

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 0107082
Insp Area: 4

Site Address: 16 HORNBILL CT SAC
Parcel No: 225-1210-058

Sub-Type: AOTHR
Housing (Y/N): N

CONTRACTOR
FRACK CONSTRUCTION
7020 COACHMAN WY
CITRUS HEIGHTS, CA 95621

OWNER
JOHN DARYMPLE
16 HORNBILL CT
SAC CA 95834

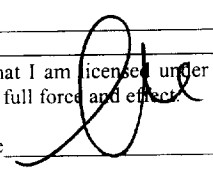
ARCHITECT

Nature of Work: ATTACHED 2ND STORY DECK.

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class _____ License Number 572480 Date 6/5/01 Contractor Signature 

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code, any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00).

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

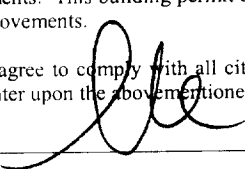
I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 6/5/01 Applicant Agent Signature 

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:
I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier STATE FUND Policy Number 1185117-01 Exp Date 01/01/2002

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation provisions of Section 3700 of the Labor Code, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 6/5/01 Applicant Signature 

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

Date of Request: _____

By: _____

CITY OF SACRAMENTO DEVELOPMENT SERVICES DIVISION
PLANNING AND ZONING INFORMATION REQUEST

Project Address: 16 HORNBIU CT.

Assessor's Parcel Number 225-1210-058

Previous Use: EXIST SFB (2-story)

Description of Request/Proposed Use 16 X 16 DECK (UPPER)
WITH RAILS

Is This a Change of Use? NO

Prior Applications for Project Site(P#, Z#, DRPB#): P99-019 Zoning Designation: R-1-PUD

Comments: meets all setback & lot coverage requirements
as shown

Are There Any Planning Issues?: (circle one) YES NO

* Staff Site Plan Check Required? (Circle one) YES NO

* Field Inspection Required? (Circle one) YES NO

* Design Review/Preservation Required?: (Circle one) YES NO

Planning Review by/Date Paul Reed 6/5/01

A list of items that must be reviewed by Planning is provided on the reverse side of this form.

MICROFILM AFTER FINAL



April 27, 2001

(Via First Class Mail)
(Via Facsimile 538-325-9669)

Mr. Morin and Mr. Dalrymple
16 Hornbill Court
Sacramento, CA 95834

**Re: Sundance Lake Village 2, Lot #61
16 Hornbill Court
Pool and Deck Plans**

Dear Mr. Morin and Mr. Dalrymple:

Thank you for submitting your pool and deck plans to the Sundance Lake Architectural Review Committee. Your plans were reviewed on April 18, 2001.

The following items were approved:

1. General Design
2. Pool, with the exception of Item #1 below.

The following items were not approved and require additional information:

1. Please provide the construction details for the proposed retaining walls, including elevations, materials, dimensions, and exterior colors.
2. Please confirm that you will be holding all materials a minimum of two inches (2") from the bulkhead.
3. The pool and spa equipment for this home must be screened from view. You will be required to provide the method of screening drawn to scale with dimensions and materials shown.
4. Due to the size and proximity of the deck to your home, this structure may require a building permit from the County of Sacramento Building Division. If a permit is required, please provide a copy of the permit for our file.
5. The height of the guardrail may not be sufficient at three feet (3'). Please note that the plans and constructions specifications must be in compliance with all applicable ordinances and zoning code provisions for the County of Sacramento.

6. The knee braces supporting the deck must be screened from view, as shown on the enclosed annotated plan. You will be required to provide the method of screening drawn to scale with dimensions and materials shown.

We are returning the second set of annotated landscape plans to you for your use.

We have also enclosed information regarding Sundance Lake construction and landscape debris.

The Committee looks forward to reviewing your response. If you have any questions, please feel free to call.

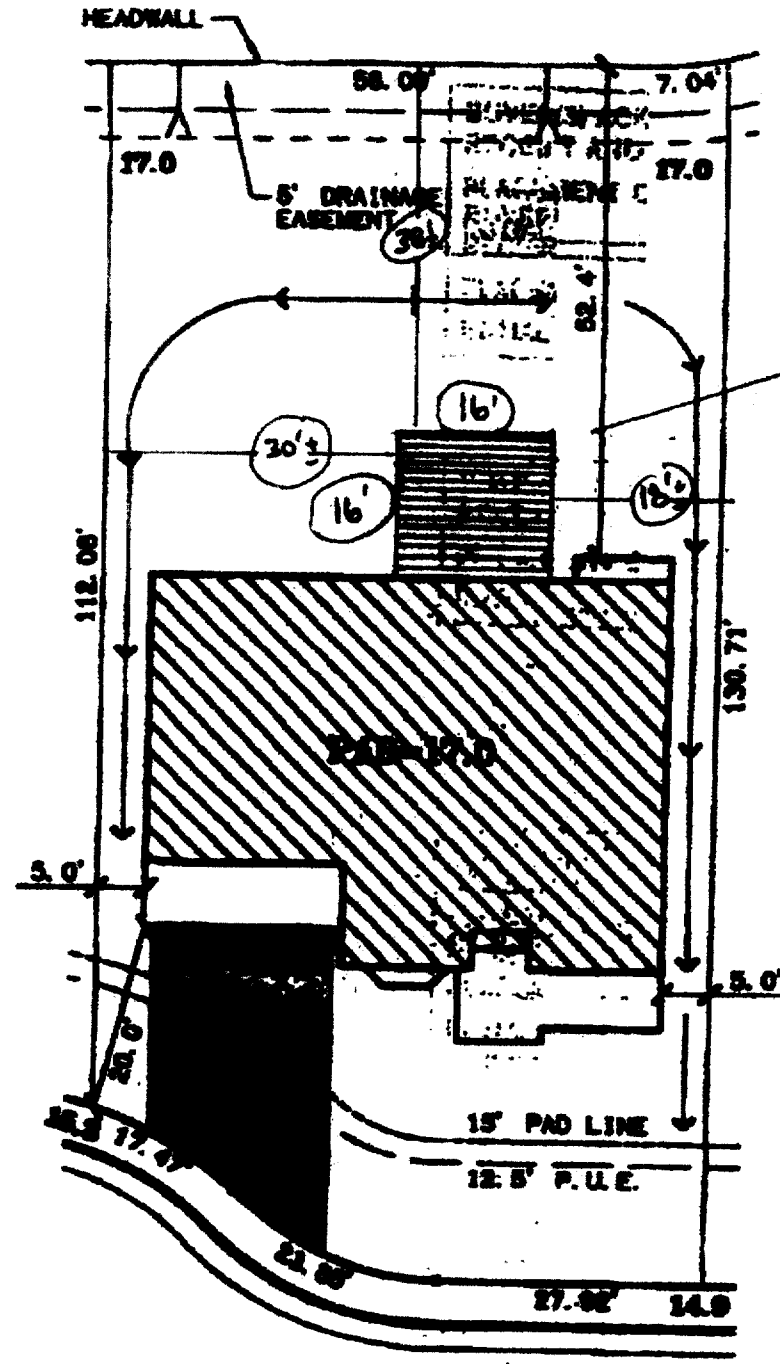
Sincerely,



Alysia O. Fulton
Design Review Administrator for the
Planning Committee

Enclosures

/s/
slv261042701



16' X 16'
REDWOOD
DECK
W/ RAILS

FRACK CONSTRUCTION
7020 Coachman Way
Citrus Heights, CA 95621
(916) 726-6242
CSL # 572480

HORNBILL COURT

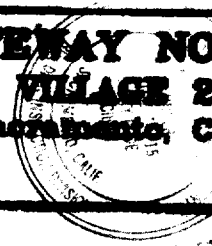
LOT 61
PLAN 48 LEFT
A.P.N.:
ADDRESS: HORNBILL COURT
LOT AREA: 8,178 SF
LOT COVERAGE: 28%

BUYER(S) ACKNOWLEDGE(S)
RECEIPT AND REVIEW OF PROPOSED
PLACEMENT OF HOME, DATE: _____
INITIAL _____ INITIAL _____

City of Sacramento
2000 WINDING GARD WAY
SACRAMENTO, CA 95825

MARCHBROOK
BUILDING COMPANY
P.O. Box 7078
Stockton, Ca 95207
office: (209) 478-0000
fax: (209) 922-8887 BUYER'S ACKNOWLEDGMENT

GATEWAY NORTH
VILLAGE 2
City of Sacramento, California



June 14, 2000

JOHN DARYMPLE & ALAN MORIN
16 HORNBILL CT.
SACRAMENTO CA. 95834
419-9998

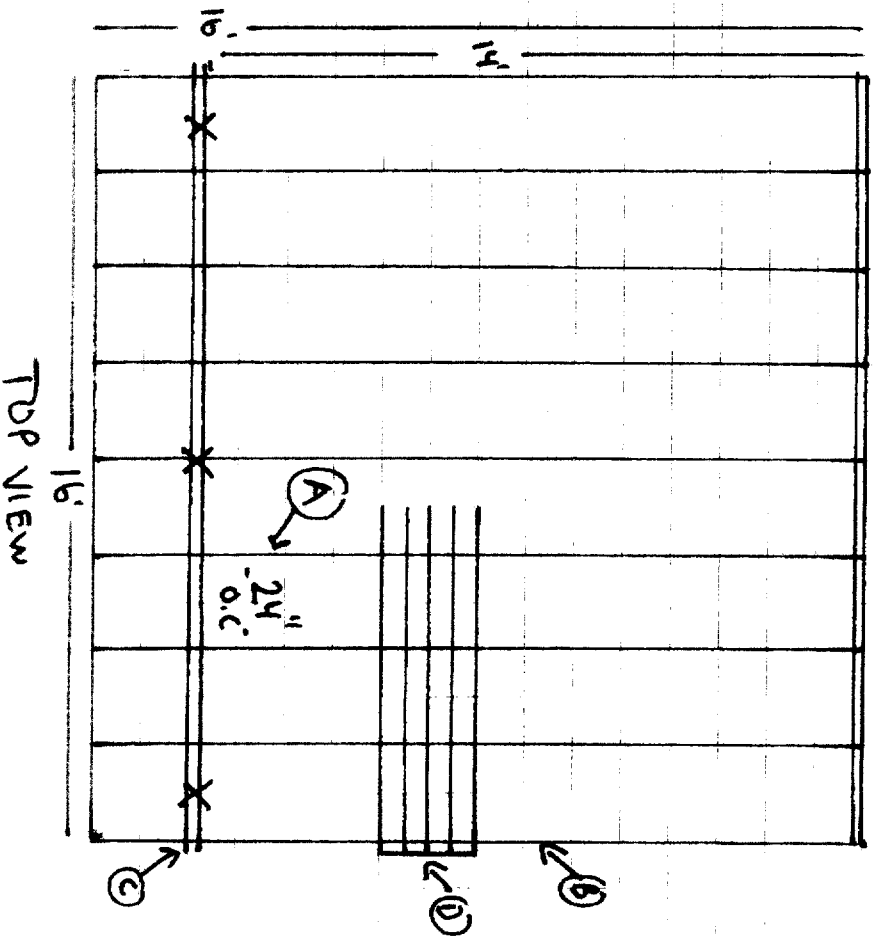
Sacramento Building Division

JUN 15 2000

ISSUED

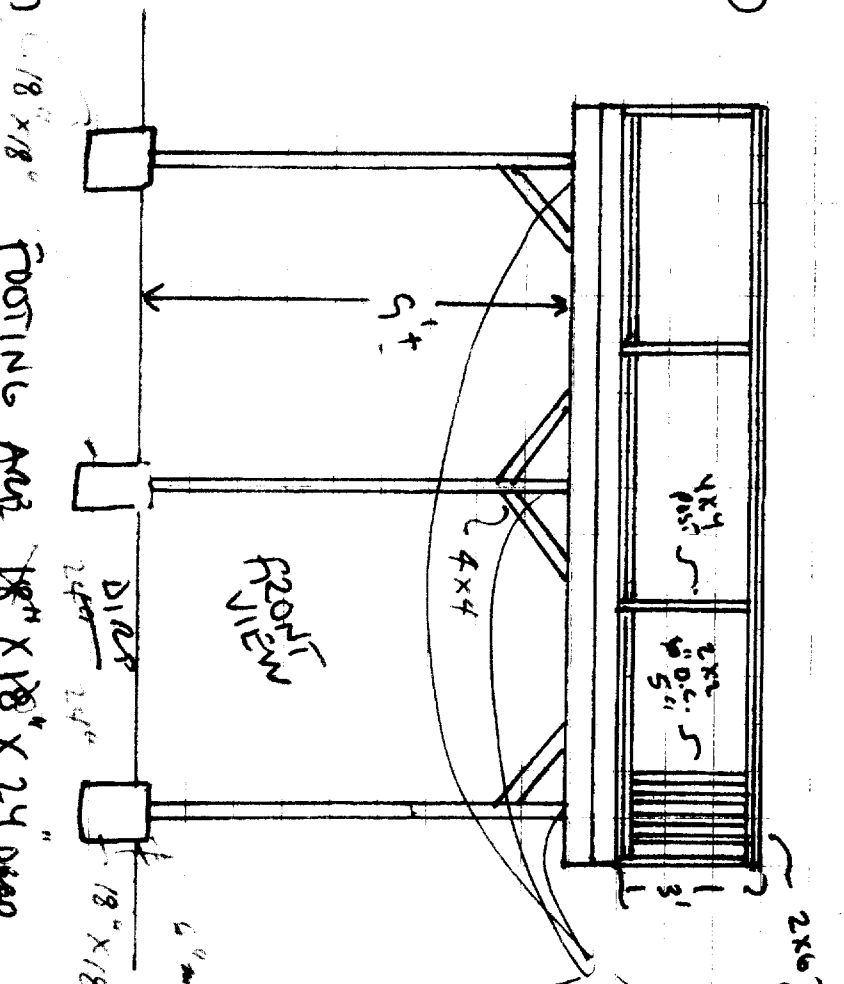
This plan and specification shall not be held to permit or approve the violation of any City Ordinance or State Law.

- HOUSE -
 ATTACHING 2X10 RAFTERS TO EXISTING 2X12"
 LAGER ON HOUSE W/ JOIST HEADERS

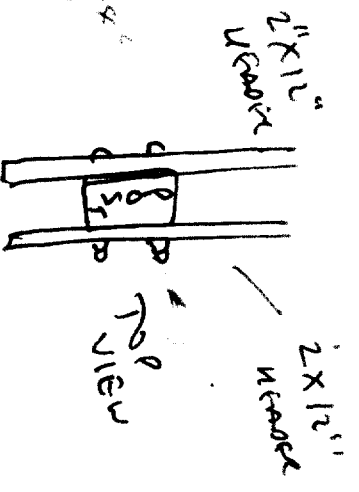


- (A) 2X10 RAFTERS (JOIST)
- (B) 2X10 FASCIA
- (C) 2X12 DOUBLE MEMBERS
- X 4X6 POST SET ON TOP OF CONCRETE PILES
- (D) 2X6 CON INS DECK BEAMS (SCALES)

DOUBLE FIRE



FOOTINGS ARE 18" X 18" X 24" DEEP WITH 4X6 POST BEAMS W/ 1" SPACERS (SET IN CONCRETE)



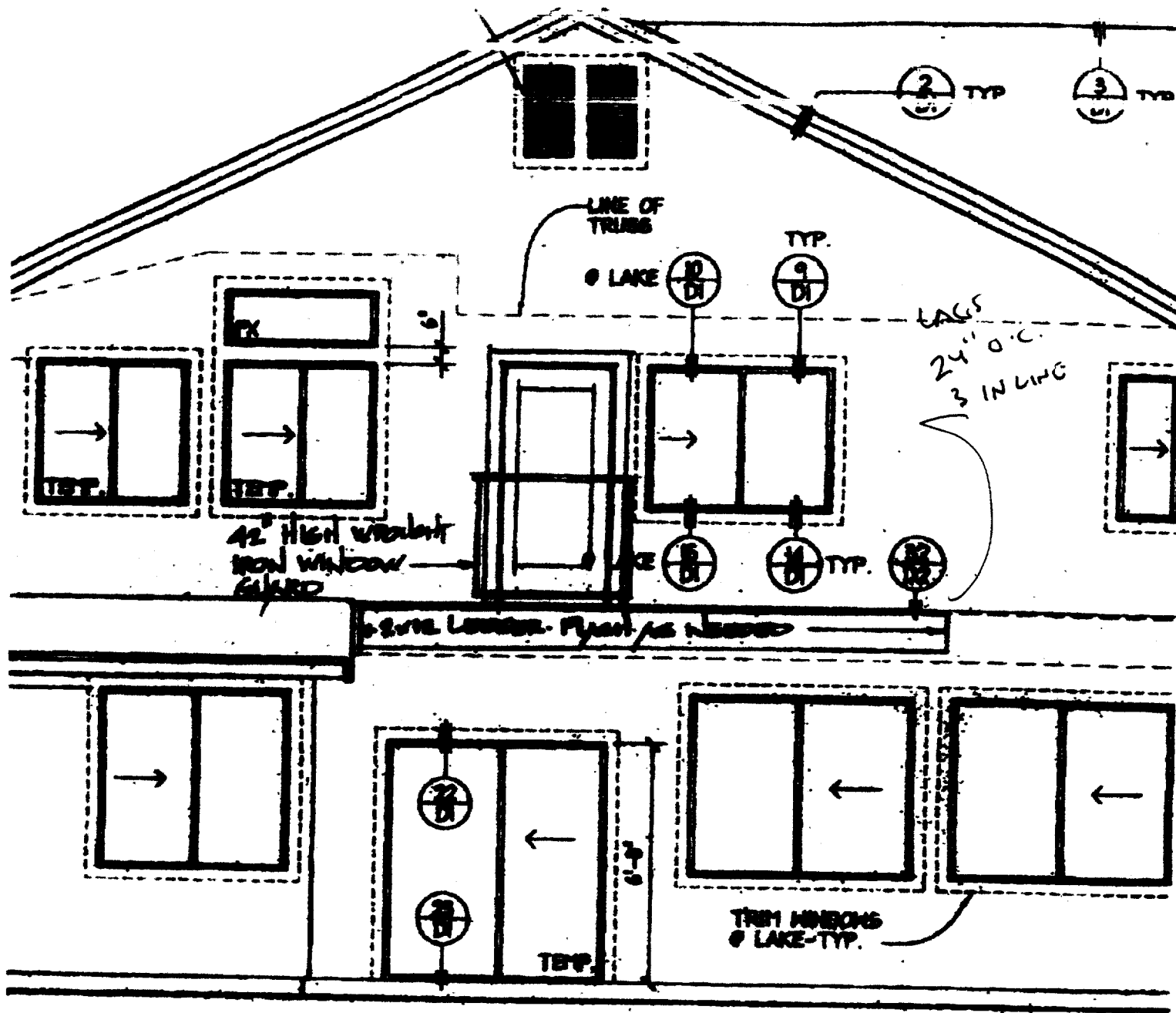
RAFTERS ARE 2" X 12" NAILS WITH 6" O.C.
 3" TAIL AND 4X4 POST ATTACHED TO FRAMING MEMBERS OF DECK (DOUBLE)

NOTE: ALL DOUBLE FIRE IS TO BE PAINTED TO MATCH HOUSE BODY COLOR (REWORKS TOP UNFINISHED)

ISSUED JUN 05 2009
 Sacramento Building Division
 1/2" X 7/2" BOLTS WITH WASHERS
 (2 SPACERS)

SMALL
 Violation of and City Ordinance or State Law.
 The
 The
 Building
 Division
 of the
 City of
 Sacramento

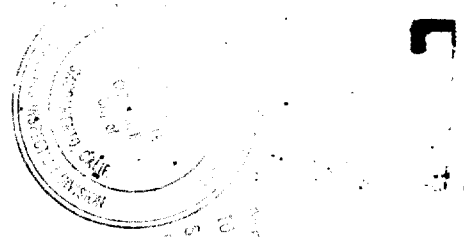
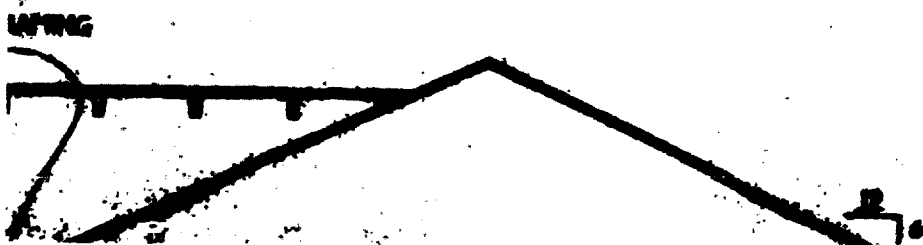
Bryan Alacash
 Designer for #2



AR ELEVATION

Lot 41. Suburban Lake.
8/9/00

LEADER WAS INSTALLED
AT TIME HOUSE WAS BUILT



Sacramento Building Division

JUN 05 2004

ISSUED

I am authorized to issue this permit to approve the
 construction of the above described project.
 State of California
 Department of Industrial Relations
 Division of Occupational Safety and Health
 9/11/04