

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 0303833

Insp Area: 1

Thos Bros: 297 D4

Site Address: 1401 L ST SAC

Parcel No: 006-0116-012 SUITE 400

Sub-Type: TI

Housing (Y/N): N

CONTRACTOR

RUDOLPH AND SLETTEN INC
1504 EUREKA RD SUITE 200
ROSEVILLE CA 95661

OWNER

THE ALLEN GROUP
2300 RIVER PLAZA SUITE 100
SACRAMENTO CA 95833-3293

ARCHITECT

Nature of Work: SUITE 400 INTERIOR REMODEL.

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 198069 Date 7-1-03 Contractor Signature Juni Baynes

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project described in the application, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.

I am exempt under Sec. _____ B & PC for this reason: _____
Date _____ Owner Signature _____

PAID
CITY OF SACRAMENTO
JUL 01 2003
NORTH PERMIT
CENTER

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and herby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 7-1-03 Applicant/Agent Signature Juni Baynes

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier AMERICAN GUARANTEE & LIABILITY Policy Number WC 3495307-02 Exp Date 10/01/2003

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 7-1-03 Applicant Signature Juni Baynes

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

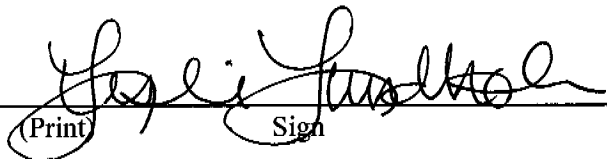
THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

CITY OF SACRAMENTO

30 DAY TEMPORARY
Certificate of Occupancy
For Information Contact (916) 264-5716

Building Address: 1415 L ST #400 Permit No.: 0303833
Building Use: OFFICE Occupancy: B
Building Owner: THE ALLEN GROUP Construction Type: 1FR
Owner Address: SACRAMENTO, CA Sprinkled? Yes No
Portion of Building Occupied: SUITE 400 Area: 9125 Sq. Ft.

Specific purpose for temporary occupancy and/or conditions/limitations of temporary occupancy:

9/11/03
Date By: (Print)  Sign DENNIS RICHARDSON
CHIEF BUILDING OFFICIAL

[TCO approvals:DPB,MJS,KR,CP]

CBC 109.4 TEMPORARY CERTIFICATE

If the Chief Building Official finds that no substantial hazard will result from occupancy of any building or portion thereof before the same is completed, a temporary Certificate of Occupancy may be issued for the use of a portion or portions of a building or structure prior to the completion for the entire building or structure.

POST IN A CONSPICUOUS PLACE

CITY OF SACRAMENTO

CERTIFICATE OF OCCUPANCY

For Information Contact (916) 264-5716

Building Address: 1415 L ST #400 Permit No.: 0303833
Building Use: OFFICE Occupancy: B
Building Owner: THE ALLEN GROUP Construction Type: 1FR
Owner Address: SACRAMENTO, CA Sprinkled? Yes No
Portion of Building Occupied: SUITE 400 Area: 9125 Sq. Ft.
2/12/04
Date By: (Print) [Signature] Sign DENNIS RICHARDSON
CHIEF BUILDING OFFICIAL

[Finaled By:DPB,MJS,KR,CP]

This Certificate, issued pursuant to the requirements of Section 109 of the Uniform Building Code, certifies that at time of issuance the described portion of the building has been inspected for compliance with the Uniform Building Code, as adopted per Title 15 of the Sacramento City Code for the group and division of occupancy and use for which the proposed occupancy is classified. Issuance of this certificate shall not be construed as an approval of a violation of any Codes, or Federal, State and City Laws or Ordinances. Certificates presuming to give authority to such violation shall not be valid. This certificate shall be posted in a conspicuous place on the premises and shall not be removed except by the Chief Building Official. No changes shall be made in the character of occupancy or use without approval of the Chief Building Official.

POST IN A CONSPICUOUS PLACE

APPLICATION FOR COMMERCIAL BUILDING PERMIT

CITY OF SACRAMENTO BUILDING DIVISION

PERMIT SERVICES SECTION

NORTH OFFICE: 2101 Arena Blvd., Ste. 200
Sacramento, CA 95834 (916) 808-2534 FAX 808-7046
CENTRAL CITY: 1231 I Street, Rm. 200
Sacramento, CA 95814 (916) 808-2534 FAX 264-5987

ACTIVITY #

Insp. Area

0303833

C1



**Applicant MUST complete
ALL Unshaded areas**

ADDRESS 1415 "L" St. Sacramento, CA 95816 Suite 400

PARCEL # _____

CONTACT		LICENSED CONTRACTOR	
Name <u>CHD Architects - Karl Chan</u>		Name <u>Rudolph Sletten</u>	
Street Address <u>2150 Capitol Ave #200</u>		Address <u>1554 Emmeke Rd #200</u>	
City/State/Zip <u>Sacramento, CA 95816</u>		City/State/Zip <u>Roseville, CA 95661-3056</u>	
Phone <u>916-446-7741</u> FAX <u>916-446-0457</u>		Phone <u>916-781-8001</u> FAX <u>916-781-8004</u>	
E-mail: <u>KChan@chdarchitects.com</u>		E-mail: <u>ralph_alsgood@rconst.com</u>	
ARCHITECT/ENGINEER		OWNER	
Name <u>CHD Architects - Karl Chan</u>		Name <u>The Allen Group</u>	
Address <u>2150 Capitol Ave #200</u>		Address <u>2300 River Plaza Suite 100</u>	
City/State/Zip <u>Sacramento, CA 95816</u>		City/State/Zip <u>Sacramento, CA 95833-3293</u>	
Phone <u>916-446-7741</u> FAX <u>916-446-0457</u>		Phone <u>916-561-4500</u> FAX <u>916-561-4504</u>	
E-mail: <u>KChan@chdarchitects.com</u>		E-mail: _____	

Will permittee have any employees on the jobsite? No Yes → INSURANCE CO: _____

WORKER'S COMPENSATION POLICY # _____ EXPIRATION DATE: _____

NATURE OF WORK IN DETAIL: Interior tenant improvement

OCCUPANT/TENANT: Kahn Scanes + Conway VALUATION: \$ 176,246

FLOOD STATUS:		S.C.A.T.								
JOB DESCRIPTION		BLDG	SHELL	APT	TI	REM	SW	FIRE	ADD	OTH
INSPECTION DISCIPLINES		BLDG	MECH	PLUMB	ELEC	SITE		FIRE		
# Stories	1st flr Area	Total Area	Use Zone	Occp Group	Const type	Fire Req <u>Y</u> <u>N</u>		Fed Code	Vio. File	
		<u>9,125</u>		<u>B</u>	<u>1FR</u>	SPR	ALARM	<u>15</u>	[H]	[Quad]
<u>B</u>	<u>L</u>	<u>P</u>	<u>M</u>	<u>E</u>	<u>F</u>	<u>S</u>		<u>D</u>	PW	UTIL

COMMENTS: _____

REGIONAL SANITATION FEES? Yes No HEALTH DEPARTMENT? Yes No

WATER FLOW TEST FOR NEW BUILDINGS OR ADDITIONS? Provided Faxed