

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 0011637
Insp Area: 3

Site Address: 2850 19TH AV SAC
Parcel No: 019-0082-013

Sub-Type: NMH
Housing (Y/N): N

CONTRACTOR
UNIVERSAL MOBILEHOME
3213 ARROYO DR
FAIRFIELD CA. 94533

OWNER
LOPEZ ISABEL P/ROSEMARY L-
2850 19TH AV
SACRAMENTO CA 95820

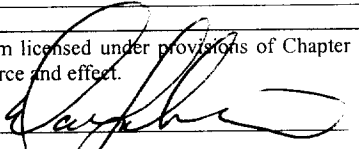
ARCHITECT

Nature of Work: 1560 SF MFR HOME + 24 SF DECK LANDINGS

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class C-42 License Number 556 237 Date 11-15-00 Contractor Signature 

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

_____, I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

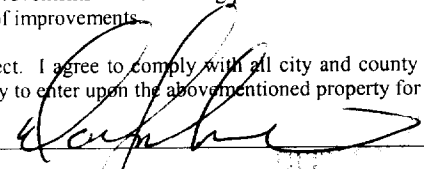
_____, I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

_____, I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 11-15-00 Applicant/Agent Signature 

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

_____, I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier STATE FUND Policy Number 1558589-99 Exp Date 07/01/2001

_____, (This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 11-15-00 Applicant Signature 

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

Certification of Compliance School District Development

Part I--To be completed by the APPLICANT

Owner's Name/Address Rose Mezzueta
 Project Address 2850-19th Ave
 Parcel Number 019 0022 013 Lot No. _____
 Subdivision Name _____ No. of Units _____
 Applicant's Signature [Signature] Title Contractor
 Phone No. 707 459-9261 Date 10-15-00

Notice to Applicant: Pursuant to Government Code Section 66020(d), this will serve to notify you that the 90-day approval period in which you may protest the fees or other payment identified above will begin to run on the date in which the building or installation permit for this project is issued or on which they are paid to the district(s) or to another public entity authorized to collect them on behalf of the district(s), whichever is earlier.

Part II--To be completed by the BUILDING DEPARTMENT

Plan Identification Number 0011637R
 Building Type (check one) Residential Apartment/Condominium Commercial/Industrial
 Square Feet of Chargeable Building Area 575 sq ft
 Signature/Title [Signature] Planner Date 11/8/00

Part III--To be completed by the SCHOOL DISTRICT

School District Sacto Unified Certificate No. 6922
 Exempt Comments _____
 Residential/Apartment/etc. 575 Square ft. x \$ 1.72 = \$ 989-
 Commercial/Industrial _____ Square ft. x \$ _____ = \$ _____
 Total fees collected.. 4,1025 = \$ 989-

This certification covers only the amount of square footage indicated above. Any additions or corrections to the square footage for this project will require an amendment to the Certificate of Compliance.

As the authorized school official, I hereby certify that the requirements of Government Code Section 65995 and any other authorized requirements have been complied with by the above signed applicant.

Signature [Signature] Date 11/15/00

Date of Request: 9-29-00
By: DAOE Jackson

CITY OF SACRAMENTO DEVELOPMENT SERVICES DIVISION
PLANNING AND ZONING INFORMATION REQUEST

Project Address: 2850 19th AOE.

Assessor's Parcel Number: 019 0082 013

Previous Use: Dwellings

Description of Request/Proposed Use: install manufactured home on Sac. Industry Foundation

Is This a Change of Use? No

Prior Applications for Project Site(P#, Z#, DRPB#): _____
Zoning Designation: R1

Comments: needs paved driveway to garage (entire length) Plans should be to

scale. This conceptual plan looks okay - see need to scale
Are There Any Planning Issues?: (circle one) ~~YES~~ NO

- * Staff Site Plan Check Required? (Circle one) ~~YES~~ NO *see above*
- * Field Inspection Required? (Circle one) ~~YES~~ NO
- * Design Review/Preservation Required?: (Circle one) ~~YES~~ NO *(not a Des-Rev. area)*

Planning Review by/Date: [Signature] 9-29-00

A list of items that must be reviewed by Planning is provided on the reverse side of this form.

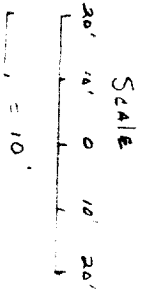
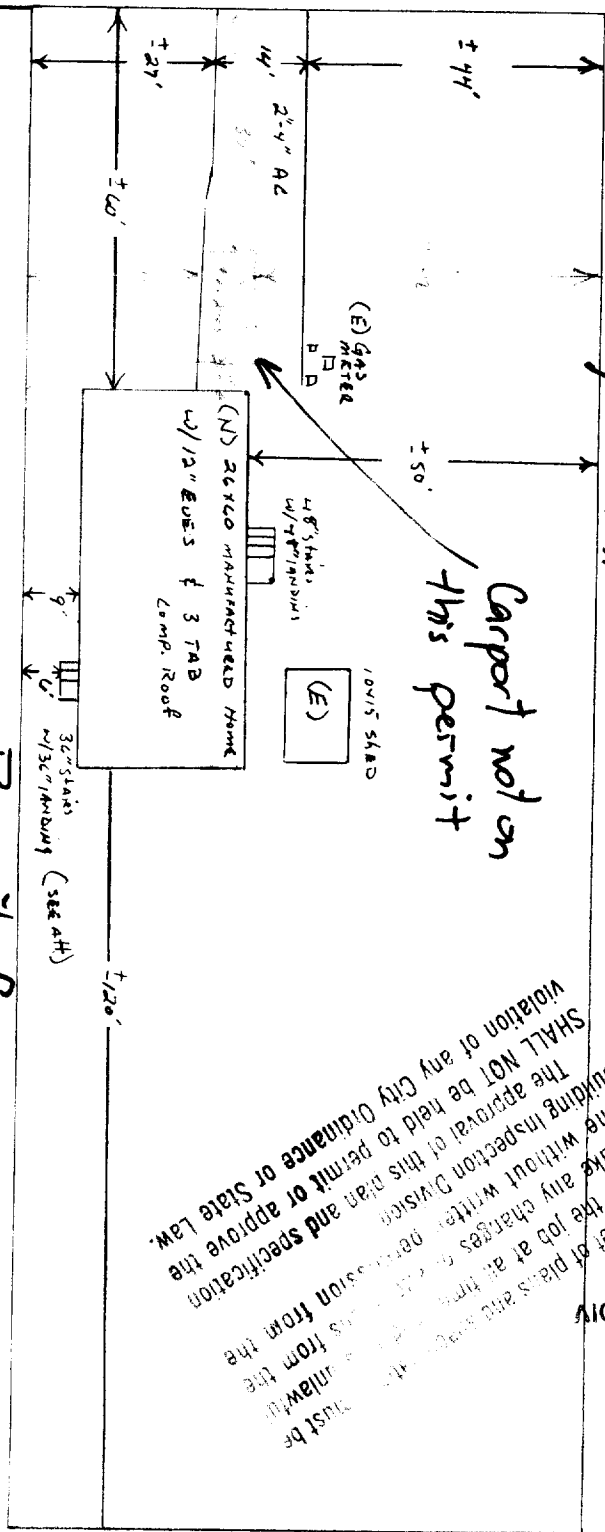
MICROFILM AFTER FINAL

To Franklin

19th AVE

→ Min 18 drainage to street req'd from pad.
 → All ground to slope away from foundation to street.
 → Elevation of pad req'd as necessary for this ± 270'

Carport not on this permit



This set of plans and specifications must be kept on the job at all times. No changes or alterations shall be made without written permission from the Building Inspection Division. The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

Permit For:

- ① 26' X 60' modular home
 - ② 2 entry porches + stairs
 - ③ Driveway req'd.
- Approved set-up manual to be provided to inspector on job, inspect prior to install on job.

AP# 019 0082 013

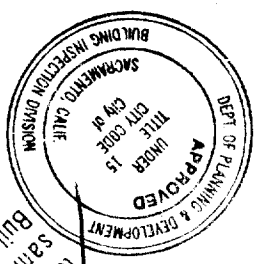
2850 19th AVE.

00011637R

Reviewed by Matt P. 11/15/00

Skirting Detail -

Notes: Skirting to = 1 1/2 ft max 150 sg ft
 Trim & Paint to match Home
 All water to drain away from Home @ 2% for 5' min



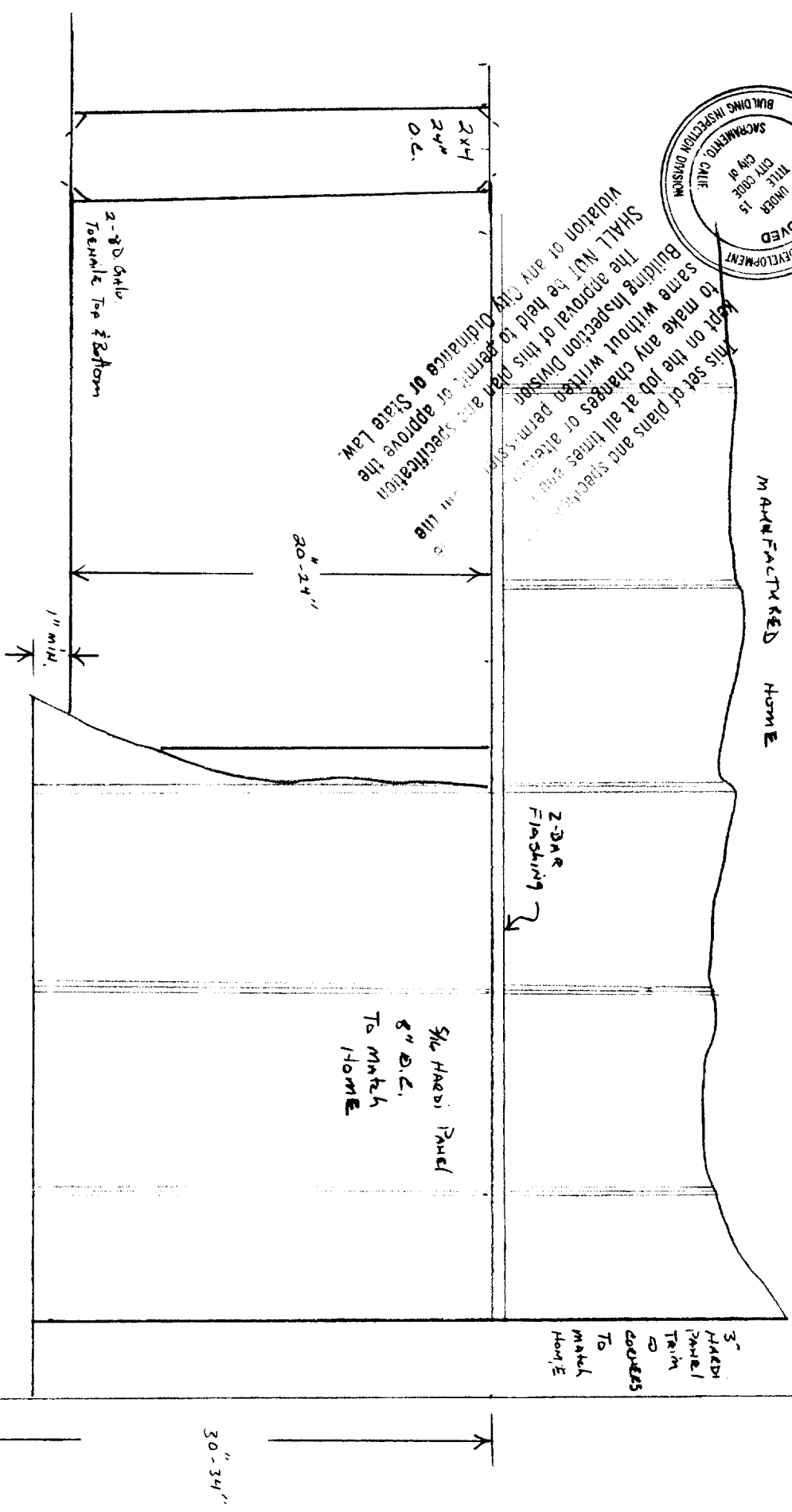
SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.
 This set of plans and specifications is kept on the job at all times and some make any changes or alterations Building Inspection Division to make without written permission. The approval of this set of plans and specifications is subject to the approval of the Building Inspector or State Law.

MANUFACTURED HOME

2x4R Flashing

3/4 Hardi Panel
 8" O.C.
 To match Home

3" Hardi Panel
 To match Home

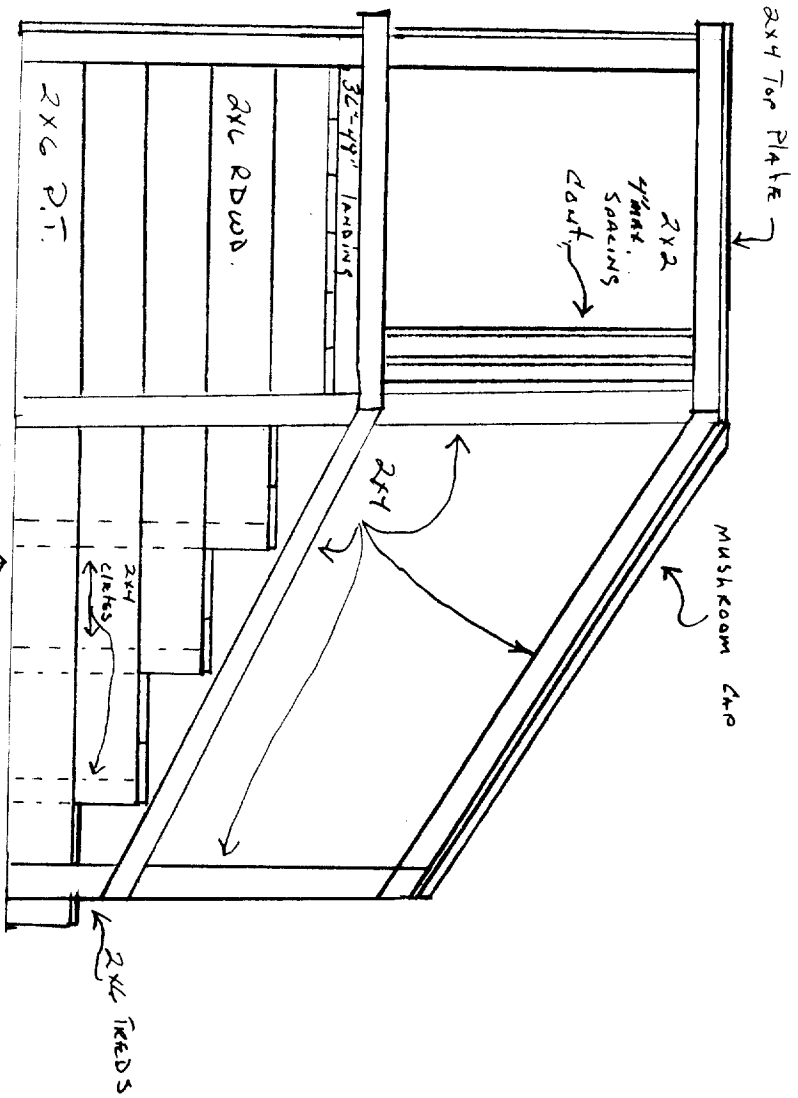


2x8 PT. CONT.

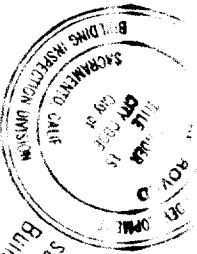
GROUND

30-34"

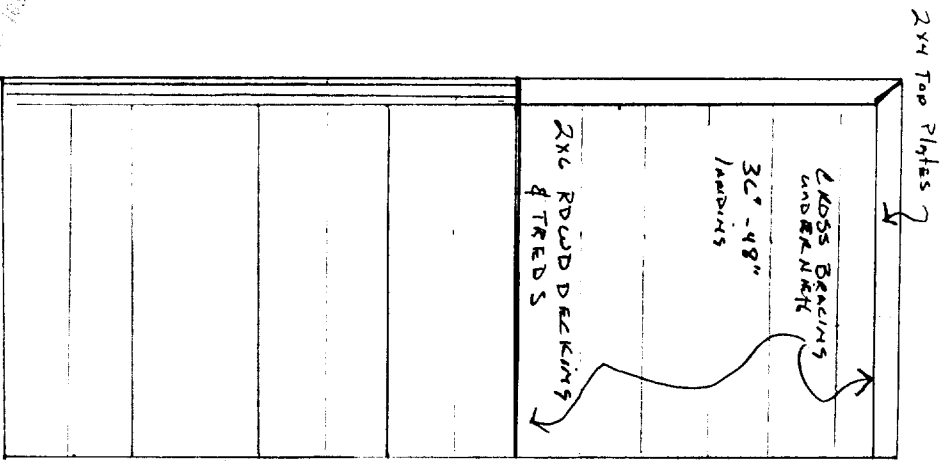
Stair Details



Stair Framing
Double or 3x4
Treads or 4x8"



THIS PLAN IS THE PROPERTY OF THE CITY OF SPRINGFIELD. IT IS LOANED TO YOU FOR YOUR INFORMATION AND USE ONLY. IT IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE CITY OF SPRINGFIELD. THE APPROVAL OF THIS PLAN BY THE CITY OF SPRINGFIELD DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON. THE CITY OF SPRINGFIELD IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE CITY OF SPRINGFIELD IS NOT RESPONSIBLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING OUT OF THE USE OF THIS PLAN.

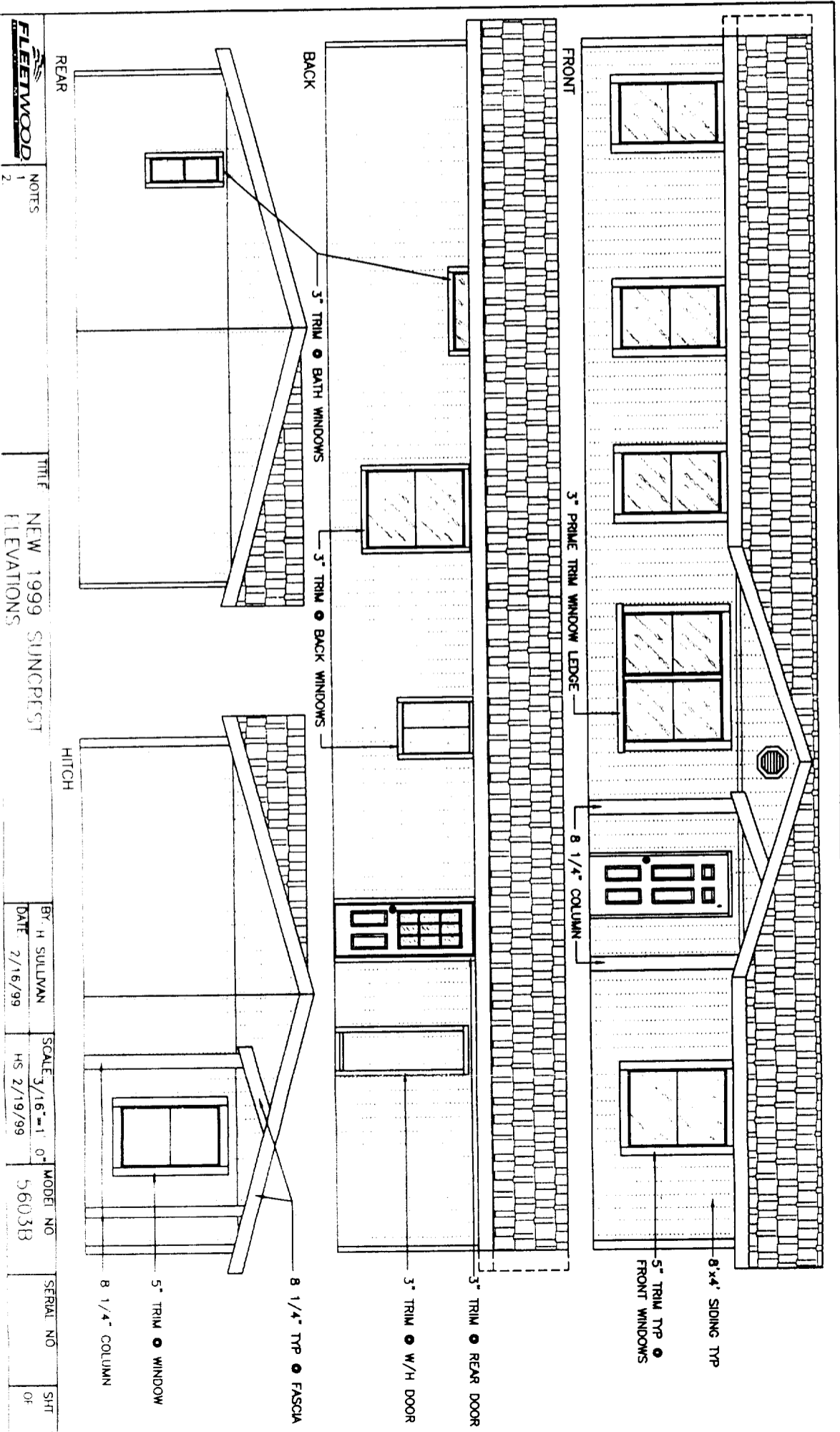


Notes: All material to be P.T. or R2UD, (Except mushroom cap)
 Max. Stair Rise 8"
 Std Run Double 2x4 or 11"
 Max Spacing Pickets 4"



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The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.



FLEETWOOD

NOTES
1
2

TITLE

NEW 1999 SUNCREST
ELEVATIONS

BY: H SULLIVAN
DATE: 2/16/99

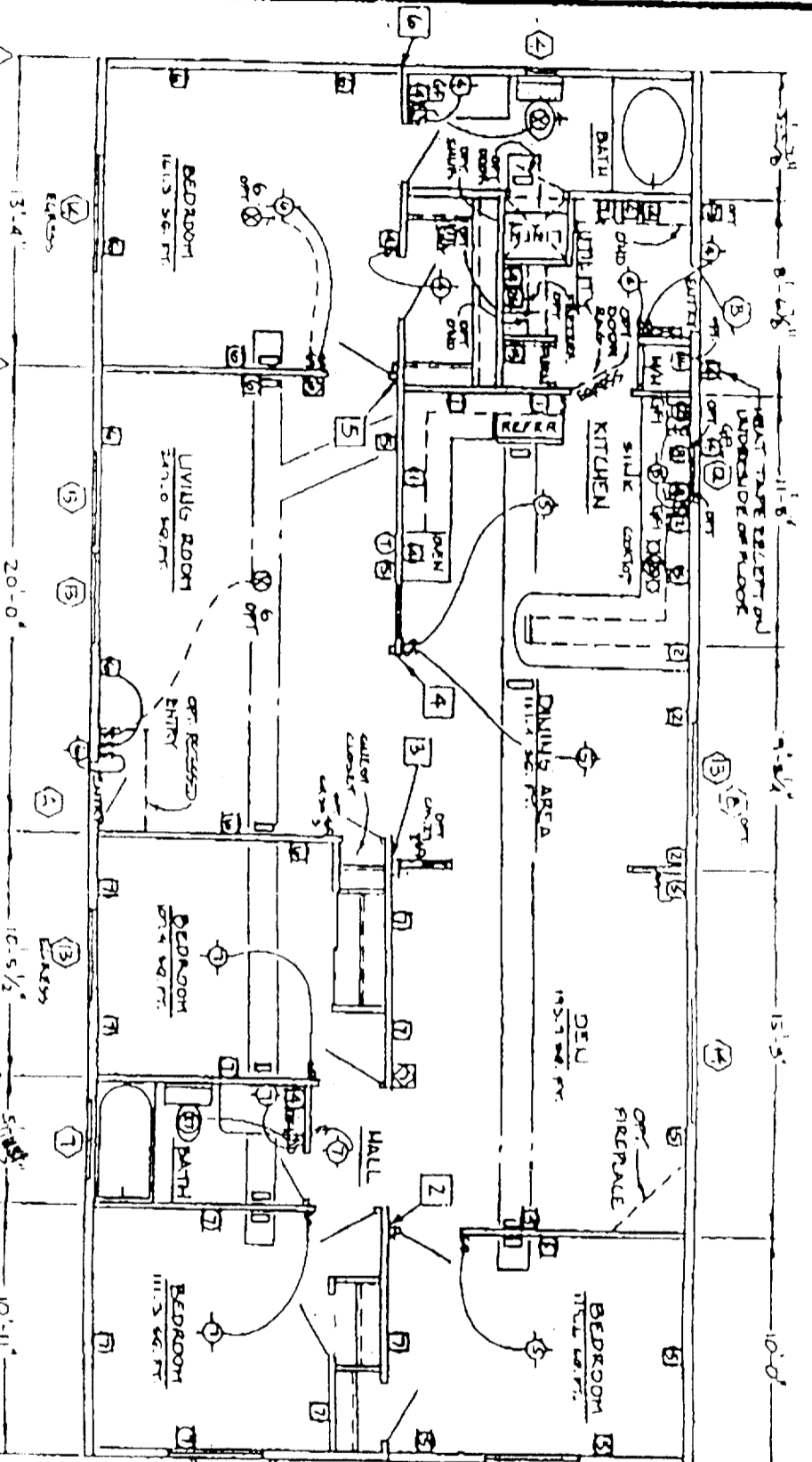
SCALE: 3/16" = 1' 0"
HS 2/19/99

MODEL NO.
5603B

SERIAL NO.

SHT
OF

HOMES WITH 2X6 WALLS & T&T REQUIRE PERIMETER BLOCKING



NOTE:
1) This floor plan may be built in an exact mirror image about the length axis

WINDOW/DOOR SCHEDULE

NO.	SIZE	DESCRIPTION	QUANTITY	NOTE
1	12' x 40"	V GLAZED	4	
2	12' x 40"	H SLIDE	4	
3	12' x 40"	H SLIDE	4	
4	12' x 40"	H SLIDE	4	
5	12' x 40"	H SLIDE	4	
6	12' x 40"	H SLIDE	4	
7	12' x 40"	H SLIDE	4	
8	12' x 40"	H SLIDE	4	
9	12' x 40"	H SLIDE	4	
10	12' x 40"	H SLIDE	4	

RECEIVED
 CITY OF SACRAMENTO
 PERMITS ASSISTANCE
 SEP 29 2005

RADCO
 FEDERAL MANUFACTURED
 HOUSING CONSTRUCTION
 & SAFETY STANDARDS
 SEP 29 1995
 30

APPROVED

10' 0"
 25-2
 34' 8"
 46' 8"
 60'

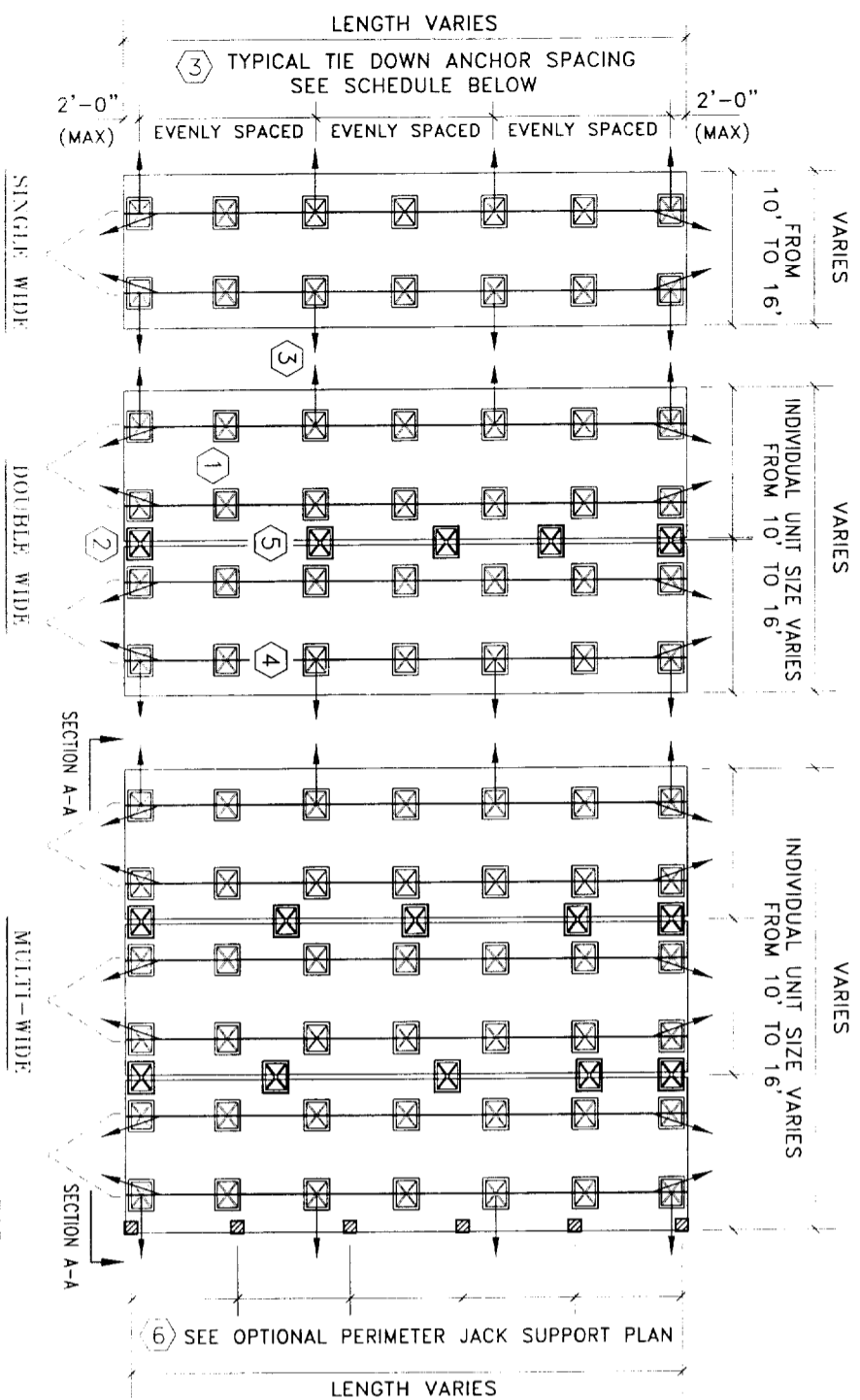
WIND LOADS		SPEED-UP FACTOR		WIND EXPOSURE		WIND DIRECTION		WIND VELOCITY	
WIND SPEED (MPH)	WIND PRESSURE (PSF)	WIND SPEED (MPH)	WIND PRESSURE (PSF)	WIND SPEED (MPH)	WIND PRESSURE (PSF)	WIND SPEED (MPH)	WIND PRESSURE (PSF)	WIND SPEED (MPH)	WIND PRESSURE (PSF)
4000	0.8	4000	0.8	4000	0.8	4000	0.8	4000	0.8
7000	1.0	7000	1.0	7000	1.0	7000	1.0	7000	1.0
8100	1.1	8100	1.1	8100	1.1	8100	1.1	8100	1.1
7100	1.0	7100	1.0	7100	1.0	7100	1.0	7100	1.0
5700	0.8	5700	0.8	5700	0.8	5700	0.8	5700	0.8
3700	0.5	3700	0.5	3700	0.5	3700	0.5	3700	0.5
1100	0.2	1100	0.2	1100	0.2	1100	0.2	1100	0.2
810	0.1	810	0.1	810	0.1	810	0.1	810	0.1
700	0.1	700	0.1	700	0.1	700	0.1	700	0.1

- OPENING FOR VENT
- OPENING FOR AIR
- OPENING FOR LIGHT
- OPENING FOR COLD AIR
- OPENING FOR WARM AIR
- OPENING FOR HOT AIR
- OPENING FOR STEAM
- OPENING FOR GAS
- OPENING FOR LIQUID
- OPENING FOR SOLID
- OPENING FOR OTHER

PROJECT: WOODLAND-17
 DATE: 9/21/95
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 TITLE: FLOOR PLAN

10' 0"
 25-2
 34' 8"
 46' 8"
 60'

MANUFACTURED HOME PERMANENT FOUNDATION PLAN



TYPICAL CHASSIS SUPPORT AND TIE DOWN ANCHOR SCHEDULE

(1) CHASSIS SUPPORT SPACING

(2) MATING LINE SUPPORTS

(3) REQ'D NO. OF TIE DOWN ANCHORS

WIDTH	LENGTH	WIND LOAD	No. OF SIDE TIE DOWNS	No. OF END TIE DOWNS	Total No. OF TIE DOWNS
SINGLE 0'-7 1/2"	70 MPH	4	2	2	8
0'-7 1/2"	55 MPH	4	2	2	8
0'-7 1/2"	45 MPH	4	2	2	8
DOUBLE 0'-7 1/2"	70 MPH	4	2	2	8
0'-7 1/2"	55 MPH	4	2	2	8
0'-7 1/2"	45 MPH	4	2	2	8
MULTI 0'-7 1/2"	70 MPH	4	2	2	8
0'-7 1/2"	55 MPH	4	2	2	8
0'-7 1/2"	45 MPH	4	2	2	8

(4) TYPICAL CHASSIS FRAME

(5) TYPICAL MATING LINE

(6) PERIMETER JACK SUPPORT

NOTE: SEE DETAIL #1 FOR SPECIFICATIONS

NOTE: SEE DETAIL #2 FOR SPECIFICATIONS

NOTE: SEE DETAIL #3 FOR SPECIFICATIONS

DETAIL 1 TYP. FLOOR JOIST

DETAIL 2

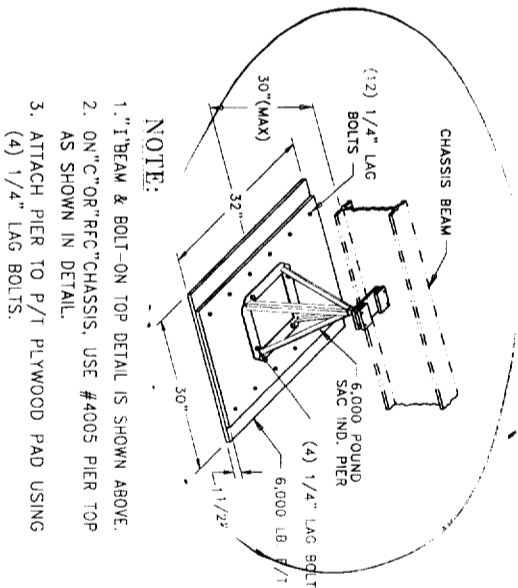
SECTION A-A

NOTE: A COMBINATION OF THE DIFFERENT TYPES OF THE DOWNS CAN BE USED

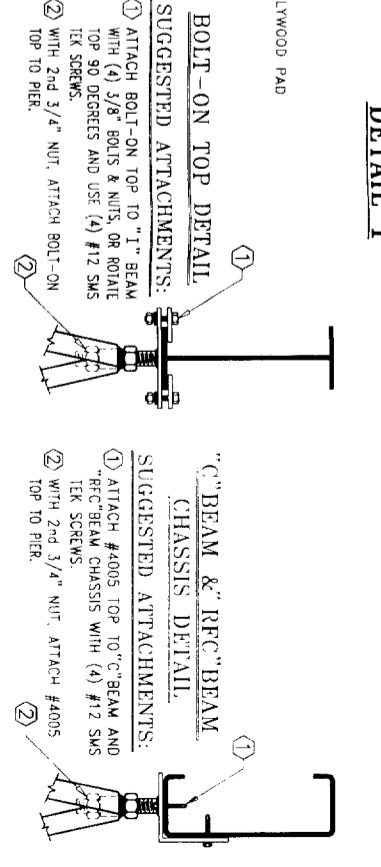
NOTE: SEE OPTIONAL PERIMETER ENCLOSURE PLAN FOR DETAILS



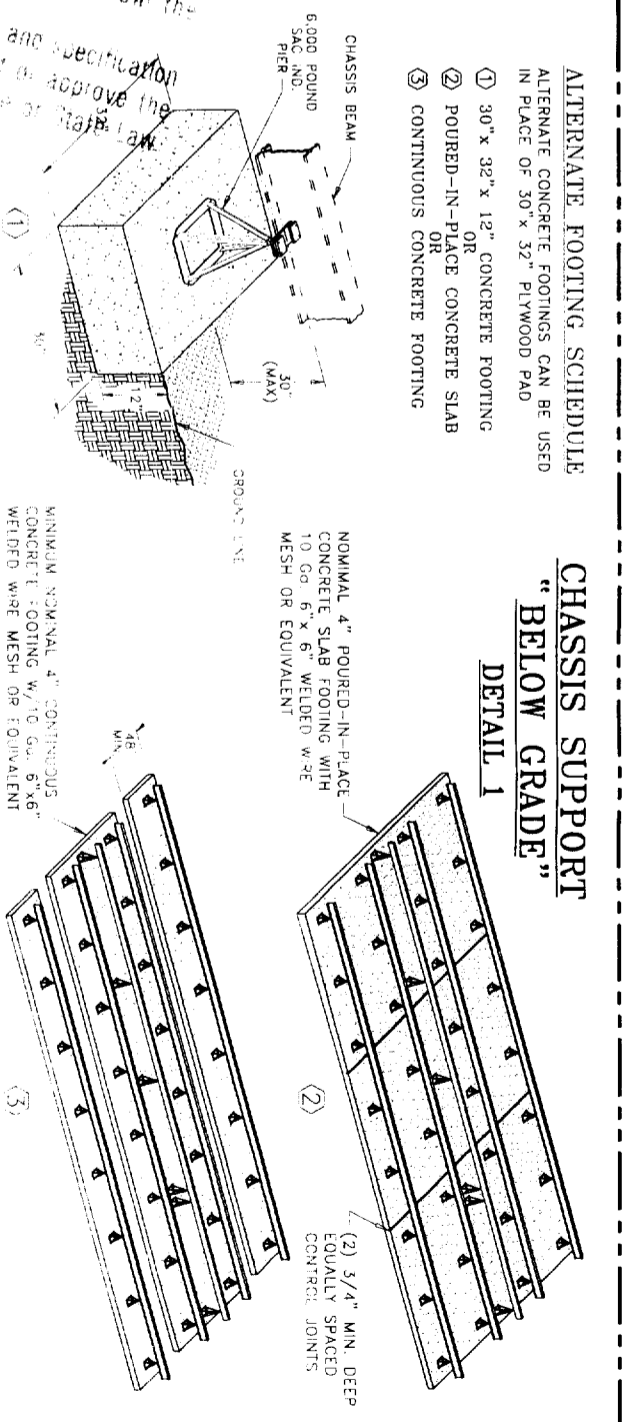
I hereby approve this plan and specification for the building in question and I am not held responsible for the violation of any City Ordinance or State Law.



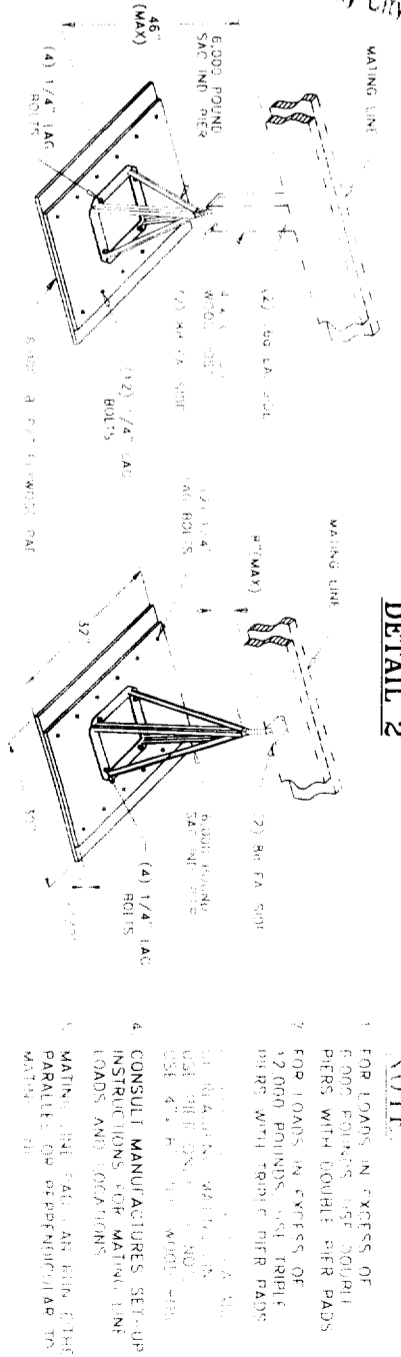
CHASSIS SUPPORT "ABOVE GRADE" DETAIL 1



CHASSIS SUPPORT "BELOW GRADE" DETAIL 1



MATING LINE SUPPORT DETAIL 2



MATING LINE SUPPORT LOCATION DOUBLE WIDE

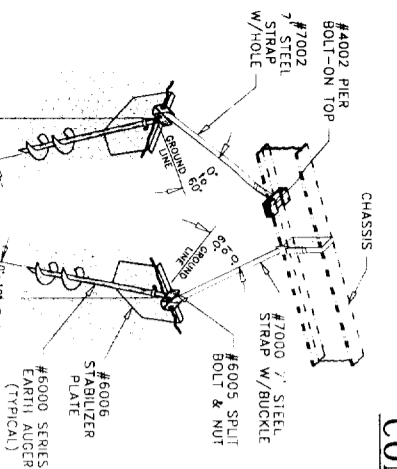
L = LOAD
D = DISTANCE

MATING LINE SUPPORT LOCATION TRIPLE WIDE

L = LOAD
D = DISTANCE

COMBINATION TIE DOWNS

DETAIL 3



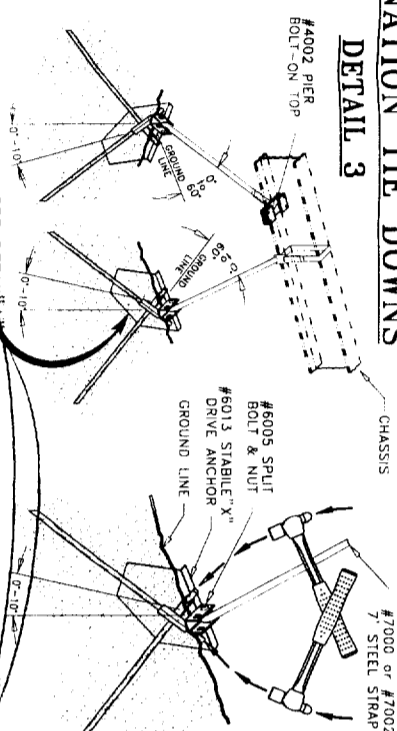
VERTICAL OR ANGULAR INSTALLATION IS OPTIONAL

AUGER TIE DOWN

INSTALLATION INSTRUCTIONS

1. CONTRACTORS WARNING: CHECK FIRST FOR UNDERGROUND UTILITIES.
2. INSTALL EARTH AUGER INTO GROUND LEAVING 12" - 14" OF SHAFT EXPOSED.
3. PLACE STABILIZER PLATE NEXT TO SHAFT BETWEEN THE AUGER AND CHASSIS BEAM, AND DRIVE INTO GROUND.
4. FINISH TURNING AUGER INTO THE GROUND APPLYING CONSTANT DOWNWARD PRESSURE TO MINIMIZE SOIL DISTURBANCE. UNTIL AUGER HEAD IS FLUSH WITH STABILIZER PLATE.
5. ATTACH STRAPS TO CHASSIS BEAM IN MANNER SHOWN.
6. IF ANGLE OF SIDE STRAP IS GREATER THAN 60°, STRAP CONNECTION CAN BE MADE FROM AUGER TO OPPOSITE CHASSIS BEAM.
7. INSERT STRAP THROUGH SPLIT BOLT. CUT OFF EXCESS STRAP AND TIGHTEN BOLT UNTIL STRAP IS SNUG.

DETAIL 3



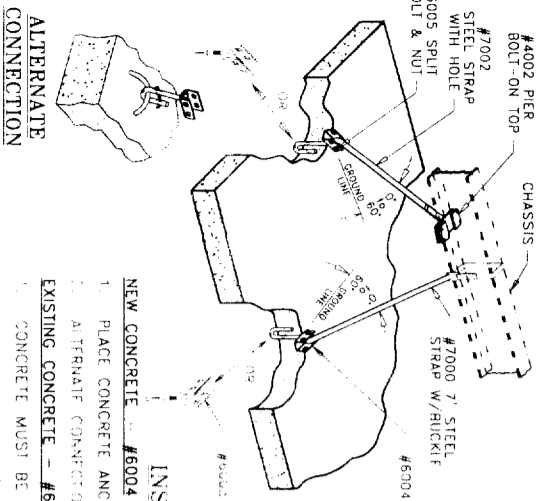
VERTICAL OR ANGULAR INSTALLATION IS OPTIONAL

STABLE-X DRIVE TIE DOWN

INSTALLATION INSTRUCTIONS

1. CONTRACTORS WARNING: CHECK FIRST FOR UNDERGROUND UTILITIES.
2. DRIVE STABLE-X DRIVE TIE DOWN INTO GROUND.
3. DRIVE STABLE-X RODS THROUGH HEAD TUBES INTO SOIL AS SHOWN.
4. ATTACH STRAPS TO CHASSIS BEAM IN MANNER SHOWN.
5. IF ANGLE OF SIDE STRAP IS GREATER THEN 60°, STRAP CONNECTION CAN BE MADE FROM STABLE-X TO OPPOSITE CHASSIS BEAM.
6. INSERT STRAP THROUGH SPLIT BOLT. CUT OFF EXCESS STRAP AND TIGHTEN BOLT UNTIL STRAP IS SNUG.

NOTE: A COMBINATION OF DIFFERENT TYPES OF TIE DOWNS CAN BE USED.



CONCRETE TIE DOWN

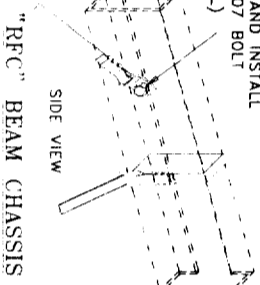
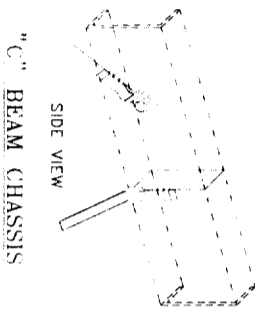
INSTALLATION INSTRUCTIONS

- NEW CONCRETE - #6004**
1. PLACE CONCRETE ANCHOR INTO WET CONCRETE AND ALLOW TO PROPERLY CURE
 2. ATRAILITE CONNECTION REFLECTS #5 REBAR EQUALLY IN BOTH DIRECTIONS
- EXISTING CONCRETE - #6003**
1. CONCRETE MUST BE A MINIMUM 3" / 2" THICK AND IN GOOD CONDITION
 2. MINIMUM STRAP AREA OF EACH ANCHOR IS 28 SQUARE FEET
 3. MINIMUM STRAP AREA OF EACH ANCHOR IS 28 SQUARE FEET
 4. EXPANSION JOINTS SHALL BE MINIMUM 1/2" WITH MINIMUM 1/2" EMBEDMENT AND 5/8" ROUND HEAD BOLT AND ROUND SHAFT

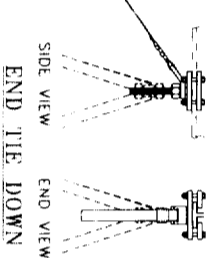
CHASSIS CONNECTION

1. ATTACH STRAPS TO CHASSIS BEAM IN MANNER SHOWN
2. IF ANGLE OF SIDE STRAP IS GREATER THAN 60°, STRAP CONNECTION CAN BE MADE FROM ANCHOR TO OPPOSITE CHASSIS BEAM
3. INSERT STRAP THROUGH SPLIT BOLT. CUT OFF EXCESS STRAP AND TIGHTEN BOLT UNTIL STRAP IS SNUG

NOTE: THE DOWN ARE REQUIRED TO BE LOCATED WITHIN 18" OF EITHER END OF DOWN AND REQUIRED AT EACH END OF EACH BEAM-PORTABLE SECTION



DRILL 9/16" HOLE AT MID HEIGHT OF BEAM AND INSTALL 1/2" A307 BOLT (TYPICAL)



NOTE: END TIE DOWNS CAN BE LOCATED WITHIN 18" OF EITHER SIDE OF CHASSIS BEAM AXIS.

OPTIONAL PERIMETER JACK SPACING AND SUPPORT SCHEDULE

20 30 PSF ROOF II	10 60 PSF ROOF II	80 PSF ROOF II
1000 PSF SOIL BEARING	1000 PSF SOIL BEARING	1000 PSF SOIL BEARING
SPACING 8'-0" O.C.	SPACING 4'-0" O.C.	SPACING 4'-0" O.C.
SEE PERIMETER JACK ACCESSORY STRUCTURAL SUPPORT PLAN FOR DETAILS	SEE PERIMETER JACK ACCESSORY STRUCTURAL SUPPORT PLAN FOR DETAILS	SEE PERIMETER JACK ACCESSORY STRUCTURAL SUPPORT PLAN FOR DETAILS

DAVID A. DÄHMEN

NOV 09 2009 ENGINEER APPROVAL



DAVID A. DÄHMEN
REGISTERED PROFESSIONAL ENGINEER
NO. 14183
MANUFACTURED HOME PERMANENT FOUNDATION PLAN

GENERAL NOTES

- DESIGN LOADS:**
- * WIND LOAD 70/85/100 MPH EXPOSURE "C"
 - * FLOOR LIVE LOAD --40PSF
 - * SOIL BEARING --1,000PSF
 - * SEISMIC ZONE 4
 - * ROOF LIVE LOAD --20PSF/40PSF/80PSF

1. THE DESIGN LOADS SHALL BE CONSISTANT WITH ROOF LIVE LOAD, WIND LOAD, AND SEISMIC ZONE AS ESTABLISHED FOR PERMANENT BUILDINGS WITHIN A SPECIFIC LOCAL AREA.
2. THIS PERMANENT FOUNDATION PLAN IS DESIGNED PER 1994 UNIFORM BUILDING CODE, AND IS TO BE USED WITH ALL STANDARD CHASSIS MANUFACTURED HOMES.
3. THIS FOUNDATION IS FOR PLACING MANUFACTURED HOMES CONSTRUCTED WITH CROSS OR LONGITUDINAL FLOOR JOISTS.
4. THIS FOUNDATION PLAN IS DESIGNED TO BE CONSTRUCTED ON A FAIRLY LEVEL SITE WITH NO EXISTING SOIL PROBLEMS.
5. FOUNDATION PADS OR CONCRETE FOOTINGS FOR MATING LINE SUPPORTS SHALL BE LOCATED AND SIZED FOR THE LOADS AS SHOWN IN THE MANUFACTURED HOME INSTALLATION INSTRUCTIONS.
6. CARRY ALL CONCRETE FOOTINGS DOWN TO FIRM, UNDISTURBED SOIL. FOOTINGS SHALL EXTEND BELOW PREVAILING FROST LINE WHERE REQUIRED BY LOCAL AND STATE ORDINANCES AND CODES. FOOTINGS ARE DESIGNED FOR 1,000 PSF TOTAL SOIL BEARING PRESSURE AND SHALL BE COMPATIBLE WITH LOCAL SOIL CONDITIONS.
- * CONCRETE = 2,000 PSI @ 28 DAYS

7. IN AREAS WHERE DIFFERENTIAL SETTLEMENT (D.S.) CAN OCCURE, THE MANUFACTURED HOME SHALL BE READJUSTED WHEN (D.S.) EXCEEDS 1/4" OR WHEN IT ADVERSELY AFFECTS THE UNITS.
8. * STRUCTURAL STEEL * FABRICATE ACCORDING TO 1986 AISC SPECS. * WELD ACCORDING TO 1990 AWS SPECS. * ELECTRODES E70 * BOLTS SAE GR. 5 ASTM A449, ASTM A525 * #12 SMS TO BE 12-24 x 7/8" HEX HEAD TEKS/4 BY BULDEX OR EQUIVALENT.
9. PIERS SHALL BE COATED WITH RUST RESISTANT COATING, AND SHALL BE LISTED AND LABELLED FOR THE FOLLOWING LOAD:
 - * VERTICAL = 6,000 LBS. MAXIMUM
10. THE DOWNS SHALL BE COATED WITH RUST RESISTANT COATING, AND SHALL BE TESTED FOR THE FOLLOWING LOAD:
 - * 4,750 LBS. MINIMUM TOTAL LOAD CAPACITY
 - * 4,750 LBS. WORKING LOAD CAPACITY
 - STRAPS SHALL MEET FEDERAL SPECIFICATION OF SIZING FOR TYPE 1, CLASS B, GRADE 5 STRAPPING - 1/4" x 0.035 ZINC PLATED FOR THE FOLLOWING LOAD:
 - * LATERAL = 3,150 LBS. MAXIMUM
11. UNDER FLOOR VENTILATION OPENINGS IN EXTERIOR PERIMETER ENCLOSURE WALLS SHALL BE NOT LESS THAN ONE SQUARE FOOT FOR EACH 150 SQUARE FOOT OF FLOOR AREA.
12. **NOTICE TO CONTRACTORS:** IT IS THE FOUNDATION CONTRACTORS RESPONSIBILITY TO VERIFY DIMENSIONS I.E. ACTUAL WIDTH AND LENGTH OF UNIT, CHASSIS SPACING AND MATING LINE SUPPORT LOCATIONS WHERE APPLICABLE BEFORE CONSTRUCTING FOUNDATION.

STATE APPROVAL

DAVID A. DÄHMEN, REGISTERED PROFESSIONAL ENGINEER
 A P P R O V E D
 SUBJECT TO CORRECTIONS NOTED

APPROVAL does not constitute approval of any omission or deviation from the minimum applicable state laws and regulations.

Department of Housing and Community Development
 DIVISION OF CODES AND STANDARDS

BY *David Dahmen* Date 12/16/2009

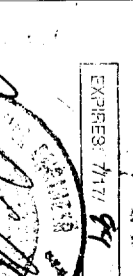
PROJECT NO. 88-15

DATE OF REVIEW 12/31/2009

NOV 09 2009 ENGINEER APPROVAL



DAVID A. DÄHMEN
 JULY 14, 1961
 OREGON



PACIFIC CONSULTING ENGINEERS
 2150 BELL AVE. SUITE 145
 SACRAMENTO, CA. 95838
 PH: (916) 564-6028

RECORDING REQUESTED BY:

ORIGINAL
Accepted for Recording
COPY--NOT CERTIFIED

AND WHEN RECORDED MAIL TO:

DEC 05 2002

NAME Rosemary Laps - Mosqueda
STREET ADDRESS 2850-19th Ave
CITY, STATE and ZIP Sacto Ca 95820

Sacramento County
Clerk-Recorder

200212051073

SPACE ABOVE THIS LINE FOR RECORDER USE ONLY

**NOTICE OF MANUFACTURED HOME (MOBILEHOME) OR COMMERCIAL COACH,
INSTALLATION ON A FOUNDATION SYSTEM**

Recording of this document at the request of the local agency indicated is in accordance with California Health and Safety Code Section 18551. This document is evidence that such local agency has issued a certificate of occupancy for installation of the unit described hereon, upon the real property described with certainty below, as of the date of recording. When recorded, this document shall be indexed by the county recorder to the named owner of the real property and shall be deemed to give constructive notice as to its contents to all persons thereafter dealing with the real property.

Rosemary Laps - Mosqueda
REAL PROPERTY OWNER/LESSOR

City of Sacramento Planning + Bld
LOCAL AGENCY ISSUING PERMIT and CERTIFICATE OF OCCUPANCY Dept

2850-19th Ave
MAILING ADDRESS

2101 Arena BL #200
MAILING ADDRESS

Sacto, Ca 95820
CITY COUNTY STATE ZIP

Sacramento-Sacramento-Ca-95834
CITY COUNTY STATE ZIP

Same SAC. Co.
INSTALLATION MAILING ADDRESS, IF DIFFERENT

0011637
BUILDING PERMIT NO. TELEPHONE NUMBER

Same
CITY COUNTY STATE ZIP

Michelle n Buchinger 12-4-02
SIGNATURE OF LOCAL AGENCY OFFICIAL DATE

Same
UNIT OWNER (If also property owner, write "SAME")

D + D Homes
DEALER NAME (If not a dealer sale, write "NONE")

MAILING ADDRESS

1061581
DEALER LICENSE NO.

CITY COUNTY STATE ZIP

UNIT DESCRIPTION
Plotwood 9-13-2000 Suncrest
MANUFACTURER'S NAME DATE OF MANUFACTURE MODEL NAME/NUMBER
17A238365C12-13 60x26 RAD1286259260
SERIAL NUMBER(S) LENGTH X WIDTH INSIGNIA/LABEL NUMBER(S)

REAL PROPERTY LEGAL DESCRIPTION ASSESSOR'S PARCEL NUMBER 019-0082-013
The west 1/2 of lot 27 of Edward Coyle subdivision
according to the office a Plot thereof filed in
the office of the recorder of Sacramento County,
California on September 26, 1924, in book of
maps, map No. 13.
2850-19th Av

DOUBLE WIDE

HCD FORM 433(A) Rev. 8/91



CERTIFICATE OF OCCUPANCY

BUILDING PERMIT NO. 0011637

Address or Location of unit 2850 19TH AVE SAC. CA.
Legal Description of Real Property 018-0082-013

A Mobilehome/Manufactured Home Commercial Coach has been affixed to the real property described above by installation on a foundation system pursuant to Health and Safety Code Section 18551.

Owner's name: ROSEMARY MOSQUEDA

Owner's address: 2850 19TH AVE

INSIGNIA OR HUD NUMBER: RAD1286259-60 SERIAL NUMBER OR V.I.N. 17A238365C1213

MANUFACTURER'S NAME FLEETWOOD YEAR OF MANUFACTURE: 9-13-2000

Nicholas A. Buckner 12-4-02 (916) 808-5920
(Official Approving Installation) (Date) (Phone)

HCD 513C 4/86

WHITE—Owner GREEN—HCD BLUE—Building Dept. YELLOW—Applicant

**NOTICE TO ASSESSOR
HCD 433(B) 4/86**

THIS FORM MUST BE COMPLETED BY THE OWNER OF A MANUFACTURED HOME MOBILEHOME OR COMMERCIAL COACH AND FORWARDED TO THE COUNTY ASSESSOR UPON COMPLETION OF THE INSTALLATION OF THE UNIT ON A FOUNDATION SYSTEM PURSUANT TO SECTION 18551 HEALTH AND SAFETY CODE.

ORIGINAL PURCHASE PRICE FOR:

1. The Basic Unit \$ 59,830
 2. Optional Equipment & Upgrades \$ 4,850.00 AC
 3. Subtotal \$ 64,680.00
 4. Accessories & Accessory Structures \$ 1,991.00
 5. Other (Specify) _____ \$ _____
 6. Delivery & Installation \$ _____
 7. TOTAL SALES PRICE \$ _____

Type of Exterior Wall Covering: Vinyl Siding
 (Metal, Wood, etc.)

Type of Roof Covering Composition
 (Metal, Wood, Composition, etc.)

Heating Type: Forced Air Floor or Wall

Air Conditioning: YES NO Tons _____

Evaporative Cooler: YES NO

Built-in Cooktop: YES NO

Built-in Oven: YES NO

Built-in Dishwasher: YES NO

Built-in Wet Bar: YES NO

Refrigerator: YES NO

Roof Overhang (Eaves): YES NO _____ inches

Furniture Included: YES NO Value \$ _____

Carpot: YES NO _____ X _____

Awning: YES NO _____ X _____

Porch: YES NO _____ X _____

Garage: YES NO _____ X _____

Shortage Shed: YES NO _____ X _____

Skirting: YES NO _____ LINEAL FEET

DOES THE BASIC PRICE INCLUDE:

The Towbar(s) YES NO
 Tires & Wheels YES NO
 Wheelhubs & Axle YES NO

LIST NUMBER OF ROOMS:

Bedrooms	<u>4</u>	Dining Room	<u>1</u>
Bath	<u>2</u>	Family Room	<u>1</u>
Kitchen	<u>1</u>	Utility Room	<u>1</u>
Living Room	<u>1</u>	Other Room	_____

The sales price as shown does not include any amount for any in-place location.

The Assessor's Parcel number of the installation site is 019-0082-013

DOUBLE WIDE

[Signature]
 (Signature)

2850 10th Ave
 Address

Santa, CA 95820

916 455-4681
 Telephone



Planning and Building Department

Building Division

CITY OF SACRAMENTO
CALIFORNIA

2101 ARENA BL, #200
SACRAMENTO, CA
95834

December 9, 2002

MEMORANDUM

TO: Angelina Childers
FROM: Carolyn Cooper, Building Inspections Division
SUBJECT: Manufactured Housing on a Permanent Foundation

The permit for the following manufactured home on a permanent foundation has been finalized. Please cut a check for \$11.00 per portable side for the following:

SUBJECT PROPERTY: 2850 – 19th Ave
TOTAL AMOUNT: \$22.00
CHECK PAYABLE TO: H.C.D.

Please send the check with the canary copy of the State Form HCD 433(a) and the green copy of State Form HCD 513(c) (both attached) to:

Department of Housing and Community Development
Division of Codes and Standards
P.O. Box 31
Sacramento, Ca 95801