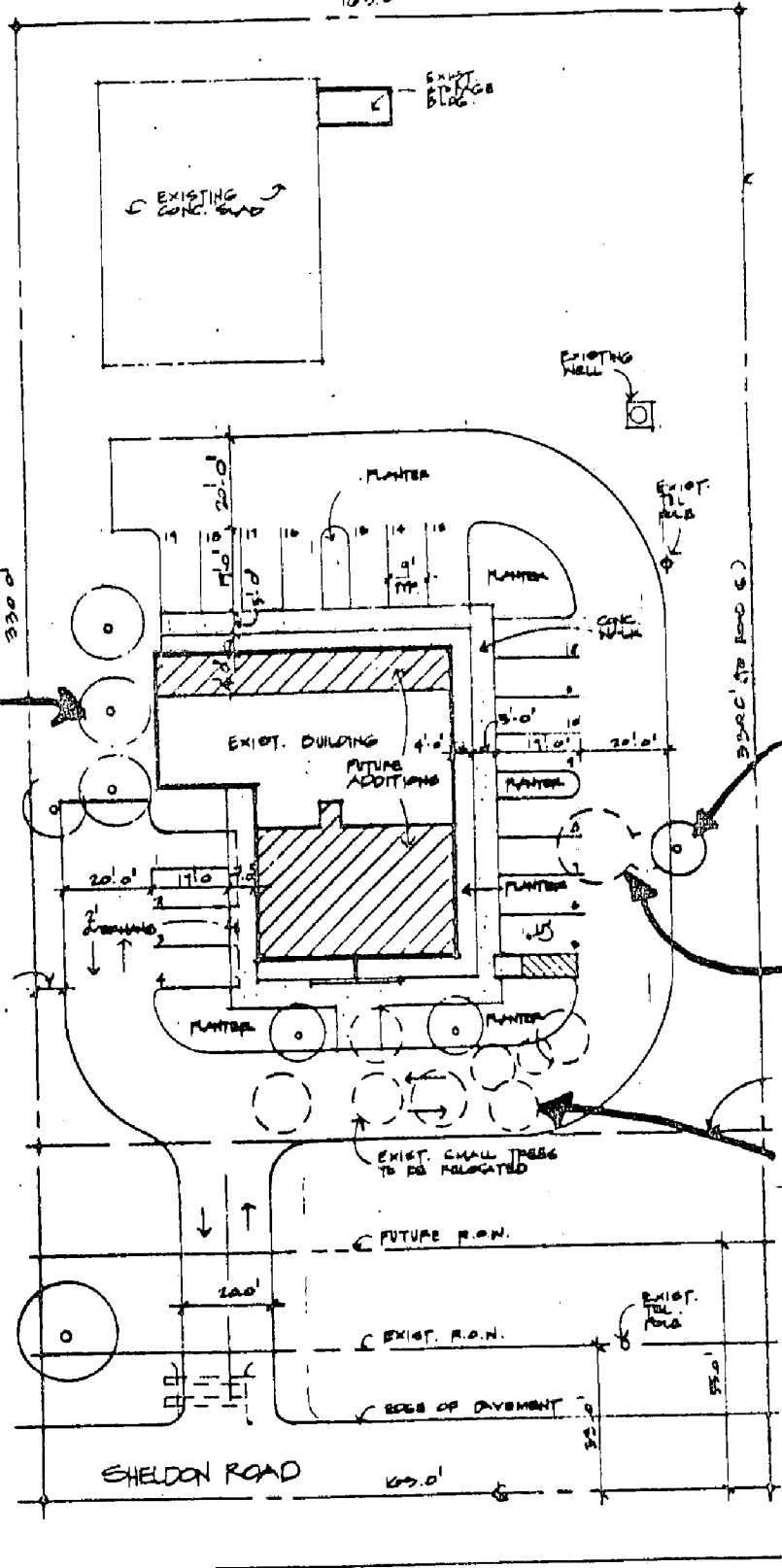
100.0

OLIVE TREES TO REMAIN

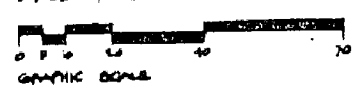
Sycamore

12"-14" dbh oak tree

trees to be removed



SITE PLAN
SCALE 1" = 20'-0"



A.P.N. # 117-0212-019