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CITY OF SACRAMENTO

CITY MANAGER'S OFFICE
RECEIVED
FEB 22 1980

CITY PLANNING DEPARTMENT
915 "I" STREET
CITY HALL - ROOM 308
SACRAMENTO, CALIF. 95814
TELEPHONE (916) 449-5604

Marty Van Duyn
[Redacted]
PLANNING DIRECTOR

February 22, 1980

City Council
Sacramento, California

APPROVED
BY THE CITY COUNCIL

Honorable Members in Session:

SUBJECT: Request for:
1. Rezoning from R-1 to R-1A
2. Tentative Map (P-8893)

FEB 26 1980

OFFICE OF THE
CITY CLERK

LOCATION: West side of Power Inn Road, approximately 400 feet north of Lorin Avenue

SUMMARY

This is a request for entitlements necessary to develop 42 half-plex units on 21 corner lots. The Planning Commission in concurrence with staff recommended approval of the requests subject to conditions. The Planning Commission also approved a special permit to allow the half-plex units.

BACKGROUND INFORMATION

The project involves an approved single subdivision containing 127 lots. The subdivision is partially completed and the applicant proposes to develop the corner lots with half-plex units. In terms of the proposed half-plex use, staff has no objection.

The only concern staff has regarding this proposal is the design of the structures, as indicated in the Planning Commission staff report. Subsequent to the Planning Commission meeting, however, the applicant has indicated that an additional elevation will be used, additional roof type utilized; shake roofs will be used in lieu of the composition shake, and the use of earth-tone colors and an additional type of exterior siding will be used.

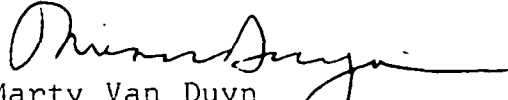
VOTE OF COMMISSION

On January 24, 1980, the Planning Commission by a vote of 8 ayes, 1 absent recommended approval of the project subject to conditions.

RECOMMENDATION

The staff and Planning Commission recommend that the City Council approve the project and adopt the attached Rezoning Ordinance and Tentative Map Resolution.

Respectfully submitted,


Marty Van Duyn
Planning Director

FOR TRANSMITTAL TO COUNCIL:


Walter J. Slipe, City Manager

MVD:HY:jm
Attachments
P-8893

February 26, 1980
District No. 6

CITY PLANNING COMMISSION

915 "I" STREET - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Terra Engineering, 936 Enterprise Dr., Sacto, CA 95825				
OWNER	Longview Corp, 6801 Fair Oaks Blvd., Carmichael, CA 95608				
PLANS BY	Terra Engineering, 936 Enterprise Dr., Sacto, CA 95825				
FILING DATE	12-11-79	50 DAY CPC ACTION DATE		REPORT BY	HY:lo
NEGATIVE DEC.	1-14-80	EIR		ASSESSOR'S PCL. NO.	various

APPLICATION:

1. Negative Declaration
2. Rezoning from R-1 to R-1A
3. Special Permit to develop 42 half-plex units
4. Tentative Map (P-8893)

LOCATION: West side of Power Inn Road, approximately 400' north of Lorin Avenue

PROPOSAL: This is a request for entitlements necessary to develop 42 half-plex units on twenty-one corner lots located within South Country Unit B Subdivision.

PROJECT INFORMATION:

General Plan Designation:	Residential
Lindale-Florin Community Plan Designation:	Light Density Residential
Existing Zoning of Site:	R-1
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning

North:	Residential; and R-1
South:	Residential; and R-1
East:	Residential; and R-1
West:	Residential; and R-1

Property Area:	3.96 acres
Acreage Lot Size:	75' x 108' = 8100 sq. ft.
Square Footage of Building:	1027 sq. ft. to 1118 sq. ft.
Topography:	Flat
Street Improvements:	Existing
Existing Utilities:	Available to site
School District:	Elk Grove School District

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION:

On January 9, 1980, the Subdivision Review Committee by a vote of 8 ayes, 1 absent recommended approval of the Tentative Map subject to the following conditions:

- a. rename the application as follows: Resubdivision of South Country Lots...

- b. designate on the final map those lots without water and sewer services;
- c. place a note on the map as follows: Those lots without water and sewer services must pay for and install said services at the time of obtaining a building permit;
- d. check with County Sanitation District and meet all requirements;
- e. indicate setback lines along street frontage.

STAFF EVALUATION:

The proposed half-plex units are distributed on all corner lots within the South Country Unit "B" Subdivision. Staff has no objection to the proposed half-plex units, however, there is concern regarding the exterior design of the units. The applicant is proposing only one floor plan and has indicated three different elevations. The elevations are all designed with a vertically grooved plywood siding and the only difference is that the grooves are 4" on center, 8" on center, and 12" on center.

The 8" on center model is designed with a limited amount of stucco stone. All units have a composition shingle roof and the roof design is basically the same. A one-car garage is provided for each unit. Staff suggests that a greater variation be provided in the three exterior elevations. This could be accomplished by using both a hip and gable type roof; use of earth tone colors; use of horizontal and vertical siding; the use of more rock or brick type materials; and the use of shake roofs.

The plans do not indicate a setback for the proposed units. Staff suggest that a minimum front yard setback be 20 feet and the minimum street side yard be 12½ feet.

The Elk Grove Unified School District has reviewed the proposed project and anticipates it will be able to accommodate junior and senior high school students. However, the elementary schools in the area are expected to exceed physical capacity after the 1982-83 school year and under current State school financing, the district will be unable to provide adequate classroom space.

RECOMMENDATION:

Staff recommends:

1. The Negative Declaration be ratified
2. Approval of the Rezoning to R-1A
3. Approval of the Special Permit subject to Conditions and based on Findings of Fact
4. Approval of the Tentative Map subject to Conditions.

Conditions for Special Permit:

- a. The applicant shall provide a greater variation in exterior elevations. This should be accomplished by utilizing a greater variation in roof design (such as using a hip and gable type roofs); the use of earth tone colors; the use of horizontal and vertical siding; the use of more rock or brick type material; and the useage of shake roofs.
- b. The exterior elevations shall be reviewed and approved by the Planning Director prior to issuance of building permits.
- c. The minimum front setback shall be 20 feet and the minimum street side setback shall be $12\frac{1}{2}'$.

Conditions for Tentative Map:

- a. rename the application as follows: Resubdivision of South Country Lots,...
- b. designate on the final map those lots without water and sewer services;
- c. place a note on the map as follows: Those lots without water and sewer services must pay for and install said services at the time of obtaining a building permit;
- d. check with County Sanitation District and meet all requirements;
- e. indicate setback lines along street frontage.

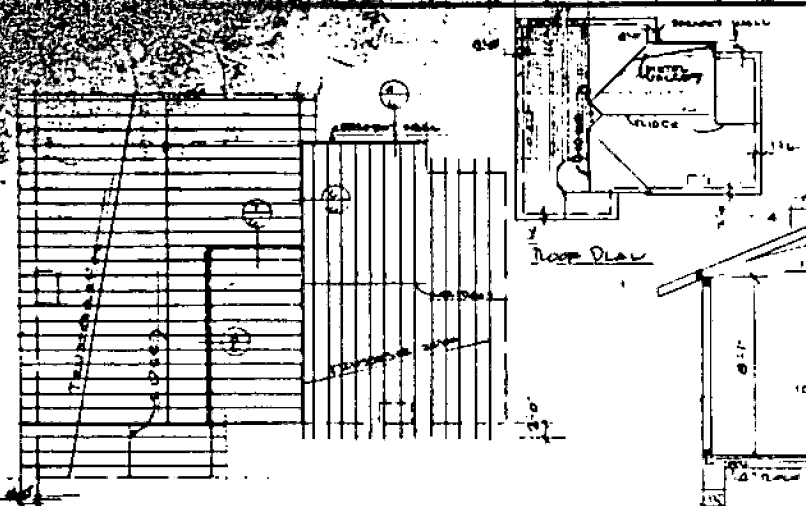
Findings of Fact for Special Permit:

1. The proposal is based on sound principles of land use in that:
 - a. The half-plex units provide another housing type for the area.
 - b. The use of shake roofs is compatible with other single family dwellings within the subdivision.
2. The project will not be injurious to surrounding properties in that the proposed half-plex units are compatible to surrounding single family dwellings.
3. The proposal is consistent with the 1974 General Plan and Lindale-Florin Community Plan in that both plans designate the site for residential.

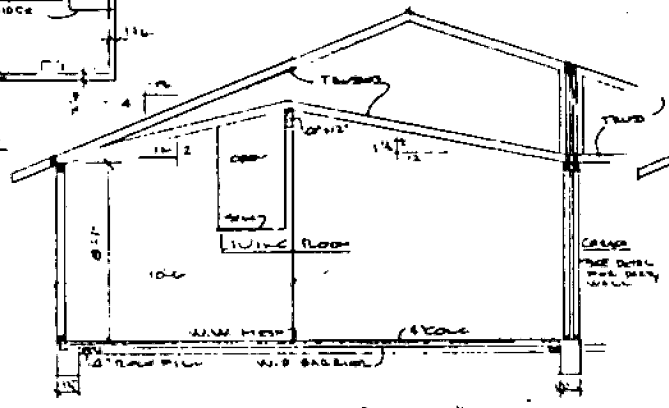
P-8893

1-24-60

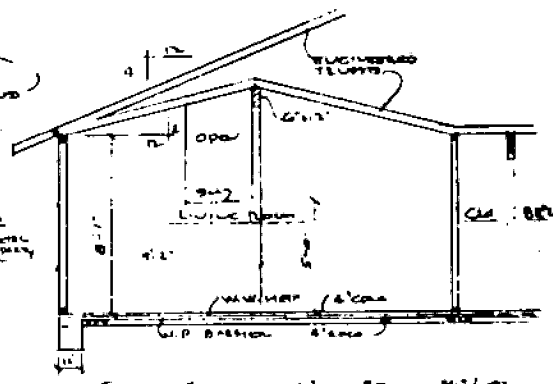
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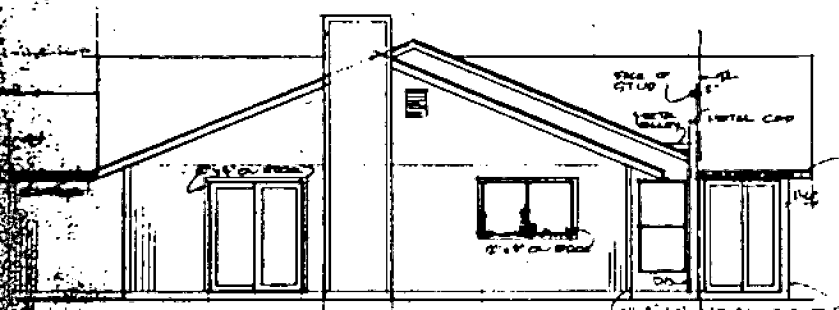
ROOF TRUSSES
SEE CROSS SECTIONS FOR DETAIL TRUSSES



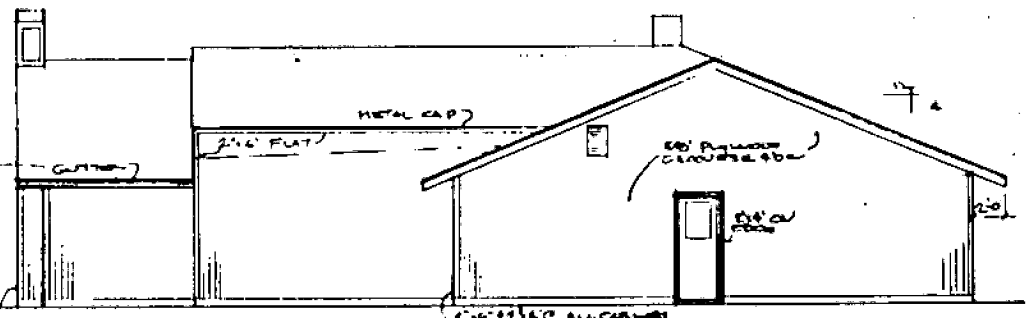
CROSS SECTION UNIT #1 - 12' x 14' 6"



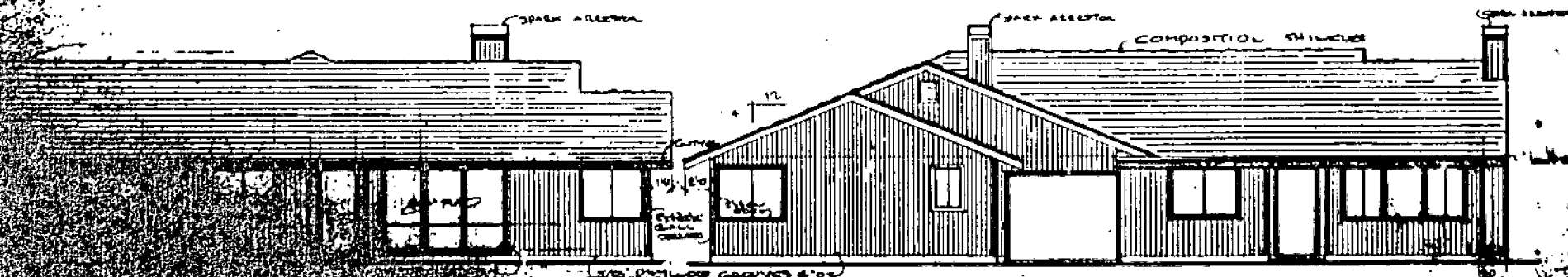
CROSS SECTION - UNIT #2 - 12' x 14' 6"



FRONT ELEVATION



LEFT ELEVATION



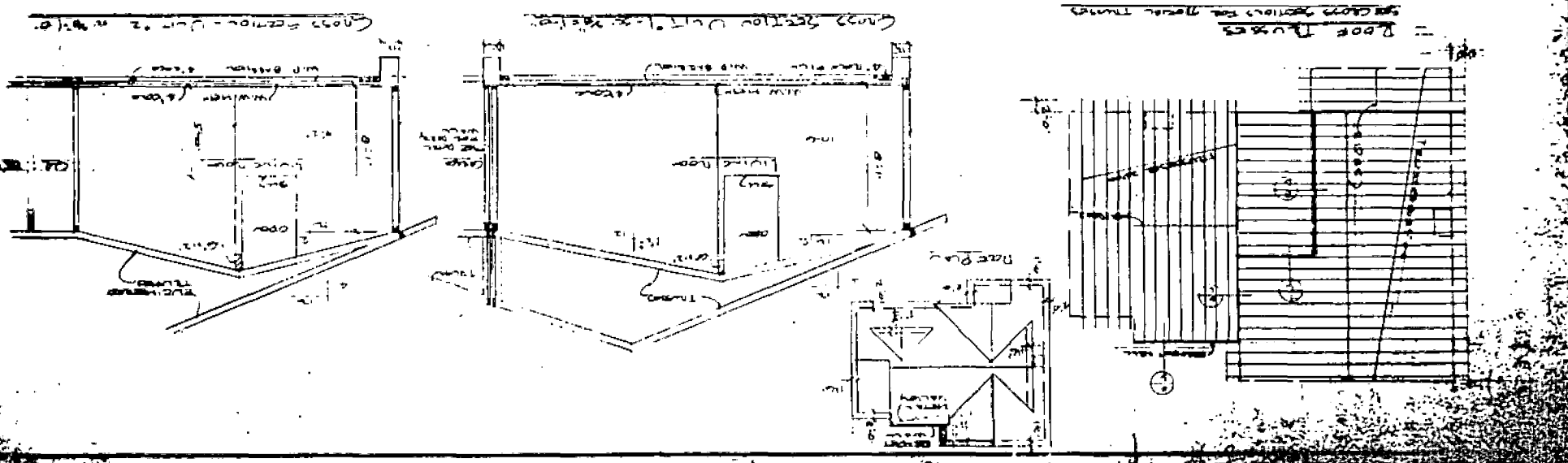
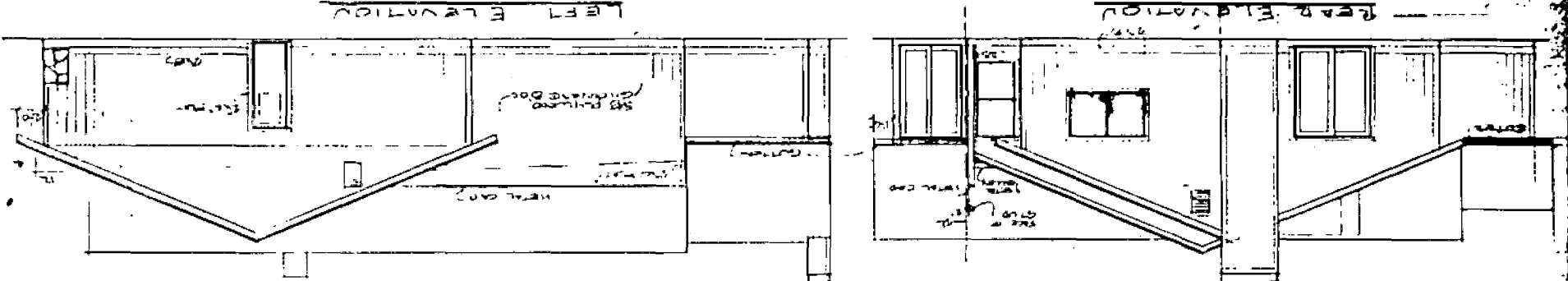
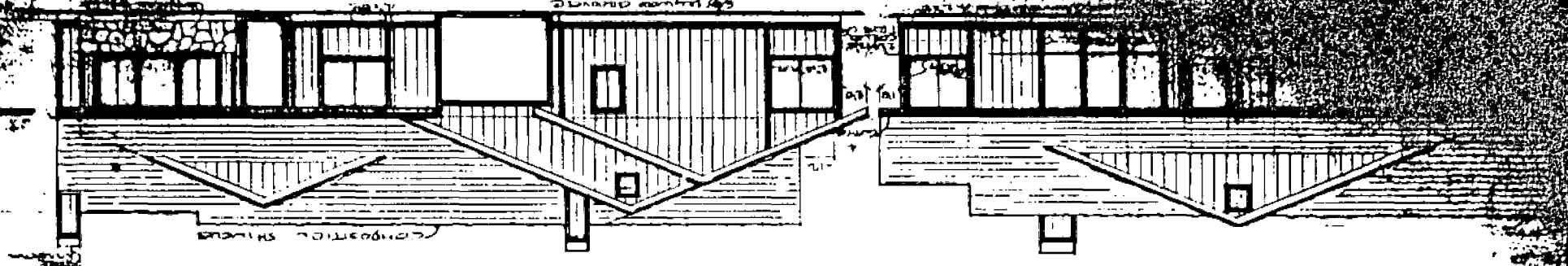
RIGHT ELEVATION

DAVID G. WILLIAMS & ASSOC.
 ARCHITECTS
 1704 10th Street, S.W.
 Atlanta, Georgia 30334
 Phone 525-1111

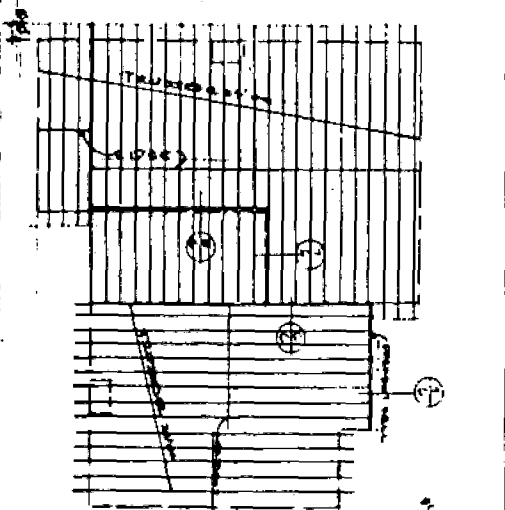
1-24-1

of 48-1

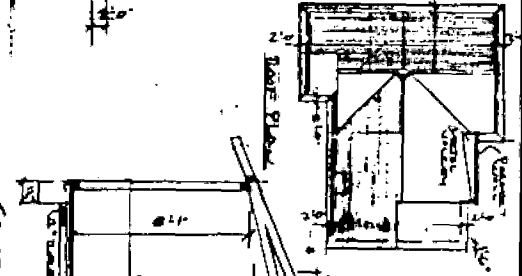
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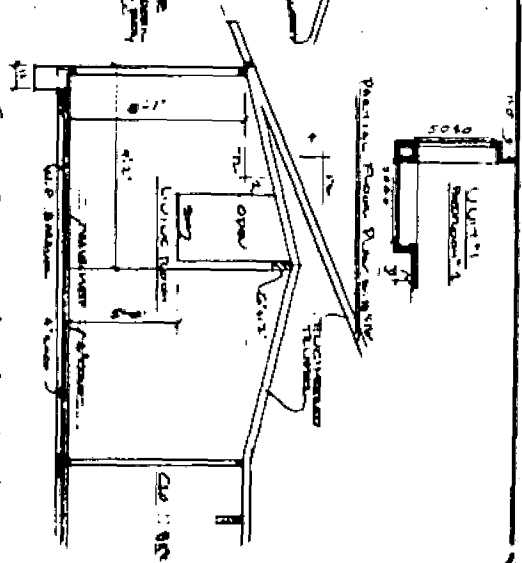
E. DAVID & WILLIAMS & ASSOC.
 ARCHITECTS
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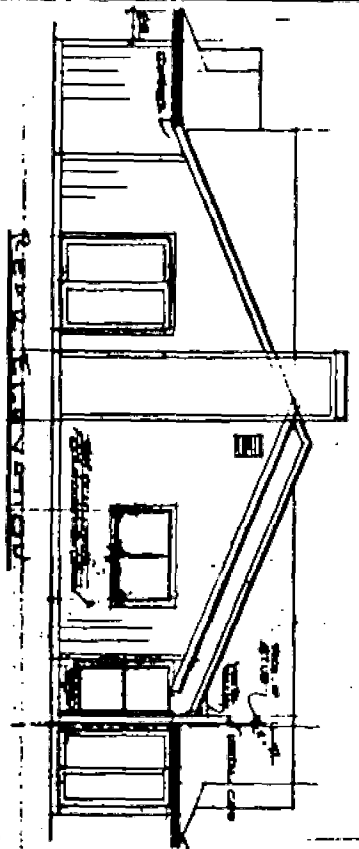
SIDE ELEVATION



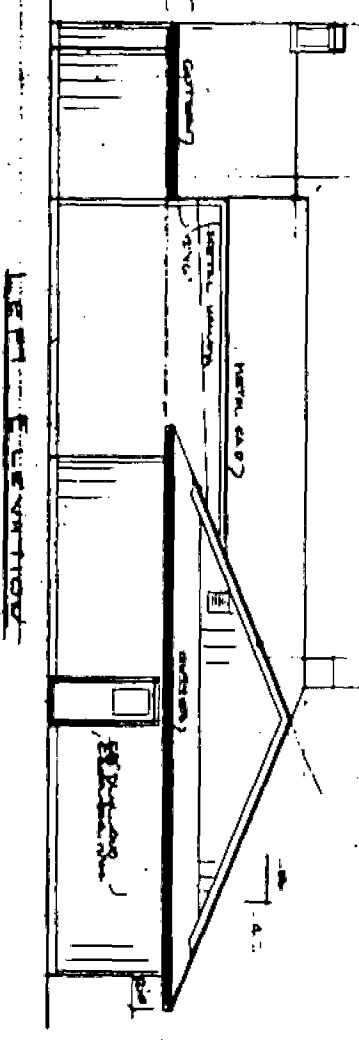
CROSS SECTION WITH GARAGE



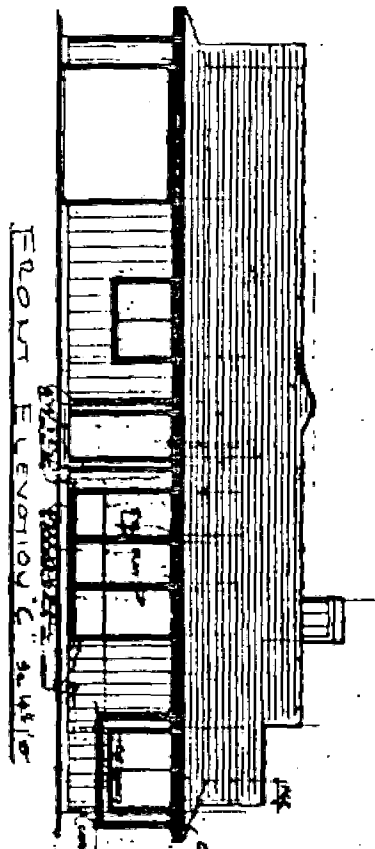
CROSS SECTION - UNIT 2



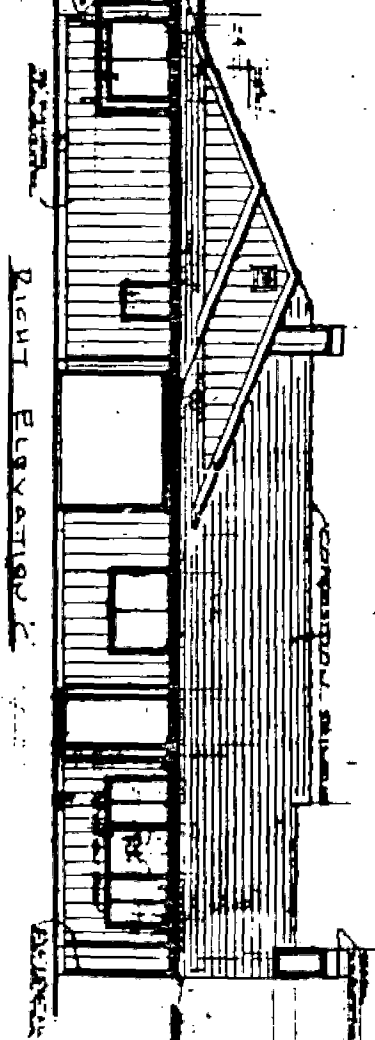
RIGHT ELEVATION



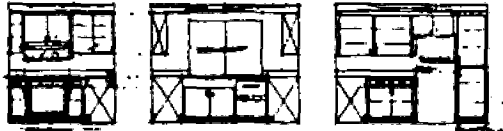
LEFT ELEVATION



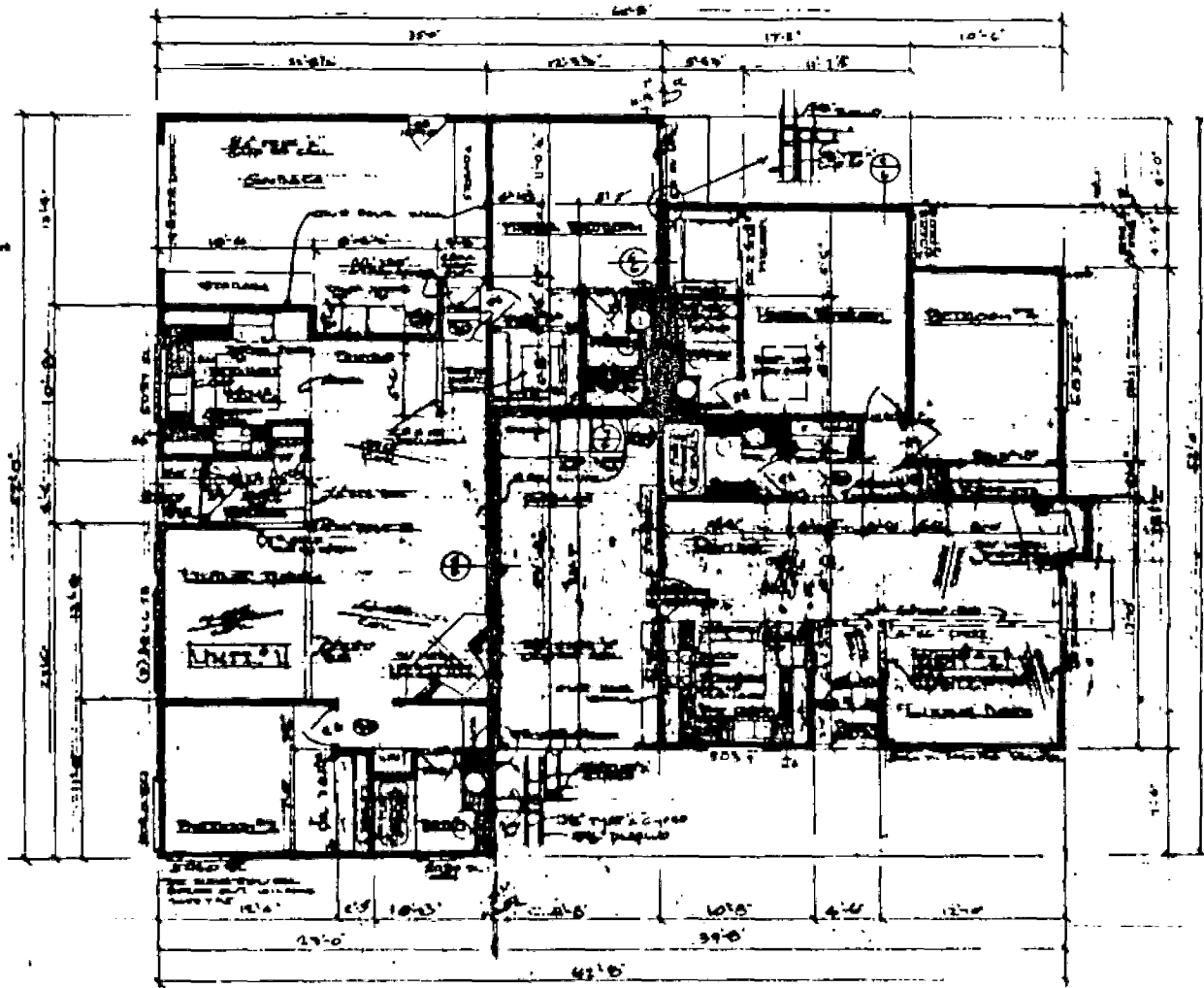
FRONT ELEVATION



REAR ELEVATION



LIVING AREA UNIT #1 — 1116' 0" x 124' 0" GLASS AREA
 CORR AREA — 137' 0"
 LIVING AREA UNIT #2 — 1081' 0" x 124' 0" GLASS AREA
 CORR AREA — 111' 0"
 TOTAL AREA — 1177'



FLOOR PLAN - 1/2 SECTION

DAVID G. WILLIAMS & ASSOCS.
 ARCHITECTS
 1700 S. MAIN ST. SUITE 200
 LOS ANGELES, CALIFORNIA 90015

Drawn by: [Signature]

Checked by: [Signature]

Scale: 1/4" = 1'-0"

1. ORDINANCE NO. **4311**, FOURTH SERIES

ORDINANCE AMENDING THE DISTRICTS ESTABLISHED BY THE COMPREHENSIVE ZONING ORDINANCE NO. 2550, FOURTH SERIES, AS AMENDED, BY REMOVING PROPERTY LOCATED AT West side Power Inn Rd., approx. 400' north of Lorin Ave. FROM THE R-1 Single Family Residential ZONE AND PLACING SAME IN THE R-1A Townhouse ZONE (FILE NO. P-8893)

BE IT ENACTED BY THE COUNCIL OF THE CITY OF SACRAMENTO:

SECTION 1.

The territory described in the attached exhibit(s) which is in the R-1 Single Family Residential zone(s), established by Ordinance No. 2550, Fourth Series, as amended, is hereby removed from said zone(s) and placed in the R-1A Townhouse zone(s).

SECTION 2.

The City Clerk of the City of Sacramento is hereby directed to amend the maps which are a part of said Ordinance No. 2550, Fourth Series, to conform to the provisions of this ordinance.

SECTION 3.

Rezoning of the property described in the attached exhibit(s) by the adoption of this ordinance shall be deemed to be in compliance with the procedures for the rezoning of property prescribed in Ordinance No. 2550, Fourth Series, as said procedures have been affected by recent court decisions.

PASSED FOR PUBLICATION:

PASSED:

EFFECTIVE:

MAYOR

ATTEST:

CITY CLERK

P-8893

APPROVED
BY THE CITY COUNCIL

FEB 20 1960

OFFICE OF THE
CITY CLERK

LEGAL DESCRIPTION

Order No. 601032

SCHEDULE A

The estate or interest in the land described or referred to in this schedule covered by this report is:

A FEE

Title to said estate or interest at the date hereof is vested in:

FIRST AMERICAN TITLE INSURANCE COMPANY, a California corporation

The land referred to in this report is situated in the State of California, County of Sacramento, and is described as follows:

CITY OF SACRAMENTO

Lots 3,4,12,14,27,28,37,38,44,49,55,56,64,65,70,71,92,93,115,116 and 127 as shown upon that certain map of South Country filed in Book 125 of Maps, Map No. 2, Sacramento County Records.

RESOLUTION NO. 20-103

Adopted by The Sacramento City Council on date of
FEBRUARY 26, 1980

ADOPTING FINDINGS OF FACT, APPROVING A REQUEST
FOR TENTATIVE MAP SOUTH COUNTRY UNIT "B" (P-8893)

WHEREAS, the Planning Commission has submitted to the City Council its report and recommendations concerning the request for a tentative map for property located on the west side of Power Inn Road, approximately 400 feet north of Lorin Avenue (hereinafter referred to as the proposed subdivision).

WHEREAS, the Council of the City of Sacramento, based on testimony submitted at a public hearing conducted on February 26, 1980, hereby finds and determines as follows:

- A. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City General Plan and the Lindale/Florin Community Plan in that both plans designated the subject site for residential uses. Also, any required improvements are to be designed and constructed within the provisions of the Subdivision Regulations which, by Section 40.102 of said regulations, is designated as a Specific Plan of the City of Sacramento.
- B. The site is physically suitable for the type and proposed density of development in that the subject site is flat with no significant erosional, soil expansion or other similar problems.
- C. The design of the subdivision or proposed improvements are not likely to cause substantial environmental damage, and will not substantially and avoidably injure fish or wildlife or their habitat. The proposed project has been reviewed and assessed by the Environmental Coordinator, who has filed a Negative Declaration with the City Clerk. By virtue of the Negative Declaration, the proposed project will not cause individual or cumulative adverse effects on the natural and social-physical environment nor substantially and avoidably injure fish, wildlife or their habitat.
- D. The design of the subdivision or the type of improvements are not likely to cause serious public health problems in that community water and sewer systems exist at the site. The site is not within an established floodplain or over a known seismic fault.
- E. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public for access through, or use of, the property within the proposed subdivision, in that there are no access easements for use by the public at large on the subject site.
- F. The discharge of waste from the proposed subdivision into the community sewer system servicing the proposed subdivision will not result in or add to a violation of the waste discharge requirements applicable to said sewer system which were prescribed by the California Regional Water Quality Control Board, Central Valley Region, in that the existing County of Sacramento treatment plants have a design capacity for which the discharge from the proposed project will not create a condition exceeding the design capacity.

- G. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities in the proposed subdivision, taking into consideration the local climate, the contour and configuration of the parcel to be divided, and such other design and improvement requirements applicable to the proposed subdivision.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Sacramento as follows:

- A. The Negative Declaration be ratified;
- B. The Tentative Map be approved subject to the following conditions:
1. Rename the application as follows: Resubdivision of South Country Lots...
 2. Designate on the final map those lots without water and sewer services.
 3. Place a note on the map as follows: Those lots without water and sewer services must pay for and install said services at the time of obtaining a building permit.
 4. Check with County Sanitation District and meet all requirements.
 5. Indicate setback lines along street frontage.

MAYOR

ATTEST:

CITY CLERK