

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 9909358
Insp Area: 2

Site Address: 4667 KERWOOD WY SAC
Parcel No: 118-0021-025 IN THE BACK YARD

Sub-Type: RES
Housing (Y/N): N

CONTRACTOR
LUFF SHED INC
3202 ORANGE GROVE
NORTH HIGHLANDS CA 95660

OWNER
ROMERO ARTHUR G & BARBARA
4667 KERWOOD WY
SACRAMENTO CA 95823

ARCHITECT

Nature of Work: BUILD A STORAGE SHED

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class 6 License Number 661664 Date 8/20/99 Contractor Signature [Signature]

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00):

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 8/20/99 Applicant/Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier TRAVELERS INSURANCE Policy Number UB-754G940-6-98 Exp Date 07/01/2000

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 8/20/99 Applicant Signature [Signature]

WARNING - FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

Date of Request: _____

By: _____

CITY OF SACRAMENTO DEVELOPMENT SERVICES DIVISION
PLANNING AND ZONING INFORMATION REQUEST

Project Address: 4667 MELWOOD WAY

Assessor's Parcel Number 118-0021-025

Previous Use: SFR

Description of Request/Proposed Use: STORAGE SHED 12x20

Is This a Change of Use? _____

Zoning Designation: R-1

Prior Applications for Project Site(P#, Z#, DRPB#): _____

Comments: Setback req / covg. / ut. req

Are There Any Planning Issues?: (circle one) YES NO

Staff Site Plan Check Required? (Circle one) YES NO

Field Inspection Required? (Circle one) YES NO

Design Review/Preservation Required?: (Circle one) YES NO

Planning Review by/Date: M. T. [Signature]

8/20/99

A list of items that must be reviewed by Planning is provided on the reverse side of this form.

MICROFILM AFTER FINAL



CAPITOL ENGINEERING LABORATORIES, INC.

631 Commerce Drive, Suite #200, Roseville, California 95678 • (916) 786-2488

JOB REPORT

PAGE: _____

FILE NO. _____

DATE: _____

PERMIT #: _____

WEATHER: _____

PROJECT NAME: _____

ADDRESS: _____

CLIENT CONTACTED: _____

DATE OF DOCUMENTS: _____

TEST TYPE: CONCRETE (INSP / SAMPLE ONLY / PU) MASONRY WELDING (SHOP / FIELD) SOILS

OTHER _____

DESCRIPTION OF WORK: _____

TEST RESULTS: _____

EQUIPMENT AND SUPPLIES USED: _____

TESTER: _____

ARRIVED JOB: _____ LEFT JOB: _____ **OFFICE USE ONLY:**

QTY: _____ MILES: _____ BILLABLE R/T: _____

BILLABLE O/T: _____

BILLABLE MILES: _____

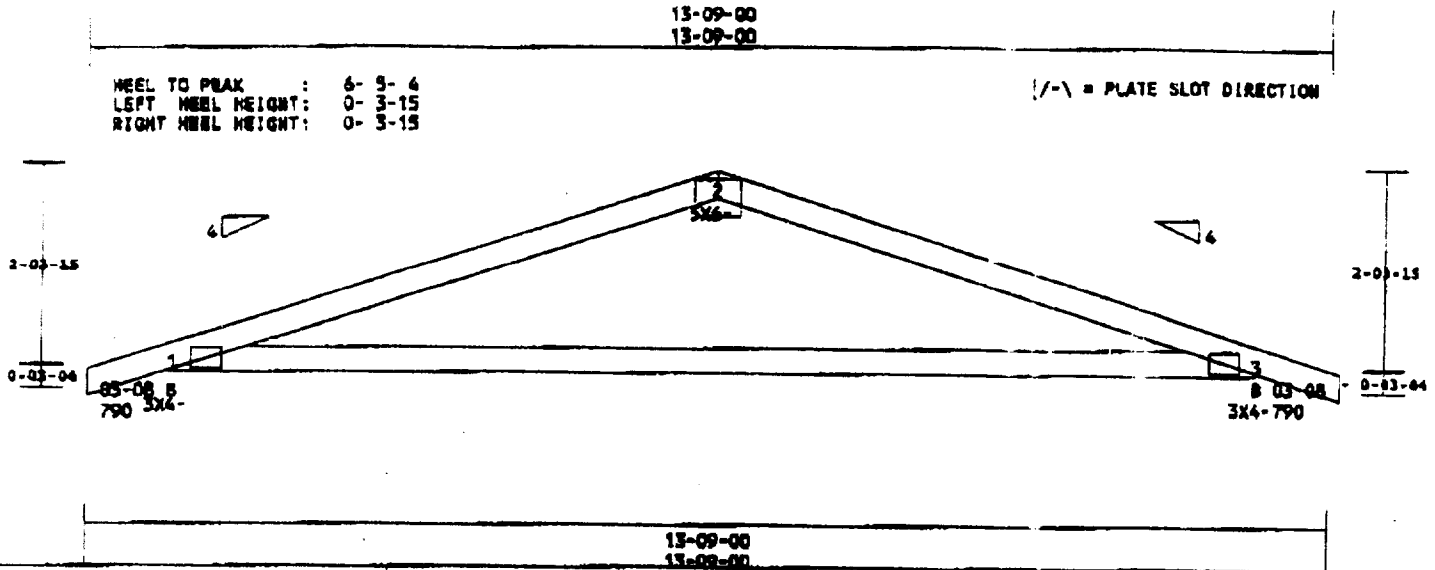
JOB: TEMP\12RANCH

DATE 12/01/98

TIME 9:43

PAGE 1

JOB: TEMP\12RANCH SPAN: 12-00-00 PITCH: 4.00 TRUSS: 10 LEFT CH: 0-10-08 RIGHT CH: 0-10-08



LOADS: TOP		BOTTOM		20 GAUGE PLATES:	
LIVE	DEAD	LIVE	DEAD	40	5X6 20 5X6
40.0	10.0	.0	10.0		
SPACING	24.0	INCREASE	1.15		
BDPT: T/C 106.7 B/C 80.0 WEB .0					
DEF: LL=.333" DL=.794" TL=.794"					

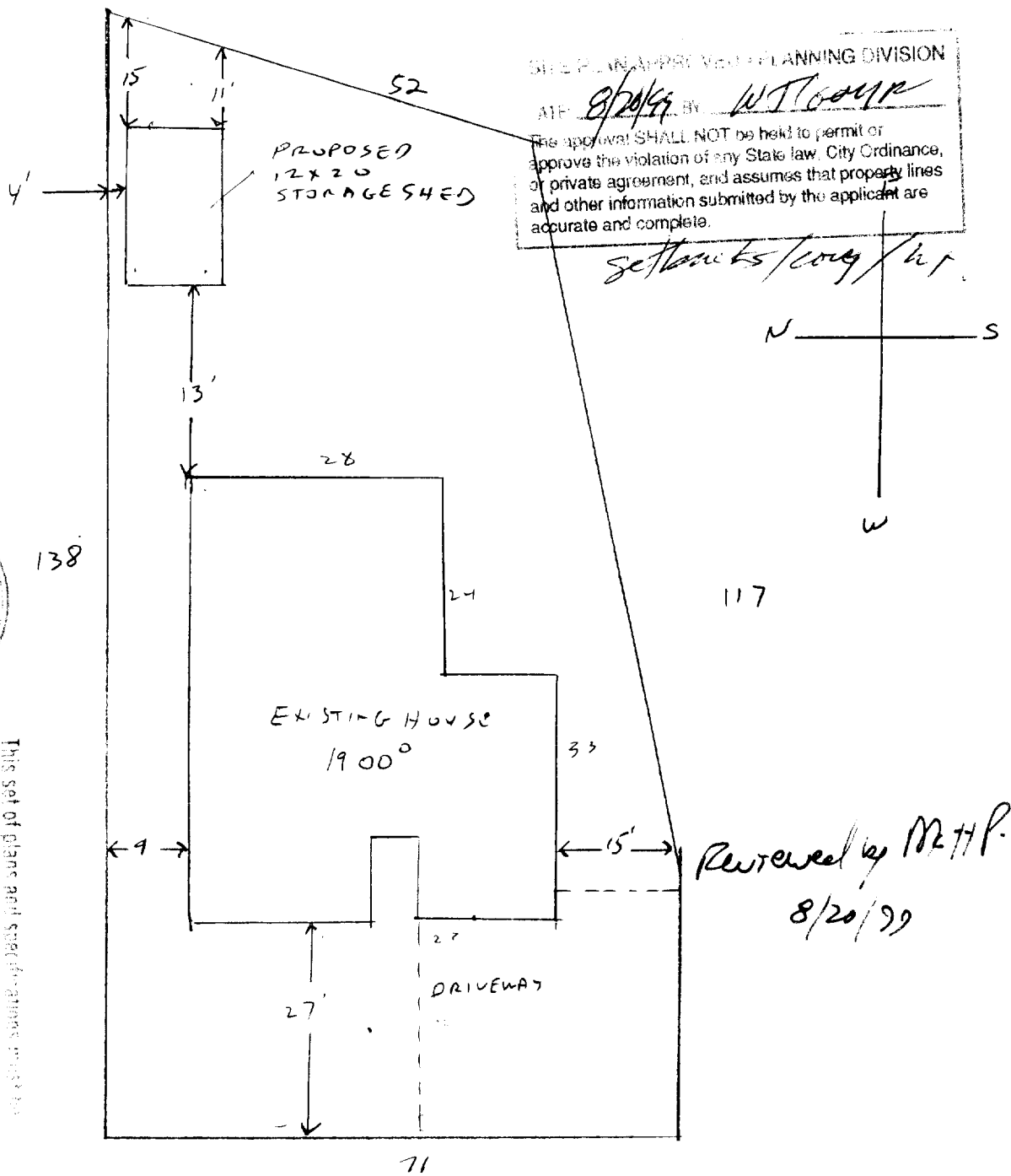
CHD1-2	1S S1	OVERALL	7-04-03
		7-02-16	
18.4		7-02-16	// 18.4
20	2X4 SPF-#2	B/C	7-04-02
CHD3-1	8S S1	OVERALL	12-00-00
		10-04-08	PRE-CUT 12-00-00
0-03-04	71.8		0-03-04 71.8
0-00-04	.0	12-00-00	0-00-04 .0
10	2X4 SPF-#2	B/C	12-00-00

1204620
4667 KERWOOD WY.
SAC

ISSUED

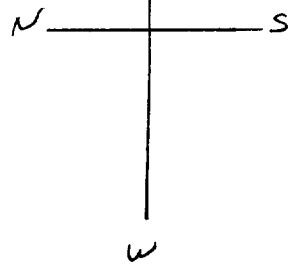
AUG 20 1999

CITY OF SACRAMENTO
DEVELOPMENT SERVICES DIV.



SITE PLAN APPROVED PLANNING DIVISION
DATE: 8/20/99 BY: WT [signature]
The approval SHALL NOT be held to permit or approve the violation of any State law, City Ordinance, or private agreement, and assumes that property lines and other information submitted by the applicant are accurate and complete.

Setbacks/comp/hp



This set of plans and specifications must be kept on the job at all times and shall not be removed from the job site without the approval of the City Engineer.

Reviewed by M.H.P.
8/20/99

71
PLOT PLAN SCALE 1/4" = 5'
STREET 4667 Kerwood Wy.
TUFF Shed 9909358R

ZOMERD
4667 KERWOOD
SAC

ISSUED

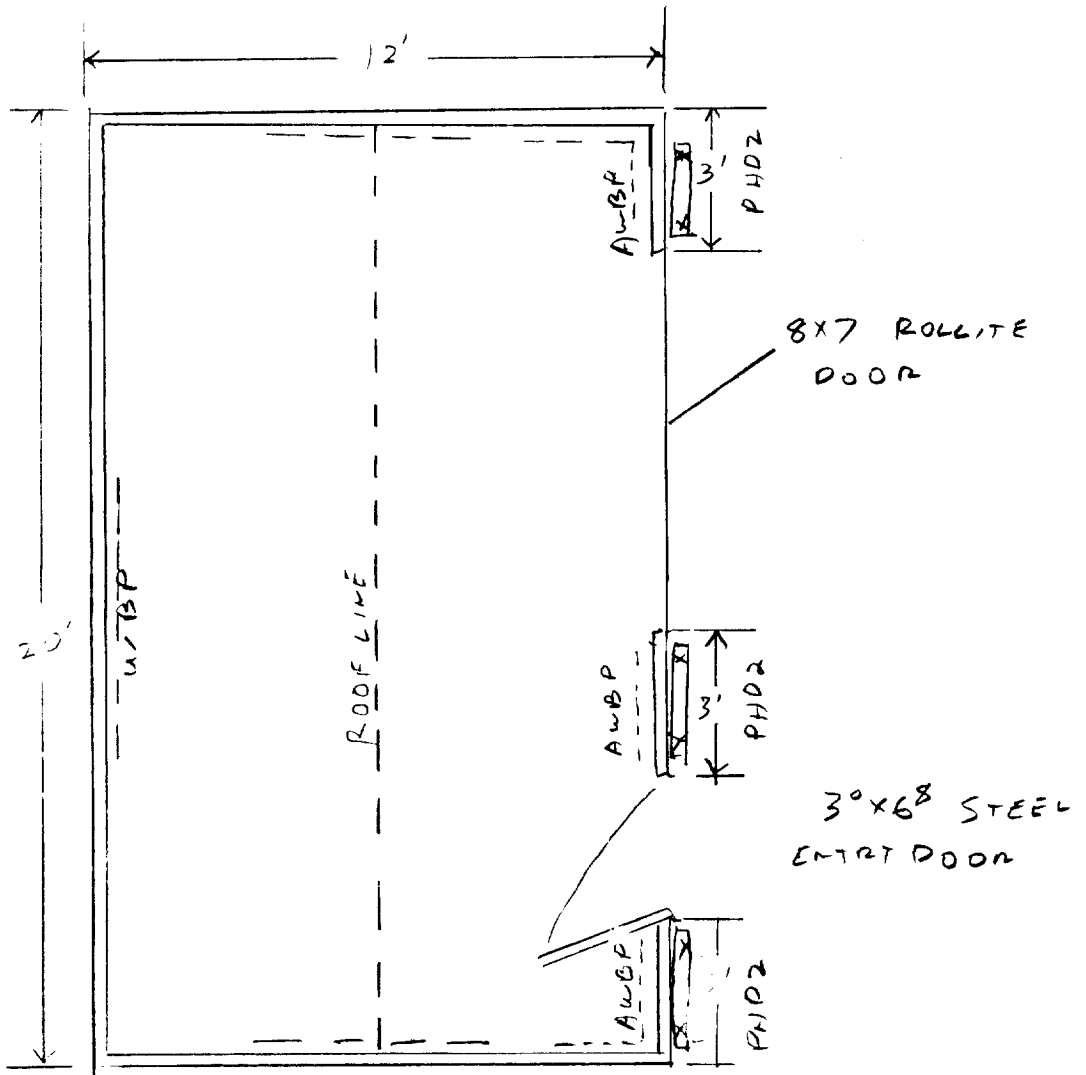
106 70 1999

CITY OF SACRAMENTO
DEVELOPMENT SERVICES DIV.

RECEIVED

AUG 20 1999

Building Inspection Division



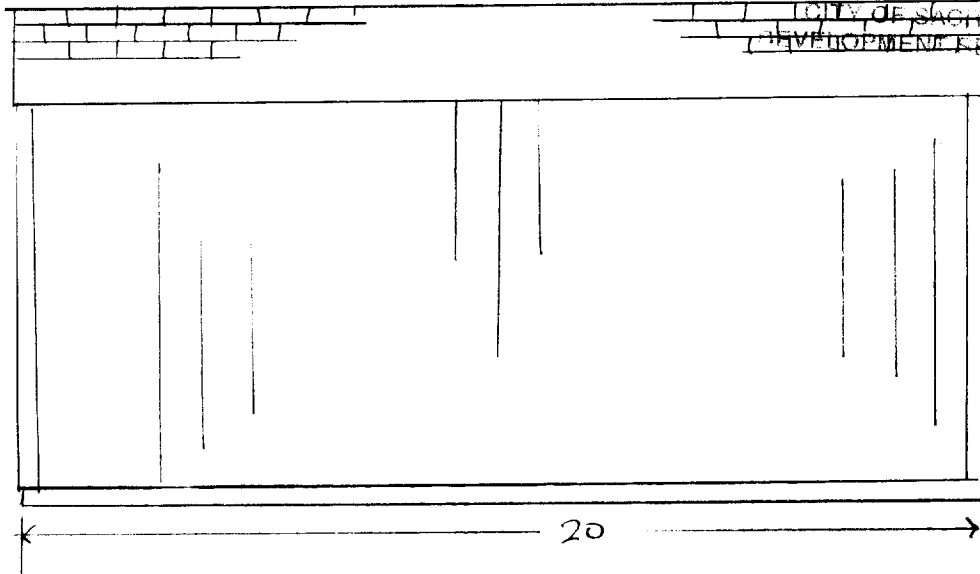
FLOOR PLAN
SCALE 1/4" = 1'

ROMERO
4667 HERWOOD.
SAC

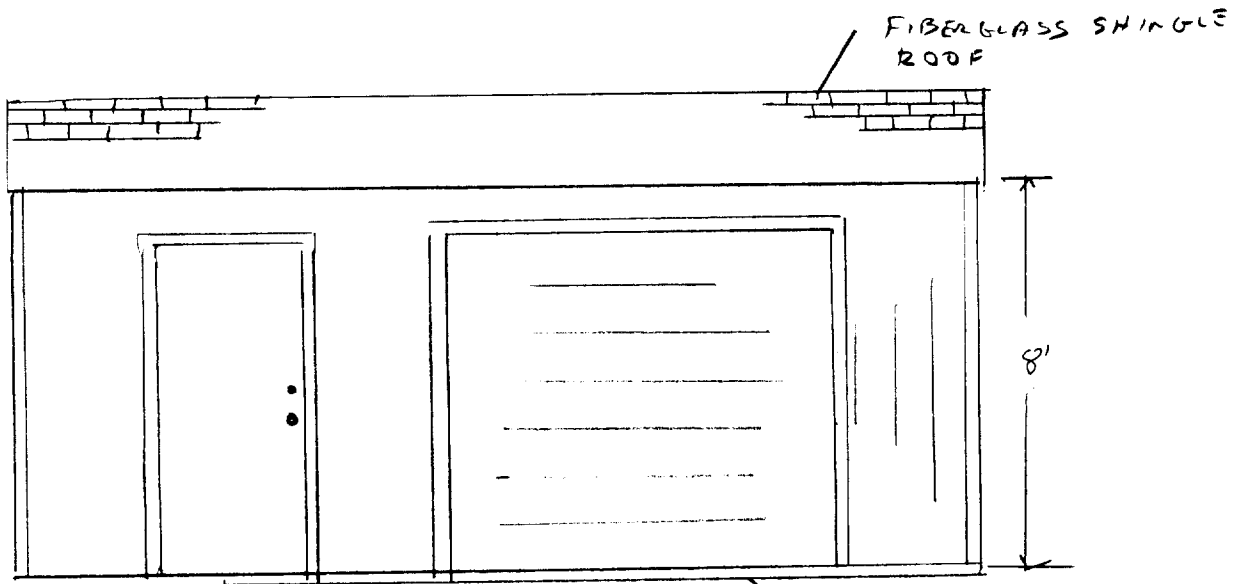
1400 Orange Grove Ave.
North Highlands, CA 94631

ISSUED

AUG 20 1996



NORTH ELEVATION




3'x6'
STEEL ENTRY DOOR.

8x7 O'HEAD
ROLL UP DOOR

SOUTH ELEVATION
SCALE 1/4" = 1'

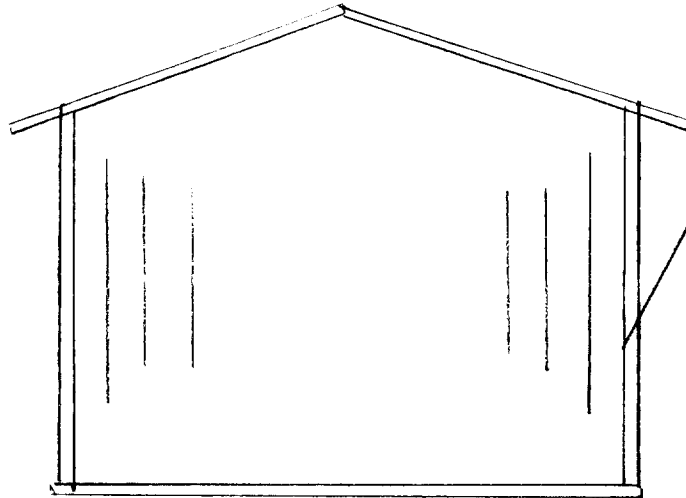
ROBERO
4667 HERWOOD
SAL

 **TOPPA**
1800 Orange Grove
North Highlands, CA

ISSUED

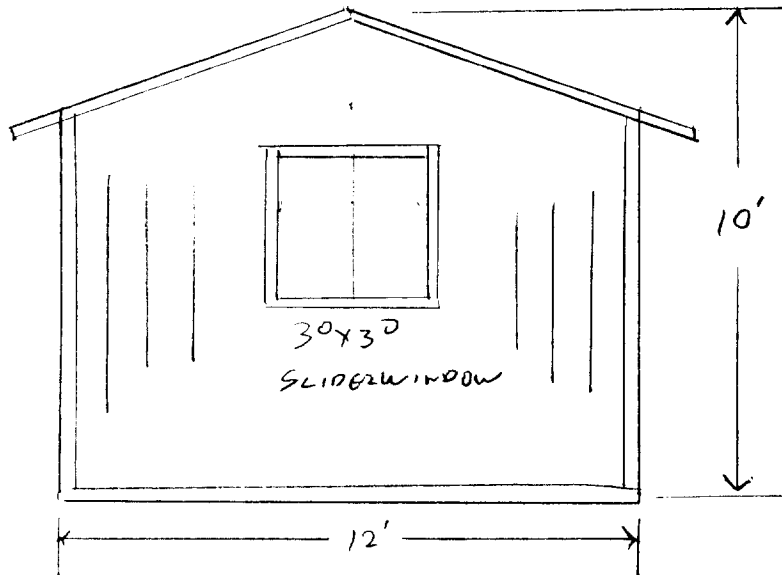
AUG 13 1996

OFFICE OF SALVADORAN
DEVELOPMENT ADMINISTRATION



1/2" APA T111 TYPE
DURATEMP SIDING

EAST ELEVATION

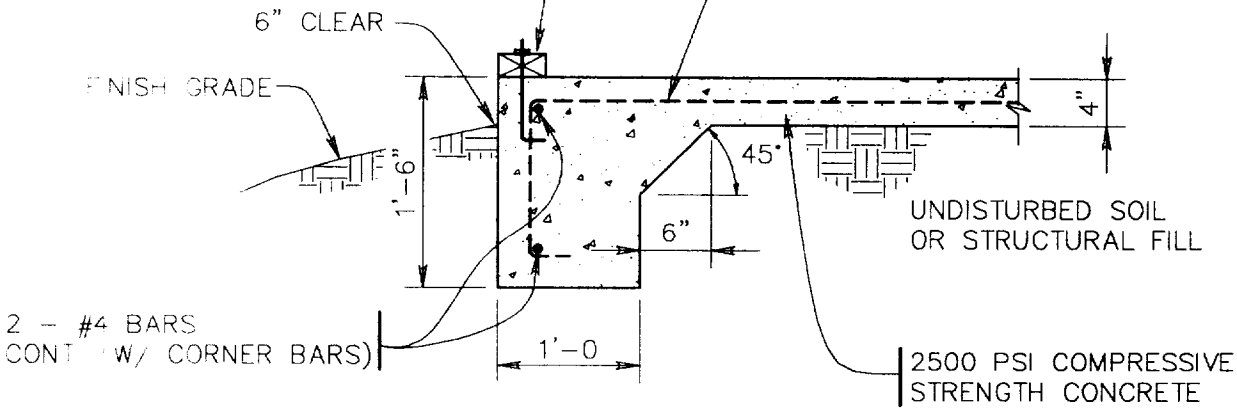


30x30
SLIDER WINDOW

WEST ELEVATION
SCALE 1/4" = 1'

2"X4" SOLE PLATE - PRESSURE TREATED WOOD WITH 1/2" DIA. X 10" ANCHOR BOLTS (U.O.N.) OR EQUIVALENT DRILLED ANCHORS - MINIMUM TWO PER PIECE AND END BOLTS WITHIN 12" OF END OF SILL PLATES, AND AT 4'-0" O.C. MAX.


OPTIONAL SLAB REINFORCEMENT 6"X6" - 10/10 WWM OR FIBERMESH CONCRETE IF REQUIRED BY LOCAL CODES.

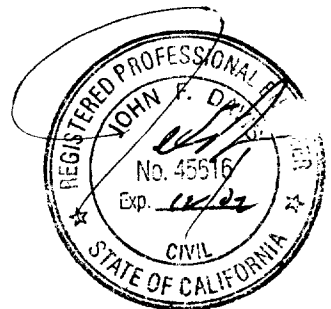


ISSUED

10/2/98

CITY OF SACRAMENTO
DEVELOPMENT DEPARTMENT

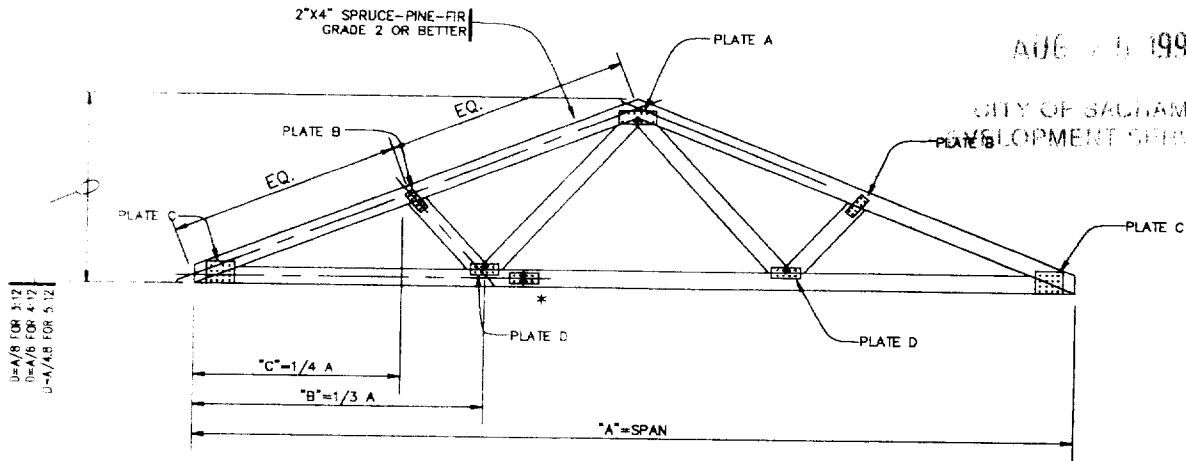
TITLE: FOUNDATION DETAIL	 RICHARD WEINGARDT CONSULTANTS	PROJECT NO: 2585
TUFF SHED, INC. 1777 S. HARRISON STREET SUITE 600 DENVER, CO 80210 (303) 753-8833		DATE: 10/2/98
		DRAWN BY: HP
		CHECKED BY: JD
		REF. DWG: F-2



ISSUED

AUG 28 1996

CITY OF SACRAMENTO
EMPLOYMENT DEVELOPMENT DEPARTMENT



4 ROOF TRUSS SCHEDULE

N.T.S.

MAXIMUM ALLOWABLE ROOF LIVE LOADS TRUSS SPAN


CONNECTION PLATE (NOMINAL) OR EQUIV.				
PLATE A	PLATE B	PLATE C	PLATE D	PLATE E
5X6	2X3	4X10	3X6	3X8

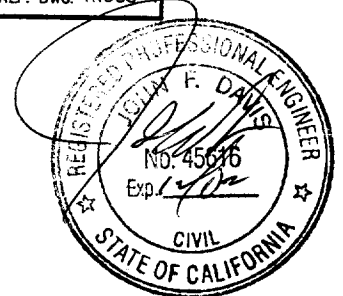
* SPLICE PLATES ALLOWED @ TRUSS JOINTS ONLY

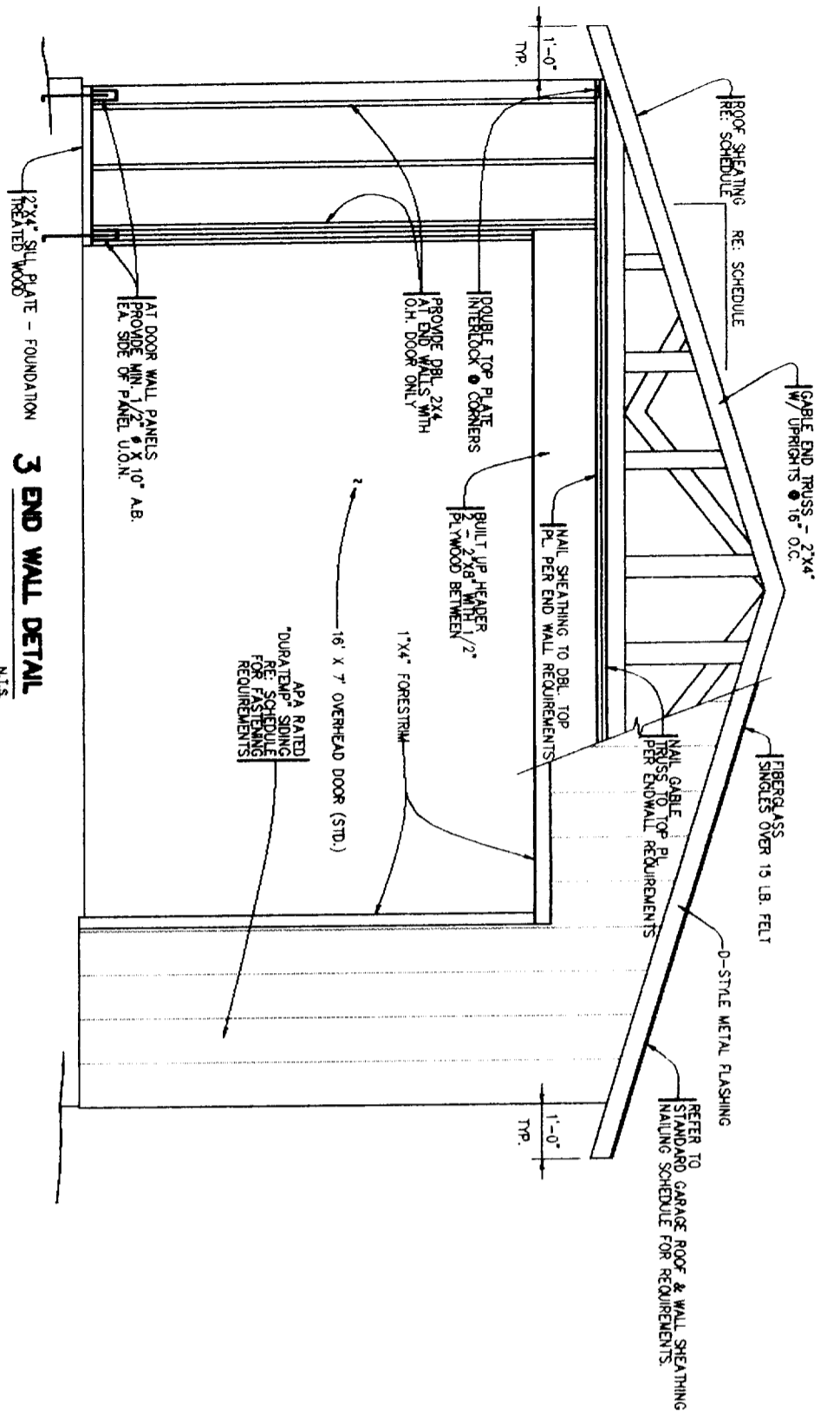
PITCH	SPACING AT 24"						
	12'	14'	16'	18'	20'	22'	24'
3:12	80	60	40	40	35	30	25
4:12	100	85	70	60	50	45	40
5:12	100	95	70	60	50	50	40

PITCH	SPACING AT 16"						
	12'	14'	16'	18'	20'	22'	24'
3:12	100	100	60	55	50	45	40
4:12	100	100	100	90	75	75	60
5:12	100	100	100	90	75	75	65

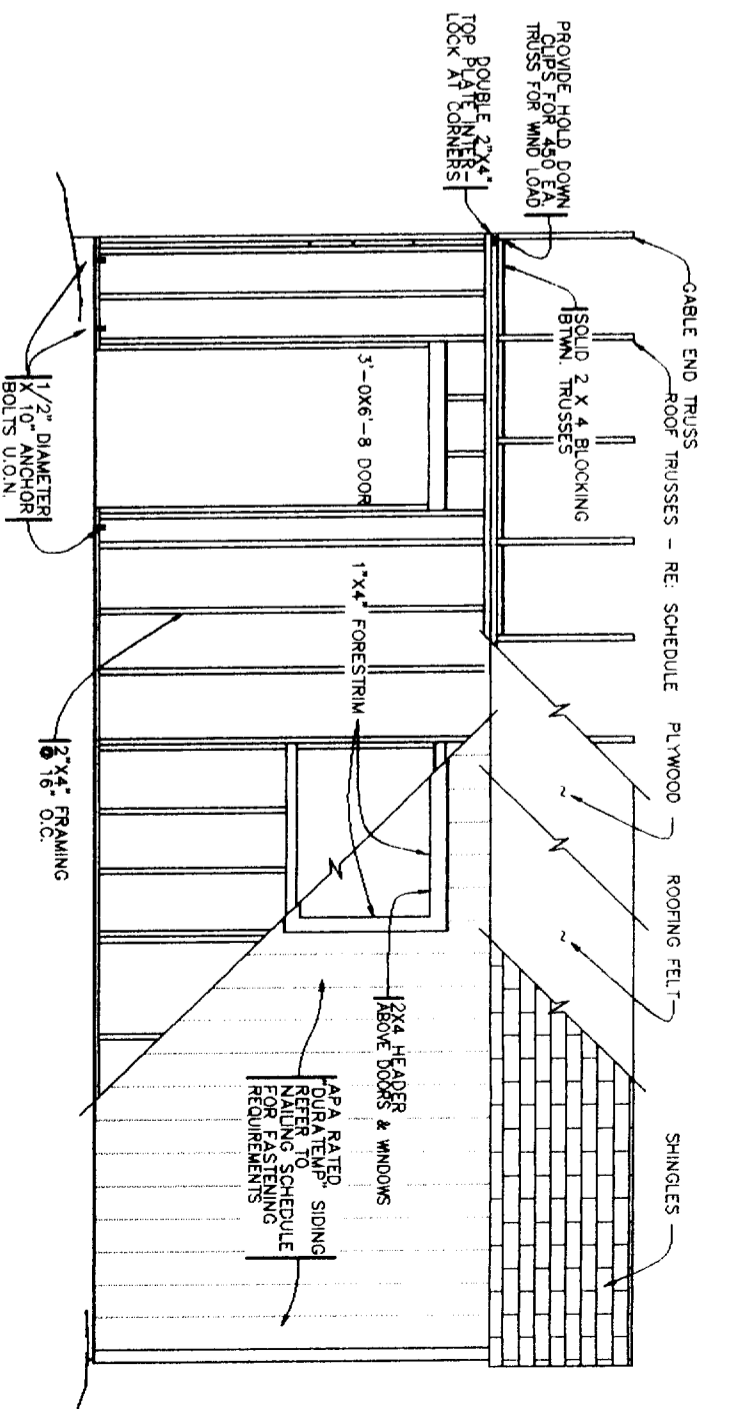
- NOTES:
- FOR 30 PSF LL, PROVIDE TRUSS SPACING @ 19.2" O.C. FOR 24' SPAN ONLY
 - NOTED SPAN IS NOMINAL
 - LIVE LOAD IS NON-REDUCED SNOW
 - PROVIDE SIMPSON HF TIE-DOWN CLIPS AT EACH TRUSS BRG. OR APF 2" VED EQUAL FOR 450 LB UPLIFT.
 - TRUSS FRAMING TO BE HEM-FIR GRADE 2 OR BETTER
 $F_b = 875$ PSI (SINGLE MEMBER)
 $F_t = 425$ PSI
 $F_v = 70$ PSI
 $F_c = 1100$ PSI PARALLEL
 $E = 1,400,000$ PSI
 - TRUSS PLATES TO BE EAGLE BRAND.

TITLE: STANDARD TRUSS	 RICHARD WEINGARDT CONSULTANTS	PROJECT NO: 2585
		DATE: 8/28/96
TUFF SHED, INC. 1777 S. HARRISON STREET SUITE 600 DENVER, CO 80210 (303) 753-8833		DRAWN BY: HP
		CHECKED BY: JD
		REF. DWG: TRUSS-1





3 END WALL DETAIL
N.T.S.

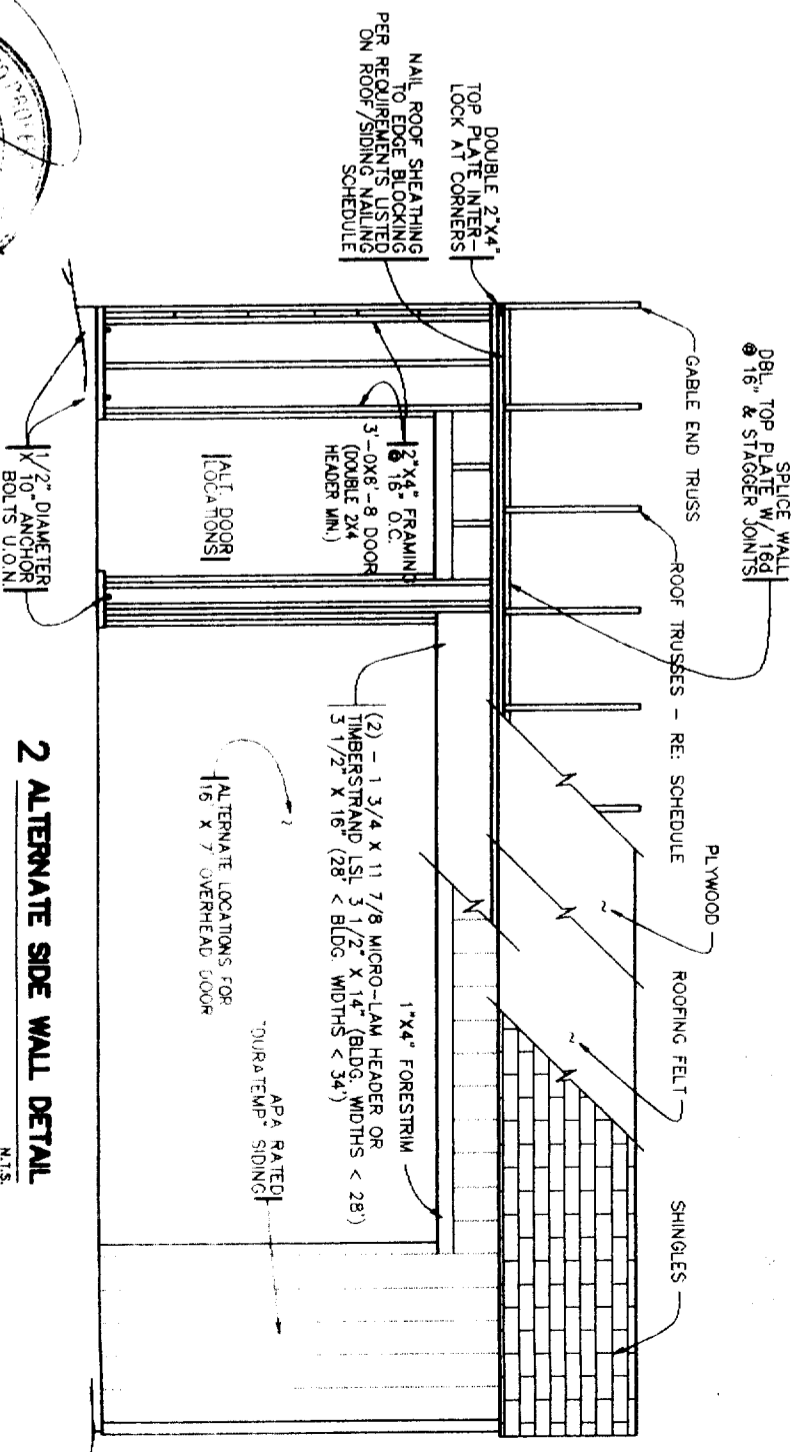


1 SIDE WALL DETAIL
N.T.S.

DESIGN SCHEDULE	
BUILDING ADDRESS:	
BUILDING SIZE:	
WIDTH:	
LENGTH:	
HEIGHT:	
ROOF LIVE LOAD:	85 MAX. EXP. B
DESIGN WINDLOAD:	
ROOF TRUSS TYPE:	
ROOF PITCH:	
DETAIL SHEETS REQUIRED:	

ROOF SHEATHING SCHEDULE	
APA STRUCTURAL I OR II	
PANEL THICKNESS = 1 5/32"	
SPAN RATING 24/16	
LONG DIM. PERPENDICULAR TO TRUSSES	
FOR LL > 55 PSF @ 24" SPAN	
USE 3/4" P.W. WITH 8d @ 6"	
SUPPORT NAILING SPAN RATING 48/24	

- LIVE LOADS: RE: SCHEDULE
- ALL CONSTRUCTION TO BE PER 1997 U.B.C. UNLESS OTHERWISE NOTED
- WOOD FRAMING
 - RE: TRUSS DETAIL FOR FRAMING
 - ALL FRAMING MEMBERS SHALL BE HEU-FIR No. 2 GRADE OR BETTER WITH THE FOLLOWING DESIGN VALUES
 $F_y = 875$ PSI
 $F_x = 425$ PSI
 $E = 1,400,000$ PSI
 FC = 1100 PSI PARALLEL
 $F_v = 70$ PSI
 $E = 1,400,000$ PSI
 - ROOF SHEATHING SHALL BE PER SCHEDULE STAGGER LAYOUT (APA COND. 1).
 - EXTERIOR WALL SHEATHING SHALL BE "DURATEMP" FASTENED TO FRAMING PER STANDARD GARAGE ROOF & WALL SHEATHING NAILING SCHEDULE.
 - NAILING SCHEDULE
 STUD TO TOP PLATE 2-18d
 STUD TO SILL PLATE 2-16d TO E
 DBL. PLATE SPLICE 16d AT 16"
 DBL. HEADER 16d AT 16"
 HEADER TO STUD 6-8d
- ROOFING
 - 20 YEAR FIBERGLASS SHINGLES
 - 2" ROOFING FELT
 - TYPE D METAL FLASHING AND DRIP EDGES REQUIRED. ALL SIDES (ROOF GUTTERS AND DOWNSPOUTS REQUIRED FOR UNITS LARGER THAN 400 S.F.)
- GENERAL
 - ERECTOR PROCEDURES SHALL CONFORM TO OSHA STANDARDS. BUILDER SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES, STREETS, UTILITIES, ETC.
 - BUILDER IS RESPONSIBLE FOR SAFETY OF BUILDING DURING CONSTRUCTION. PROVIDE ALL SHORING OR BRACING AS REQUIRED AND PER GOVERNING REGULATIONS.



2 ALTERNATE SIDE WALL DETAIL
N.T.S.

TITLE: **TS-3 STANDARD 'GARAGE' UNIT**

TUFF SHED, INC.

1777 S. HARRISON STREET SUITE 600
DENVER, CO 80210
(303) 753-8833

RICHARD WEINGART
CONSULTANTS

PROJECT NO:	2585
DATE:	10/2/98
DRAWN BY:	DB
CHECKED BY:	JD
REF. DWG:	SHED-1





CAPITOL ENGINEERING LABORATORIES, INC.

631 Commerce Drive, Suite #200, Roseville, California 95678 • (916) 786-2488

JOB REPORT

PROJECT NAME: Tuff Shed 4667 Herwood way (Ducto)

INSPECTOR: Cory Anderson

PERSONS CONTACTED: David and Tuff Shed

REFERENCE DOCUMENTS: ICBO ERT# 5297

PAGE: 1 of 1

FILE NO. 4781

DATE: 9-27-99

PERMIT #: 99-0935812

WEATHER: Sunny & warm

SERVICE PROVIDED: CONCRETE (INSP/SAMPLE ONLY/PU) MASONRY WELDING (SHOP/FIELD) SOILS

OTHER Special inspection epoxy anchor installation

Special inspection witness epoxy anchor installed. 4 - 3/8" bolts at 1 - 1/2" old using Simpson Strong Tie D & T epoxy. all holes were drilled and blown out with air.

COMPLIANCE OF WORK: _____

ATTACHMENTS: _____

EQUIPMENT/SUPPLIES USED: _____

NEXT VISIT: _____

START TIME: _____ ARRIVED JOB: _____ LEFT JOB: _____ OFFICE USE ONLY:

REGULAR TIME: _____ OT: _____ MILES: _____ BILLABLE R/T: _____

REMARKS: _____ BILLABLE O/T: _____

REVIEWED BY: _____ BILLABLE MILES: _____