

**CITY OF SACRAMENTO  
DEPARTMENT OF PLANNING & DEVELOPMENT  
ZONING ADMINISTRATOR  
1231 I Street, Sacramento, CA 95814**

**ACTION OF THE ZONING ADMINISTRATOR**

On Thursday, September 26, 2002, the Zoning Administrator approved with conditions a special permit to allow a house addition project into the rear yard setback for an existing house for the project known as Z02-175. Findings of Fact and conditions of approval for the project are listed on pages 2 and 3.

**Project Information**

Request: **Zoning Administrator Special Permit** to reduce the rear yard setback from 15 feet to nine feet for a 570 square foot addition to a single family house on 0.12 ± developed acres in the Standard Single Family (R-1) zone.

Location: 3701 57th Street (D5, Area 3)

Assessor's Parcel Number: 015-0272-013

Applicant: Brian Norwood  
PO Box 2303  
Orangevale, CA 95662

Property Owner: Susan Sanchez  
3701 57th St  
Sacramento, CA 95820

Project Planner: Sandra Yope

General Plan Designation: Low Density Residential (4-15 du/na)  
Existing Land Use of Site: Single Family Residence  
Existing Zoning of Site: Standard Single Family (R-1)

| Surrounding Land Use and Zoning:    | Setbacks  | Required | Existing | Proposed |
|-------------------------------------|-----------|----------|----------|----------|
| North: R-1; Single Family Residence | Front:    | 25'      | 25'      | 25'      |
| South: R-1; Single Family Residence | Side(N.): | 5'       | 5'       | 5'       |
| East: R-1; Single Family Residence  | Side(S.): | 5'       | 5'       | 5'       |
| West: R-1; Single Family Residence  | Rear:     | 15'      | 25'      | 9'       |

Property Dimensions: 60 feet x 86 feet  
Property Area: 0.11 ± acres  
Square Footage of Buildings: House: 1,040 square feet  
House Addition: 570 square feet

**Z02-175**

**September 26, 2002**

**ITEM 4**

|                              |                      |                   |
|------------------------------|----------------------|-------------------|
|                              | Total:               | 1,610 square feet |
| Height of Building:          | House:               | 1 Story, 12 feet  |
| Exterior Building Materials: | Stucco               |                   |
| Roof Materials:              | Composition Shingles |                   |
| Topography:                  | Flat                 |                   |
| Street Improvements:         | Existing             |                   |
| Utilities:                   | Existing             |                   |

Project Plans: See Exhibit A

Previous Files: None

Additional Information: The applicant is requesting a special permit to allow a proposed room addition to encroach into the required 15 foot rear yard setback. The applicant is proposing a 570 square foot addition to the rear of the existing house. There is a ten foot alley to the rear of the house; however, it is not a usable alley. Houses and structures are located in the alley area along other stretches of the alley way. The Zoning Code allows modifications to be made with a special permit to existing residences that enhance the desirability and vitality of an existing house in order to encourage the continued ownership and occupancy. The modifications allowed include reducing required setbacks. The applicant is requesting the special permit under those provisions.

The project was noticed and staff received no calls.

Environmental Determination: This project will not have a significant effect on the environment and is exempt from environmental review pursuant to State EIR Guidelines {California Environmental Quality Act, Sections 15305(a)}.

#### Conditions of Approval

1. The proposed addition shall conform to submitted plans.
2. The applicant shall obtain a building permit for the addition.
3. There shall be no further expansion of the house, porch, patio covers or any other attached structure into the rear yard setback area.
4. The addition shall match the existing house in exterior materials and color.

#### Findings of Fact:

1. The proposed project, as conditioned, is based upon sound principles of land use in that:
  - a. the proposed room addition will not substantially alter the characteristics of the

- site or the surrounding neighborhood; and
- b. the proposed structure is compatible in architecture with the existing residence.
2. Granting the request will not be injurious to public health, safety, or welfare nor result in a nuisance in that:
- a. there is adequate available yard area;
  - b. the addition to the existing residence adds vitality and desirability for the existing home to allow the present occupants to remain; and
  - c. the proposed room addition will not substantially alter the characteristics of the site or the surrounding neighborhood.
3. The project is consistent with the General Plan which designates the subject site as Low Density Residential (4-15 du/na).

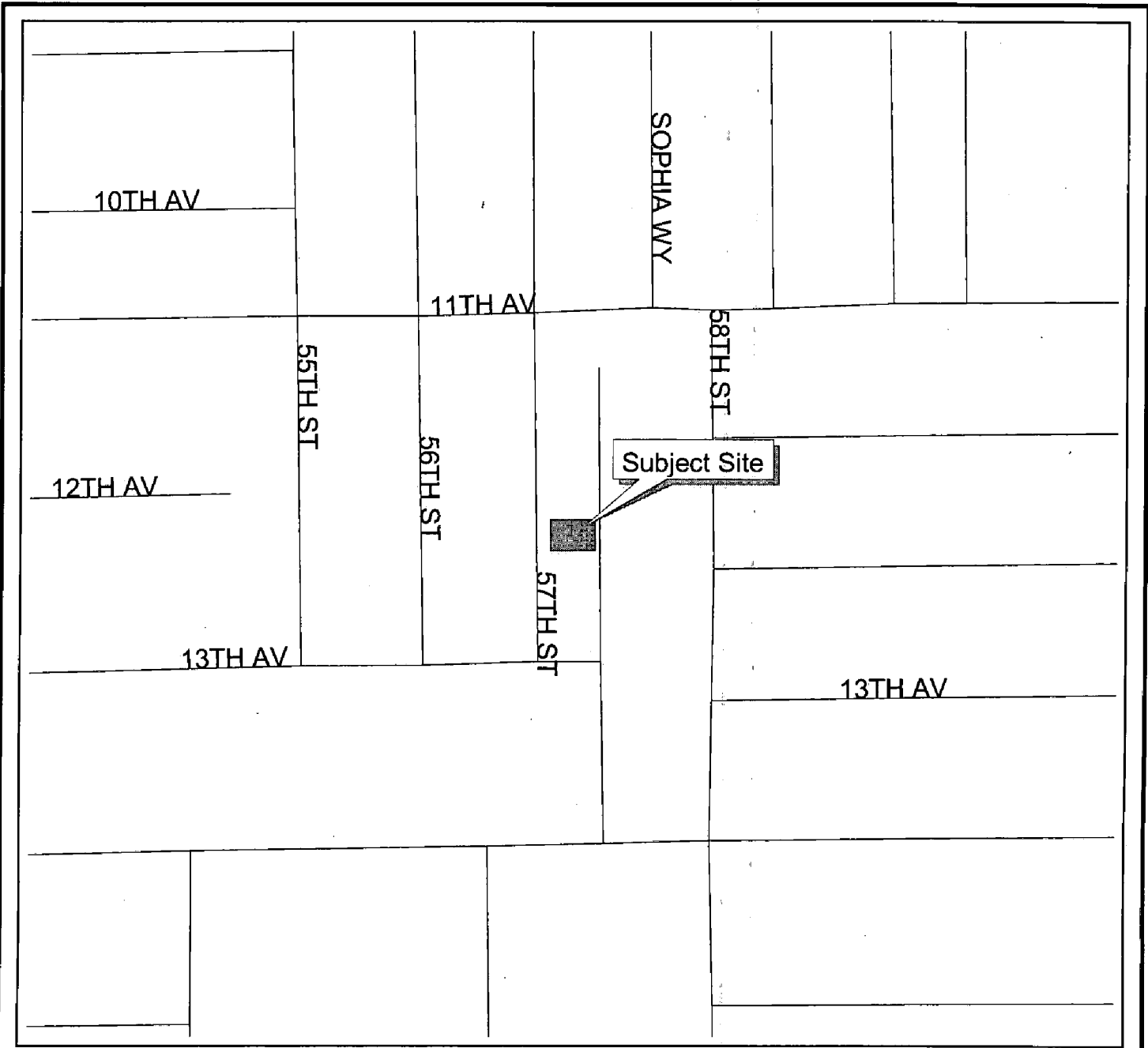


Joy D. Patterson  
Zoning Administrator

A use for which a Special Permit is granted must be established within two years after such permit is approved. If such use is not so established the Special Permit shall be deemed to have expired and shall be null and void. A Special Permit which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building permit is required, the use shall be deemed established when the activity permitted has been commenced.

The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

cc: File  
Applicant  
ZA Log Book

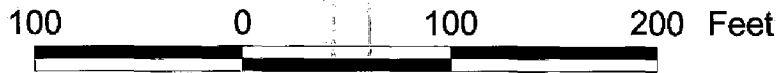
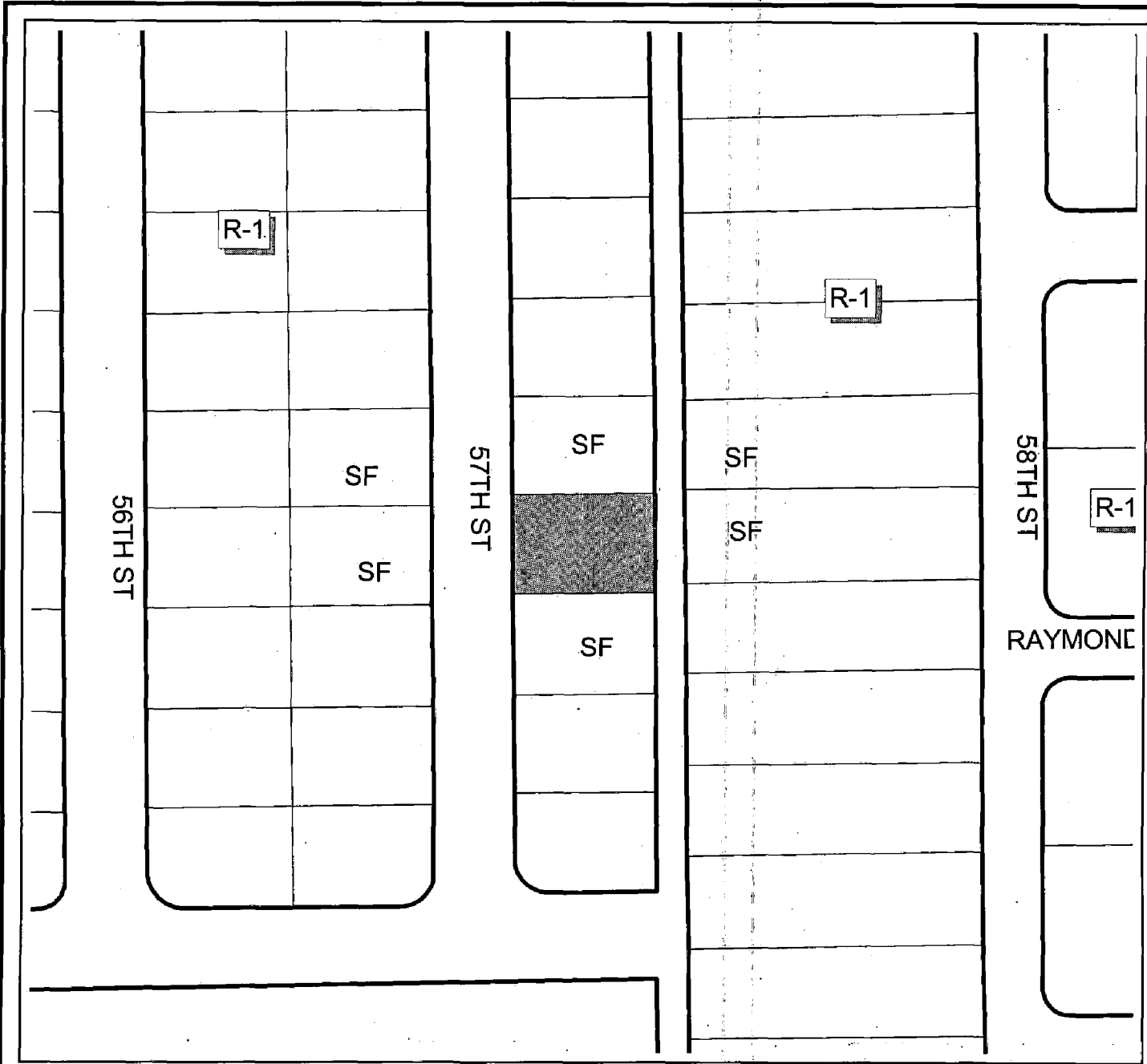


Planning And Building  
Department

Geographic  
Information  
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# VICINITY MAP





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Department

Geographic  
Information  
System

# LAND USE AND ZONING



202-175

September 26, 2002

DEMOLITION NOTES

1. The Contractor shall meet with the Owner prior to demolition to determine what items, if any, are to be salvaged and stored on site. The Contractor shall be responsible for all disposal of materials removed from the project.

2. The Contractor shall take all necessary precautions in protecting areas adjacent to new construction from noise, dust, vibration, and debris throughout the demolition process. The Contractor shall be responsible for the performance of the contract.

3. All floors and walls to receive new finishes shall be patched, repaired, or replaced as required, ready for installation of new finishes. The Contractor shall be responsible for the performance of the contract.

4. Prior to demolition, the Contractor shall inspect the site and determine all areas and items of demolition, contents and location of items to be salvaged. The Contractor shall be responsible for the performance of the contract.

5. The Contractor shall submit a Demolition Plan to the Architect and Owner for review and approval. The Demolition Plan shall include, but not be limited to, the following items:

6. Notes on Demolition Plan are general, unless for specific items, in which case they shall be noted as such.

7. Demolition to include removal of all existing materials and finishes as required to accomplish new work. Field verify.

8. Remove all plumbing fixtures as required. Cap all plumbing.

GENERAL NOTES

1. All construction and installation work shown on the drawings and specifications shall be made in accordance with all governing codes having jurisdiction over the project.

2. The Contractor shall visit and inspect the site, prior to construction, to make a full evaluation of all existing conditions.

3. The Contractor shall review the drawings and specifications to determine with existing building conditions. Any variances or discrepancies that arise from the above review are to be reported to the Architect immediately for resolution. Any such discrepancies in the drawings and field conditions not directed by the Architect shall become the responsibility of the Contractor and remedy as required by the Architect.

4. Throughout the performance of the contract, the Contractor shall have the relief of his responsibility to report to the Owner and Architect by reporting in sufficient and not the other. Furthermore, the Contractor shall not be permitted to discharge his responsibilities to either party through the other party.

5. All dimensions indicated "verify" are to be checked by the Contractor prior to construction. Any variance is to be reported to the Architect and the Owner for resolution.

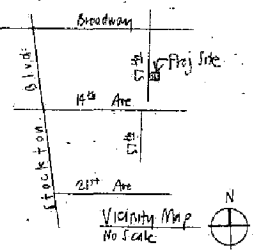
6. The Contractor is to provide shop drawings for all millwork, woodwork, cabinets and specialty items for the approval of the Architect. (Unless otherwise noted.)

List of Drawings

1. Site/Roof Floor Plans, Notes
2. Foundation Floor, Roof Framing Plans, Notes, Details
3. Demolition Plan, Notes
4. Electrical Plan, Notes
5. Mechanical Plan, Notes
6. Plumbing Plan, Notes
7. The Contractor shall provide samples of all finish materials and millwork to the Architect for approval prior to construction, unless otherwise noted.
8. Manufacturer's materials and equipment shall be installed according to manufacturer's recommendations and instructions, Notes, Details.
9. Substitutions, revisions, or changes may be allowed only if such items are submitted to the Architect in a timely manner to allow time to order delay in the work. All substitutions must be of equal or better quality in design and performance. The Contractor is liable for replacement, repair and delays caused by the identification of substitution of any item for this project. The Architect reserves the right to reject any substitution for any reason.
10. The Contractor shall supply all necessary blocking, studs, joists for the installation of wall hanging cabinets, shelving, vanities, mounted mirrors, towel bars, hooks, and shower curtain where indicated.
11. Written dimensions always take precedence over scaled dimensions. Do not scale drawings to determine dimensions.
12. All dimensions shown on plan are to face of stud unless otherwise noted.
13. Details shown are typical. Similar details apply in similar conditions.

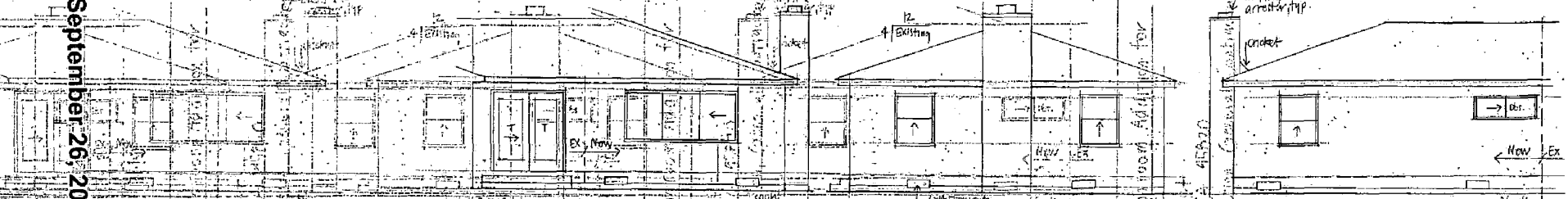
List of Drawings

1. Site/Roof Floor Plans, Notes
2. Foundation Floor, Roof Framing Plans, Notes, Details



DCA  
Rev \_\_\_\_\_ Date \_\_\_\_\_

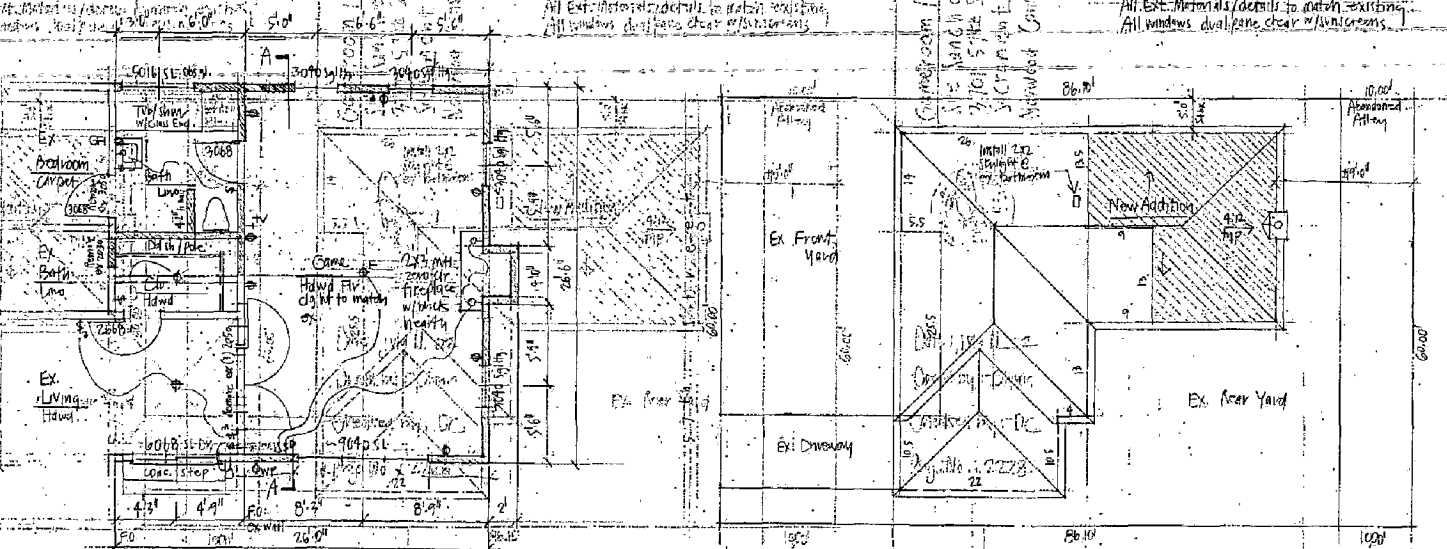
EXTERIOR ELEVATIONS



WALL LEGEND  
 (B) WALL TO REMAIN  
 (N) 2 x 4 STD WALL - 9/16" DC FINISH  
 INTERIOR/EXTERIOR SURFACES TO MATCH EXISTING  
 (S) SHEETROCK ALL INTERIOR WALLS

ELECTRICAL LEGEND

- SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- SWITCH W/DIMMER
- DUPLICATION OUTLET
- SWITCHED OUTLET
- 20 OUTLET
- WEATHER PROOF OUTLET
- (GFI) GROUND FAULT OUTLET
- DUPLICATION OUTLET ABOVE COUNTER
- TYPICAL 6" ABOVE COUNTER UNDER
- FOUR PLEX OUTLET
- FLOOR OUTLET
- RECESSED INCANDESCENT LIGHT
- FLOURESCENT LIGHT
- FLOURESCENT TASK LIGHT MOUNTED TO UNDERSIDE OF CABINETS
- EXHAUST FAN
- PENDENT LIGHT
- PHONE JACK
- BRACKET MOUNTED LIGHT
- PHONE JACK
- COAX CABLE
- CEILING FAN



Floor Plan 1/4" = 1'-0"

Site/Roof Plan 1/4" = 1'-0"

Game room / bath room Addition for  
 Sve Jandine  
 2701 57th Street  
 Sacramento, CA 95820  
 Nonwood Construction Contractor



Date: 9/26/02  
 Drawn by: GMM  
 Checked by: DC  
 Proj. No.: 2228