

PLANNING DIRECTOR'S SPECIAL PERMIT
 1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	Walt Lytle, Doug Bertch, Les Hand, 4875 Franklin Blvd., Sacramento, California 95820		
OWNER	Walt Lytle, Doug Bertch, Les Hand, 4875 Franklin Blvd., Sacramento, California 95820		
PLANS BY	Walt Lytle, Doug Bertch, Les Hand, 4875 Franklin Blvd., Sacramento, California 95820		
FILING DATE	May 3, 1991	ENVIR. DET.	Negative Declaration
ASSESSOR'S PCL. NO.	027-0051-005		
		REPORT BY	CG

APPLICATION:

A. Negative Declaration

B. Planning Director's Special Permit for a Deep Lot Development consisting of two single family homes on one parcel totaling 1.0± acres in the Standard Single Family (R-1) zone.

LOCATION: 5640 71st Street

PROPOSAL: The applicant is requesting the necessary entitlements to construct two single family residences on a deep lot.

PROJECT INFORMATION:

General Plan Designation: Low Density Residential (4-15 du/na)
 South Sacramento Community
 Plan Designation: Residential (4-8 du/na)
 Existing Zoning of Site: R-1
 Existing Land Use of Site: Two Residential Units

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Vacant, Retail, Two Family; C-2	Front:	25'	30'
South: Single Family; R-1	Side(N):	5'	5'
East: Multi Family; R-1A	Side(S):	5'	22'
West: Two Family; R-1	Rear:	15'	351'

Parking Required: 2 one-car garages
 Parking Provided: 2 one-car garages
 Property Dimensions: 98.69' x 443'
 Property Area: 1.0± acres
 Square Footage of Units: 1,120 square feet
 Height of Building: 1 story
 Topography: Flat
 Street Improvements: Existing
 Utilities: Existing
 Exterior Building Materials: Lap Siding and T1-11
 Roof Materials: Composition Shingles

PROJECT EVALUATION: Staff has the following comments:

A. **Land Use and Zoning**

The subject site consists of 1.0± acres in the Standard Single Family Residential (R-1) zone. The site is currently developed with a duplex and an accessory structure. These structures are considered dangerous buildings. The General Plan designates the site Low Density Residential (4-15 du/na) and the South Sacramento Community Plan designates the site Residential (4-8 du/na). The surrounding land use and zoning includes vacant, retail, and two-family, zoned C-2, to the north; single family, zoned R-1, to the south; multi-family, zoned R-1A, to the east; and two-family, zoned R-1, to the west.

B. **Applicant's Proposal**

The applicant is proposing to demolish the existing structures on the site and construct two new single family residences containing 1,120 square feet each on the front of the parcel. A Planning Director's Special Permit for a deep lot development is required for a Deep Lot Development.

C. **Site Plan Design**

In order to apply for a special permit for deep lot development, the lot must be at least 160 feet deep. The subject lot is 443 feet deep, which allows for deep lot development. The square footage of this lot (43,720 square feet) would allow a maximum of 8 units to be developed under the deep lot provisions. The applicant is proposing only two units on the site. The site plan does, however, indicate 22 feet provided to the south which will not prohibit the remaining units from being developed in the future. The new units are proposed to contain 1,120 square feet. They are located to the front (east) of the parcel and meet all the required setbacks. Staff has no objection to the proposed location of the units. The development also meets the parking requirements of the Zoning Ordinance. The proposed units require a single car garage for each unit. The submitted plans indicate a single-car garage attached to each unit with separate driveways off 71st Street.

The applicant should landscape and irrigate the front yards of the units. The landscaping should consist of sod with a tree in front of each unit.

D. **Building Design**

The elevations indicate the exterior building materials to consist of lap siding and T1-11, with the roof material as composition shingles. Staff has reviewed the design with a member of the Design Review staff and suggests revised elevations be submitted for the review and approval of Design Review staff. The revised elevations should include a pair of single hung windows with heavy trim on the front elevation, and for the window on the side of the garage. The applicant should provide the 8" horizontal lap siding as shown on the elevations with the T1-11 on the sides and rear. The T1-11 should have a base and corner trim. The roof material should be laminated dimensional composition with a minimum of 25 year rating as indicated on the submitted plans. The applicant should also work with Design Review to include design features which the two units appear different, as well as the location of any yard area fencing.

F. **Neighborhood Comments**

The adjacent property owners were notified of the applicant's request. No comments were received from the adjacent property owners.

E. **Agency Comments**

The proposed project was reviewed by Traffic Engineering, Engineering Development Services, Building Inspections, and the Fire Department. The following comments were received:

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Engineering Development Services

Notice: Property to be developed in accordance with this special permit may be subject to flooding. Interested parties should ascertain whether and to what extent such flooding may occur. The applicable base flood elevations for the property should be reviewed. Base flood elevations are contained in the U.S. Army Corps of Engineers Flood Insurance Study Working Map for the Sacramento Community, dated January 12989, available for review at the City of Sacramento's Public Works Department, Development Services Division, Room 100, 927 10th Street.

Fire Department

A fire hydrant is required within 300 vehicular feet of the new structures. If one is not existing within that distance, one shall be added on-site.

ENVIRONMENTAL DETERMINATION: The Environmental Services Manager has determined that the project, as proposed, will not have a significant impact on the environment; therefore, a Negative Declaration has been prepared. In compliance with Section 15070(B)1 of the California Environmental Quality Act Guidelines, the applicant has incorporated the mandatory mitigation measures listed below into the project plans to avoid identified effects or to mitigate such effects to a point where clearly no significant effects will occur.

RECOMMENDATION: Staff recommends the Planning Director take the following actions:

- A. Ratify the Negative Declaration; and
- B. Approve the special permit for deep lot development subject to conditions and based upon findings of fact which follow:

Conditions

- 1. The applicant shall landscape and irrigate the front yards of the units. The landscaping shall consist of, at a minimum, sod with a tree in front of each unit.
- 2. The applicant shall submit revised elevations for the review and approval of Design Review staff. The elevations should include a pair of single hung windows with heavy trim on the front elevation, and for the window on the side of the garage. The applicant should provide the 8" horizontal lap siding as shown on the elevations with the T1-11 on the sides and rear. The T1-11 should have a base and corner trim. The roof material should be laminated dimensional composition with a minimum of 25 year rating as indicated on the submitted plans. The applicant should also work with Design Review to include design features which make the two units appear different, as well as any yard area fencing.

Mandatory Mitigation Measures

- 1. The following trees shall be saved:
 - o 13" Black Locust located on the southeast portion of the lot
 - o 11" and 11" codominant Mulberry located on the southwest portion of the lot.
- 2. The saved trees (13" Black Locust, 11" and 11" codominant Mulberry) shall have a six foot high construction barrier installed around the dripline of each tree prior to the commencement of grading on site. This not shall be included on the grading and/or site plans submitted for building permits.
- 3. No surface or grade changes, no trenching, no parking of vehicles, and no storage of materials shall take place within the fenced in areas around the driplines of trees to be preserved.

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Non-compliance with, or deletion of any of the above mitigation measures by any party will require the project to be reprocessed for additional environmental review. If this review determines that there is the possibility for significant adverse environmental impact due to the development of the project, additional mitigation measures may be required, or the applicant may be requested to prepare an Environmental Impact Report if identified impacts cannot be reduced to less than a significant level through mitigation.

Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that the two units on this lot are compatible with the surrounding lots containing one or more units.
2. The project, as conditioned, will not be detrimental to the public safety or welfare in that adequate parking and open space is provided on site.
3. The project is consistent with the General Plan which designates the site Low Density Residential (4-15 du/na) and the South Sacramento Community Plan which designates the site Residential (4-8 du/na).

Report Prepared By:

Cindy Gnos
Cindy Gnos, Assistant Planner

7-25-91
Date

Recommendation Approved By:

Art Gee
Art Gee, Acting Planning Director

7-25-91
Date

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MAXIMUM JOIST SPANS

MAXIMUM JOIST SPANS (continued) - see notes on page 108 for details of joist spans and conditions of use.

(B) MAXIMUM RAFTER SPANS

MAXIMUM RAFTER SPANS (continued) - see notes on page 108 for details of rafter spans and conditions of use.

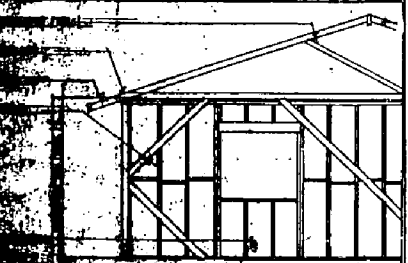
No.	Connection	Nailing
1	JOIST TO WALL OR OTHER SUPPORT	7-8D
2	RAFTER TO JOIST	8-10D
3	RAFTER TO WALL OR OTHER SUPPORT	8-10D
4	RAFTER TO JOIST AND WALL OR OTHER SUPPORT	8-10D
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NAILING SCHEDULE

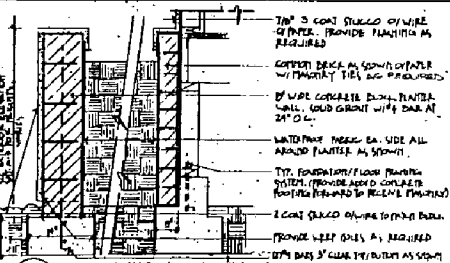
SEE NOTES ON PAGE 108 FOR DETAILS OF NAILING SCHEDULE AND CONDITIONS OF USE.

GENERAL NOTES

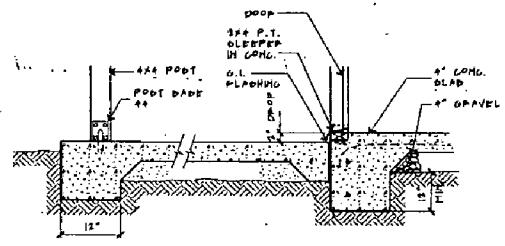
GENERAL NOTES (continued) - see notes on page 108 for details of general notes and conditions of use.



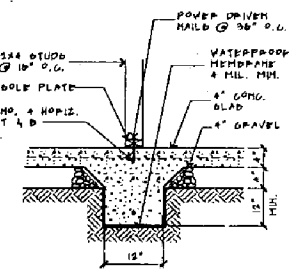
FRAMING DETAIL



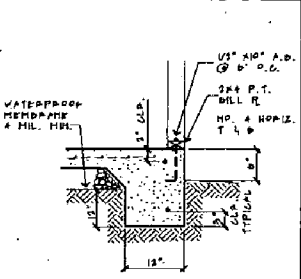
1 PLANTER DETAIL



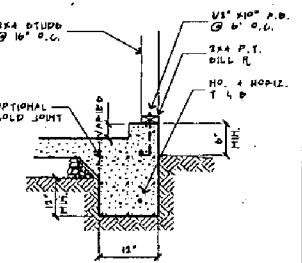
1 POUCH TO HOUSE



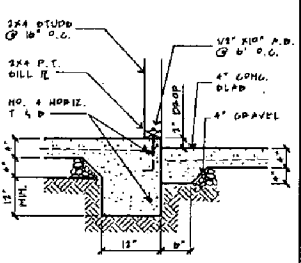
3 INTERIOR BEARING WALL



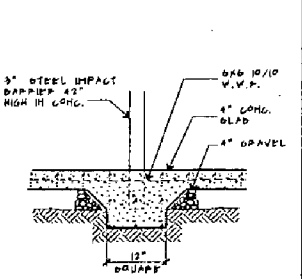
4 EXTERIOR WALL



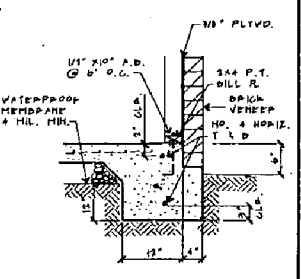
5 EXTERIOR AT GARAGE



6 HOUSE TO GARAGE



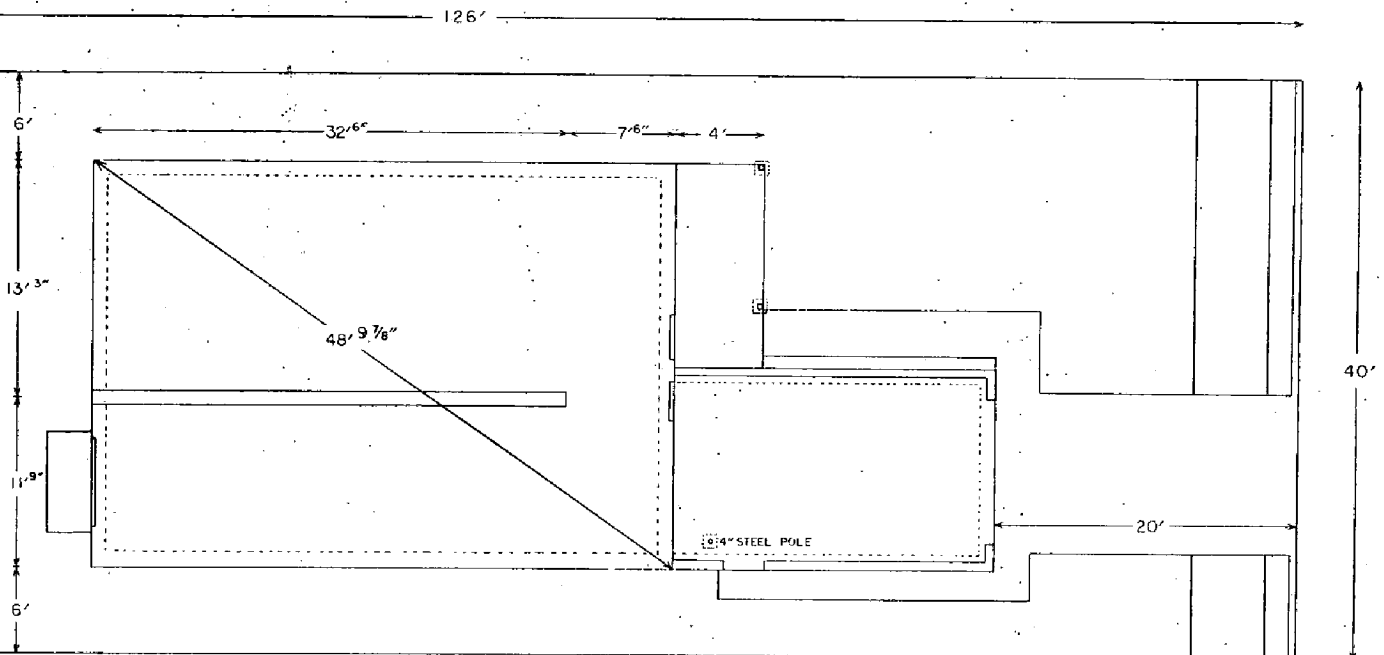
7 GARAGE IMPACT BARRIER



8 DRIP VENEER FOOTING

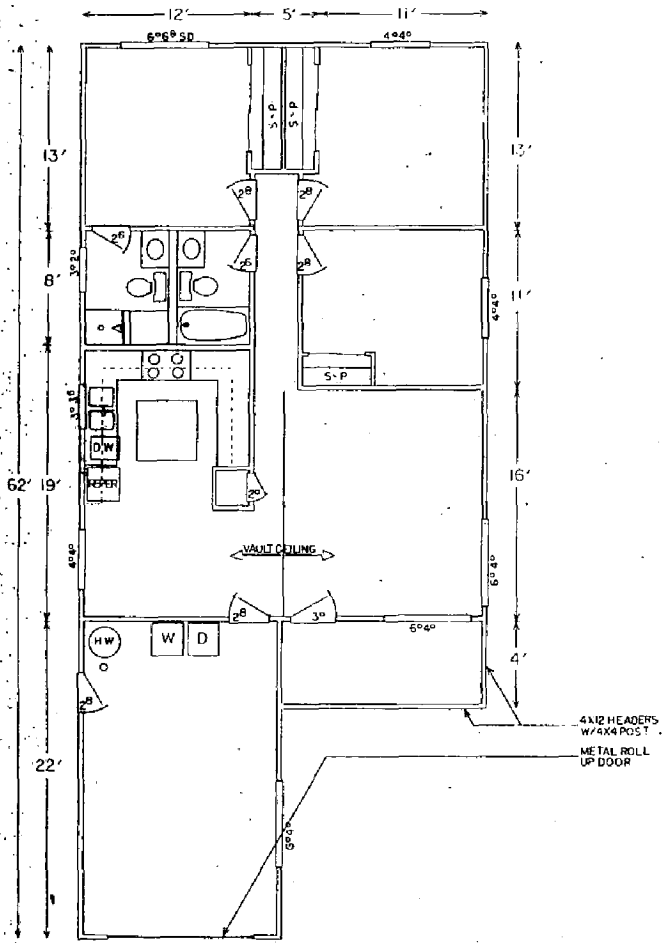
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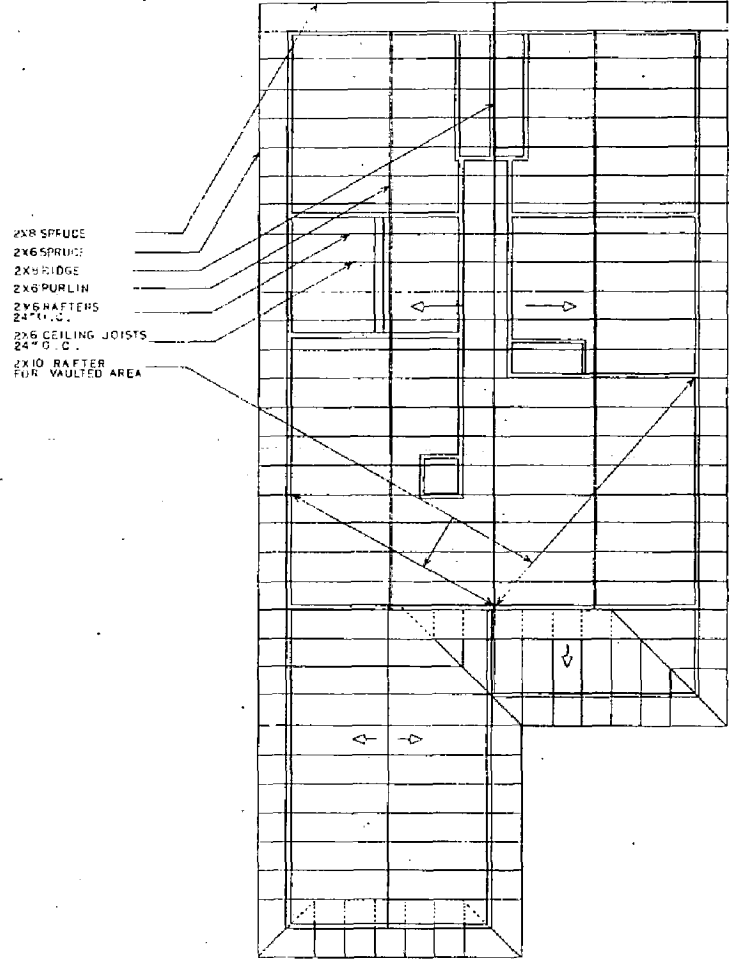


FOUNDATION - PLOT PLAN
SCALE 1/4" = 1'-0"

88900



FRAMING PLAN
SCALE 1/4" = 1'-0"



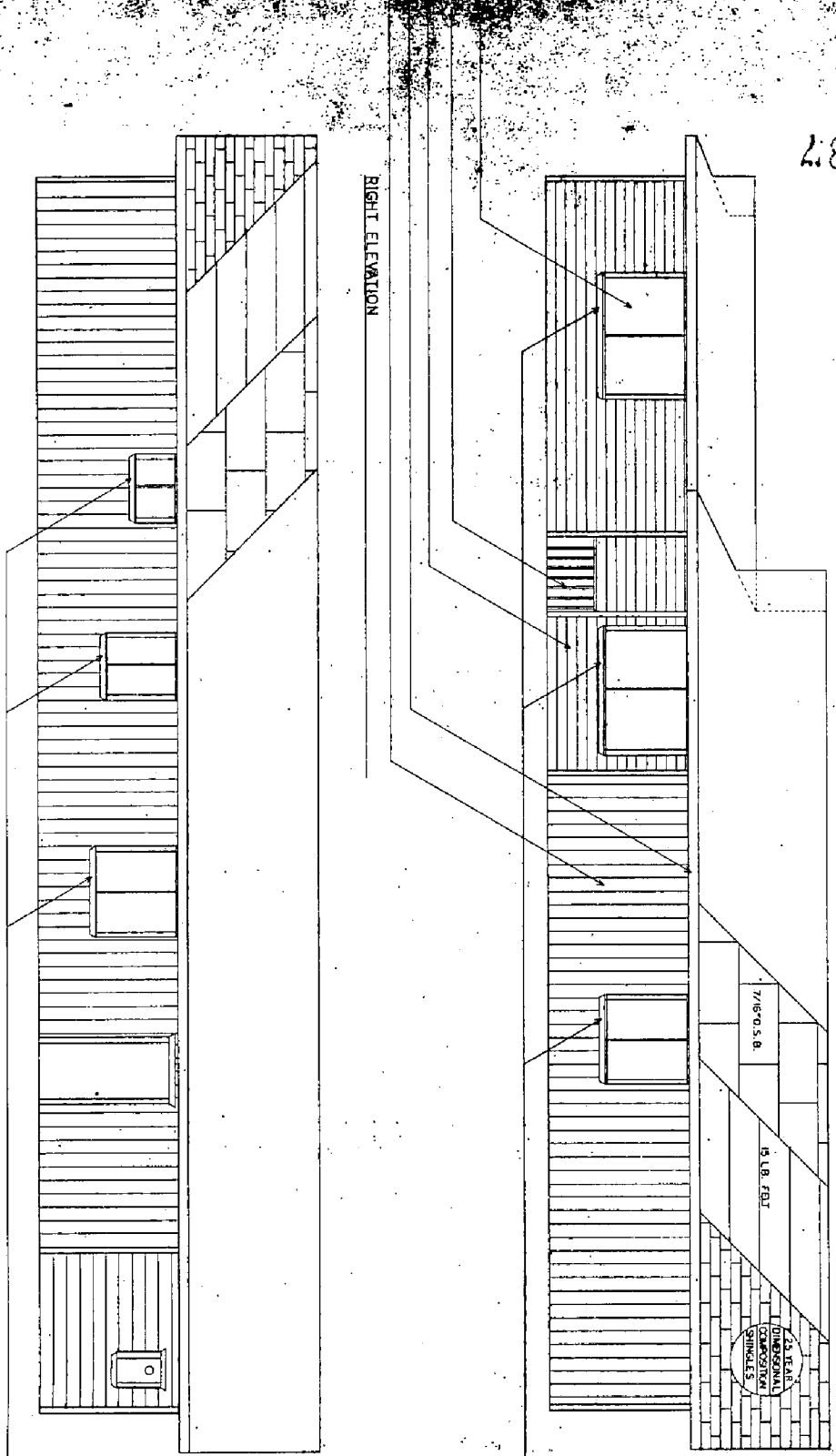
ROOF FRAMING
SCALE 1/4" = 1'-0"

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LEFT ELEVATION
SCALE 3/8" = 1'-0"

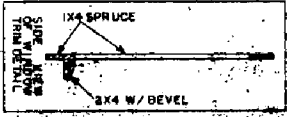
RIGHT ELEVATION



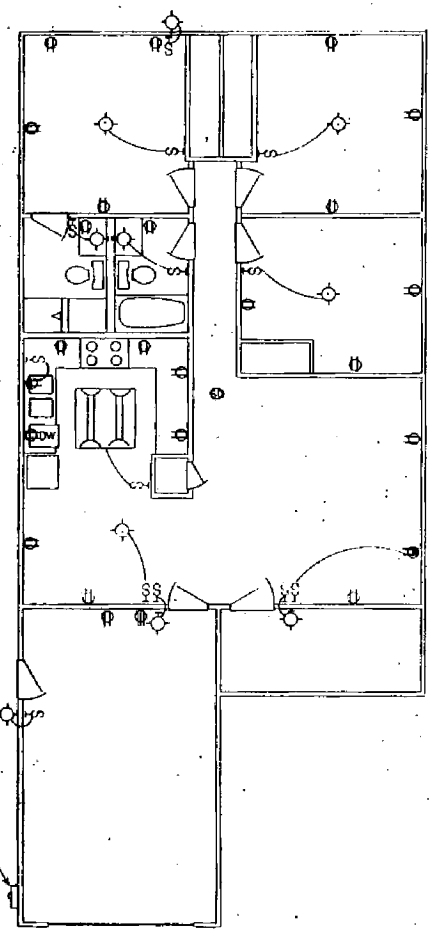
7/8" O.S.B.

15 L.B. FBT

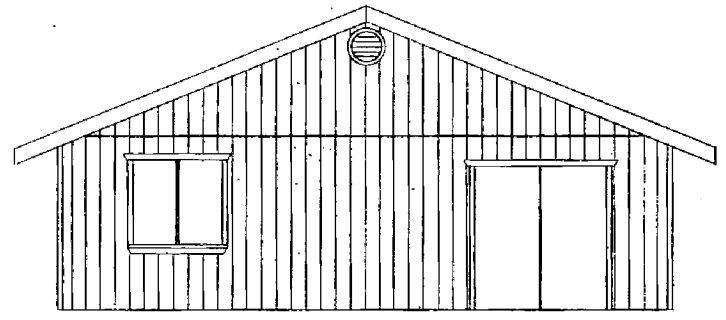
22 YEAR
DIMENSIONAL
COMPOSITE
SHINGLES



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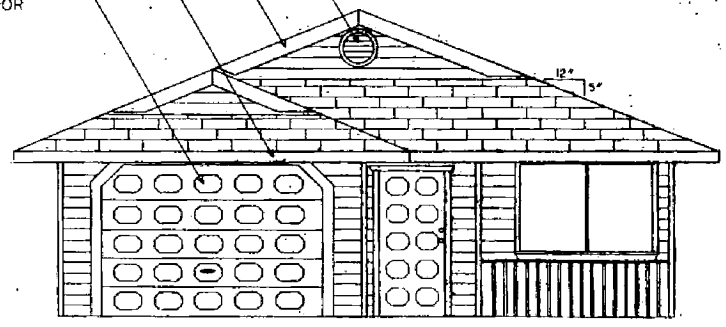


ELECTRICAL PLAN
SCALE 1/4" = 1'-0"



REAR ELEVATION

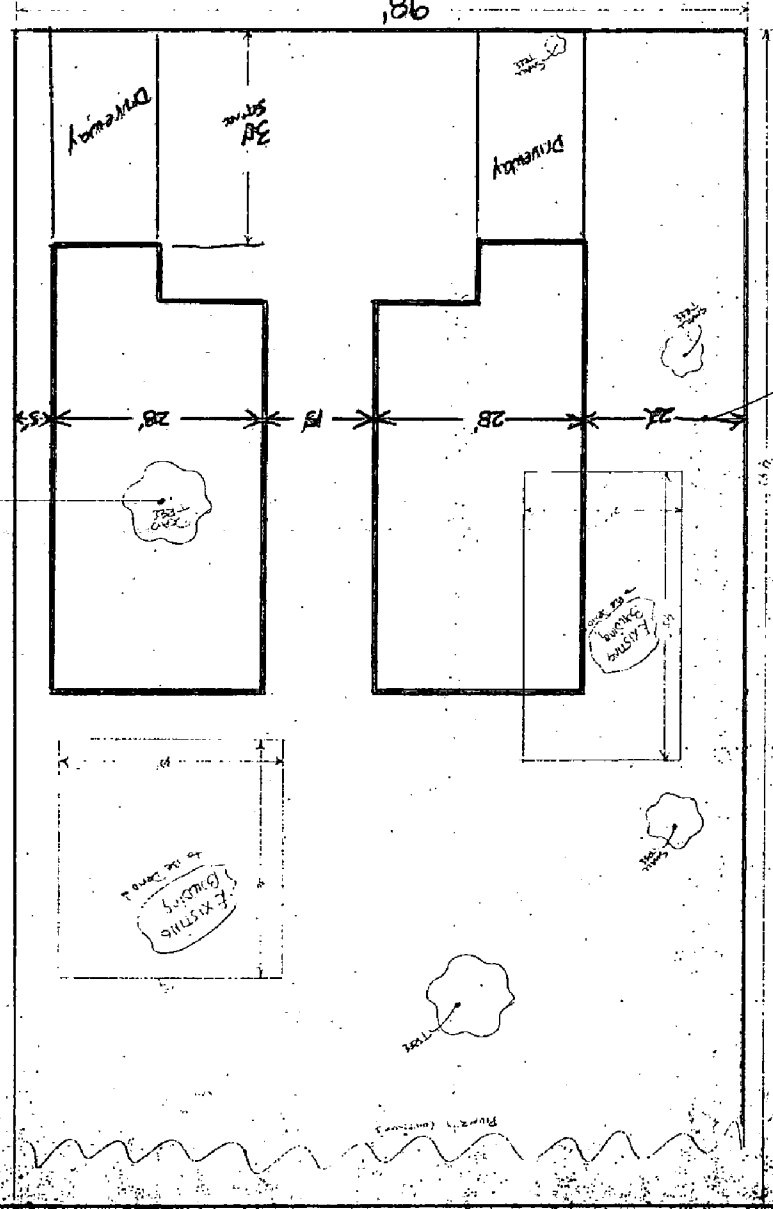
- 18" ROUND GABLE VENT
- 2X4 SPRUCE
- 5" RAIN GUTTER
- METAL ROLL UP DOOR



FRONT ELEVATION
SCALE 3/8" = 1'-0"

STORAGE DEP
 28
 11/1/81

98' SEAT 71st STREET



LEBBE
 = NEW STRUTURE
 100 sq ft
 = OLD STRUTURE TO
 BE DEMOLISHED

TO BE REMOVED LAND TREE
 TO REMAIN ALL OTHER TREES TO PROPERTY
 TO REMAIN



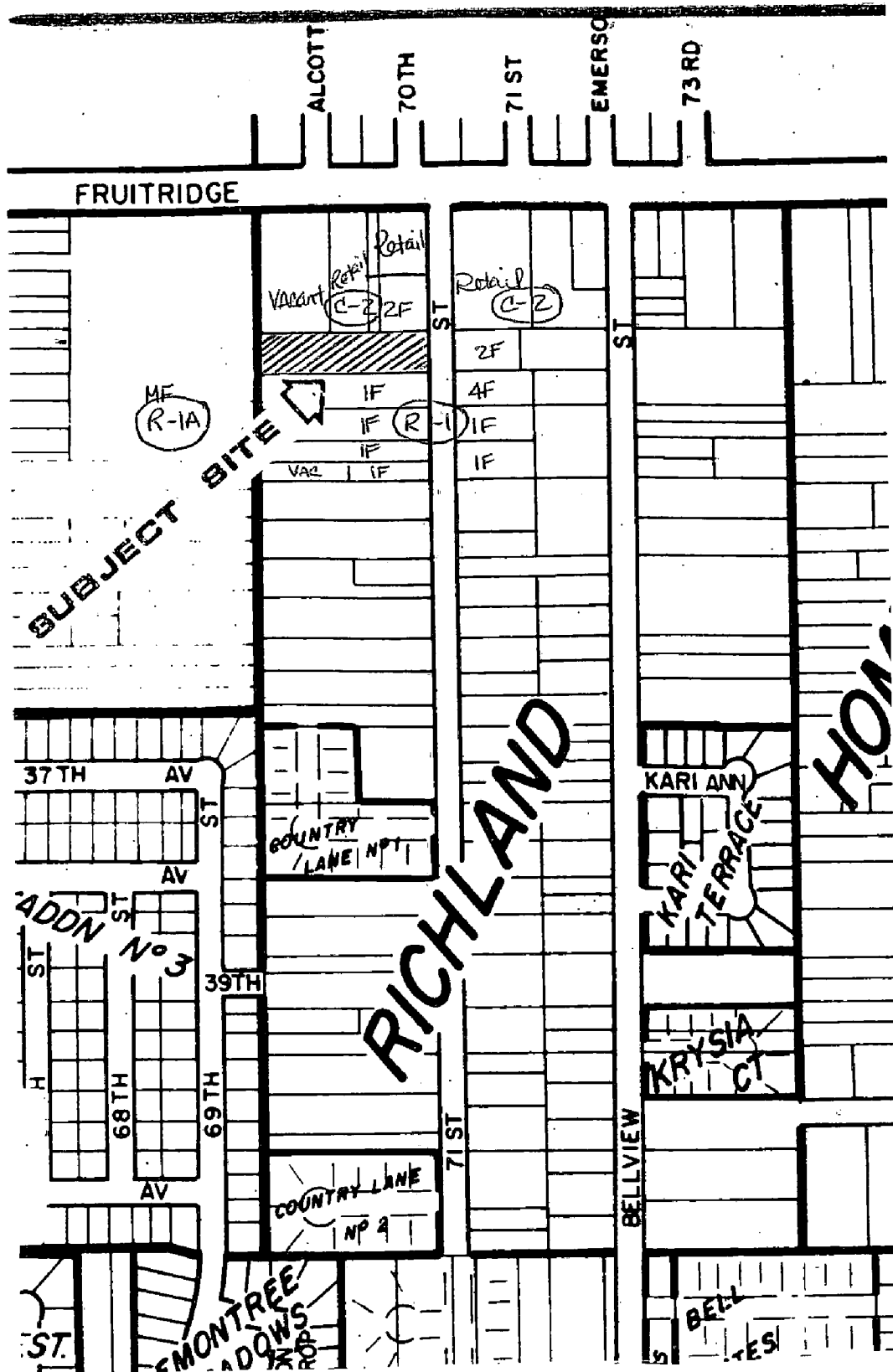
* PLEASE NOTE ONLY TO BE REMOVED

28' Lot
 ON SOUTH SIDE OF
 FUTURE 1500

EXISTING BUILDING TO BE DEMO

000685

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LAND USE & ZONING MAP