

CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Rod Mitchell - 8788 Elk Grove Blvd.-M, Elk Grove, CA 95624		
OWNER	Charles Gorden & Rod Mitchell - 8788 Elk Grove Blvd.-M, Elk Grove, CA 95624		
PLANS BY	Mitchell Design Associates		
FILING DATE	1-21-83	50 DAY CPC ACTION DATE	REPORT BY: JP:sg
NEGATIVE DEC.	EIR	ASSESSOR'S PCL. NO.	031-590-21

- APPLICATION:
1. Negative Declaration
 2. Rezone from Single Family (R-1) to Townhouse (R-1A)
 3. Tentative Map to divide a vacant 0.2± acre corner lot into two parcels for halfplex development
 4. Special Permit to develop two halfplex units

LOCATION: Southwest corner of Windubey Circle and Riverwind Way, 269±' east of Coastal Court.

PROPOSAL: The applicant is requesting the necessary entitlements to construct a halfplex on an existing corner lot.

PROJECT INFORMATION:

1974 General Plan Designation:	Residential
1976 Pocket Community Plan Designation:	Low Density Residential
Existing Zoning of Site:	R-1
Existing Land Use of Site:	Vacant
Surrounding Land Use and Zoning:	
North:	Vacant; R-1
South:	Vacant; R-1
East:	Vacant; R-1
West:	Vacant; R-1
Parking Required:	2 spaces
Parking Provided:	3 spaces
Parking Ratio:	1:1
Property Dimensions:	90' x 110'
Property Area:	9,885 sq. ft.
Square Footage of Building:	2,575 sq. ft. (1,446 sq. ft. & 1,363 sq. ft.)
Height of Structure:	22'
Topography:	Flat
Street Improvements:	Existing
Utilities:	Available to site
Exterior Building Colors:	Earth tones
Exterior Building Materials:	Siding

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On February 9, 1983, by a vote of six ayes, one absent and two abstentions the Subdivision Review Committee voted to recommend approval of the tentative map subject to the following conditions: The applicant shall satisfy each of these conditions prior to the filing of the final map unless a different time for compliance is specifically stated:

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APPLC. NO. P83-029

MEETING DATE February 24, 1983

CPC ITEM NO. 8

1. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
2. Relocate lot line to include sewer service on Lot 21B or provide new service for Lot 21B subject to the review and approval of the City Engineer.

STAFF EVALUATION: Staff has the following comments with regard to this project:

1. The subject site is located in area presently being developed with single family units. The proposed halfplex development will not change the density or character of the area since duplexes are allowed on corner lots under the Zoning Ordinance and the Pocket Community Plan. The subject request will allow individual ownership of each unit.
2. Each halfplex will have separate street orientation which is consistent with the Pocket Community Plan design criteria encouraging the appearance of standard single family units in duplex or halfplex structures.
3. The Planning and Community Services Departments have determined that 0.22 acres of land are required for Parkland Dedication purposes and that fees are to be charged in lieu of the required dedication. The subdivider shall submit to the City an appraisal of the land to be subdivided. The appraisal shall be dated and submitted no more than 90 days prior to filing the final map.
4. The City Engineering Department has requested that the lot line be relocated to include sewer service on Lot 21B or that new service be provided for Lot 21B subject to the review and approval of the City Engineer.

STAFF RECOMMENDATION: Staff recommends the following actions:

1. Ratification of the Negative Declaration.
2. Approval of the Rezoning from Single Family R-1 to Townhouse R-1A.
3. Approval of the Tentative Map subject to conditions to follow.
4. Approval of the Special Permit based upon Findings of Fact to follow.

Conditions - Tentative Map

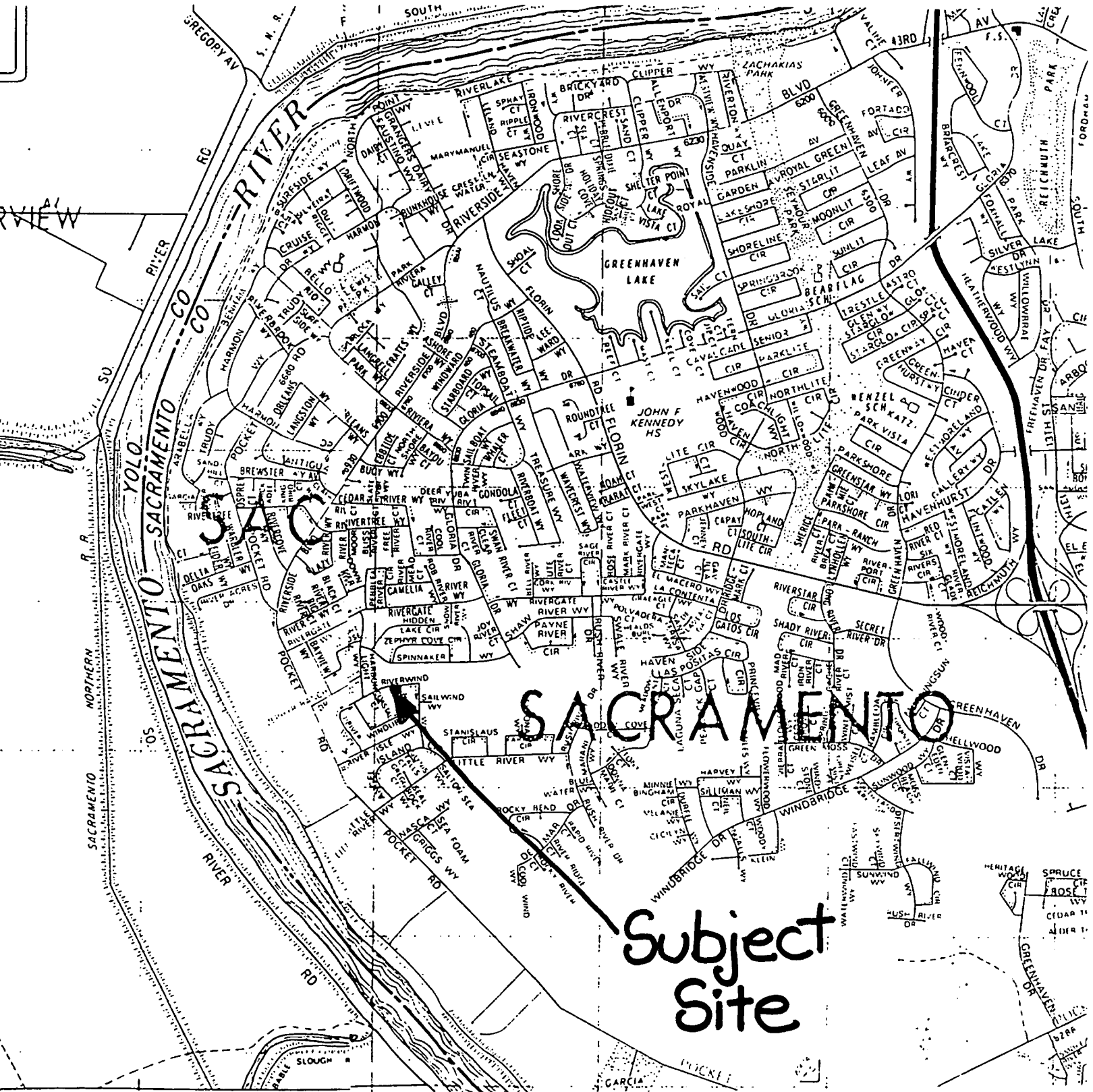
The applicant must satisfy each of the following conditions prior to filing the final map;

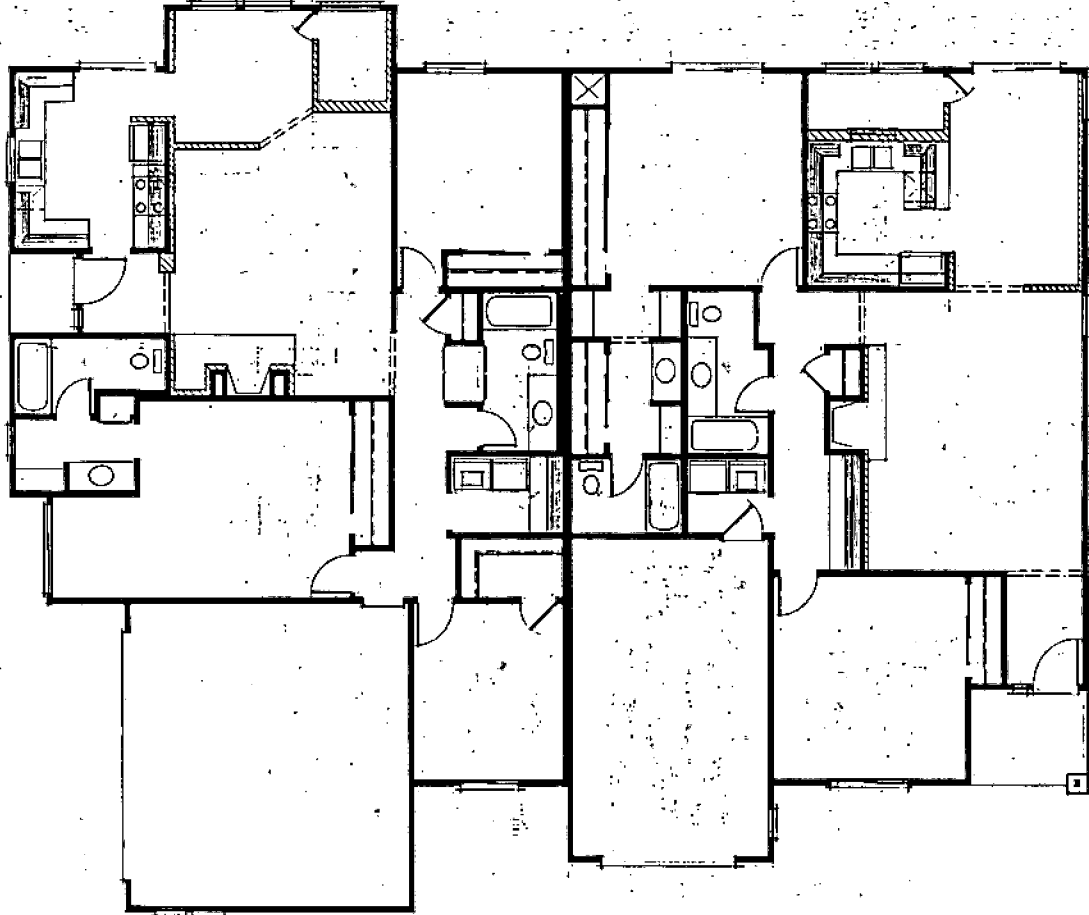
- a. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
- b. Relocate the lot line to include sewer service on Lot 21B or provide new service for Lot 21B subject to the review and approval of the City Engineer.

Findings of Fact - Special Permit

- a. The proposed halfplex development is based on sound principles of land use in that:
 1. The design of the halfplex is similar to other single family structures in the area.
 2. The Zoning Ordinance allows duplexes on corner lots in the Single Family (R-1) zone.
- b. The proposed project will not be detrimental to the public health, safety or welfare or result in the creation of a nuisance in that:
 1. Adequate on-site parking is provided.
 2. It will not alter the residential character of the surrounding neighborhood which consists of single family and duplex uses.
- c. The proposed project complies with the General Plan and the Pocket Community Plan which designate the site for residential uses.

Location Map





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P 83029

PLANNERS
GORDON & MITCHELL
 5755 ROCKWELL BLVD. # 200
 BOSTON, MA 02218

Mitchell Design *MA*
 Associates

685-8888

GORDON & MITCHELL	
ARCHITECTS	
1/1/88	
SCALE	
DATE	
BY	

