

PLANNING DIRECTOR'S SPECIAL PERMIT
1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	<u>Brian Mahaney, 3006 17th Street, Sacramento, California 95818</u>			
OWNER	<u>Brian Mahaney, 3006 17th Street, Sacramento, California 95818</u>			
PLANS BY	<u>Brian Mahaney, 3006 17th Street, Sacramento, California 95818</u>			
FILING DATE	<u>May 14, 1991</u>	ENVIR. DET.	<u>Negative Declaration</u>	REPORT BY CG:
ASSESSOR'S PCL. NO.	<u>012-0221-008</u>			

- APPLICATION:
- A. Negative Declaration.
 - B. Planning Director's Special Permit to expand a non-conforming structure with a three foot side yard on 0.11± developed acres in the Standard Single Family Residential (R-1) zone.

LOCATION: 3006 17th Street

PROPOSAL: The applicant is requesting the necessary entitlements to add a second story to an existing home a three foot side yard setback.

PROJECT INFORMATION:

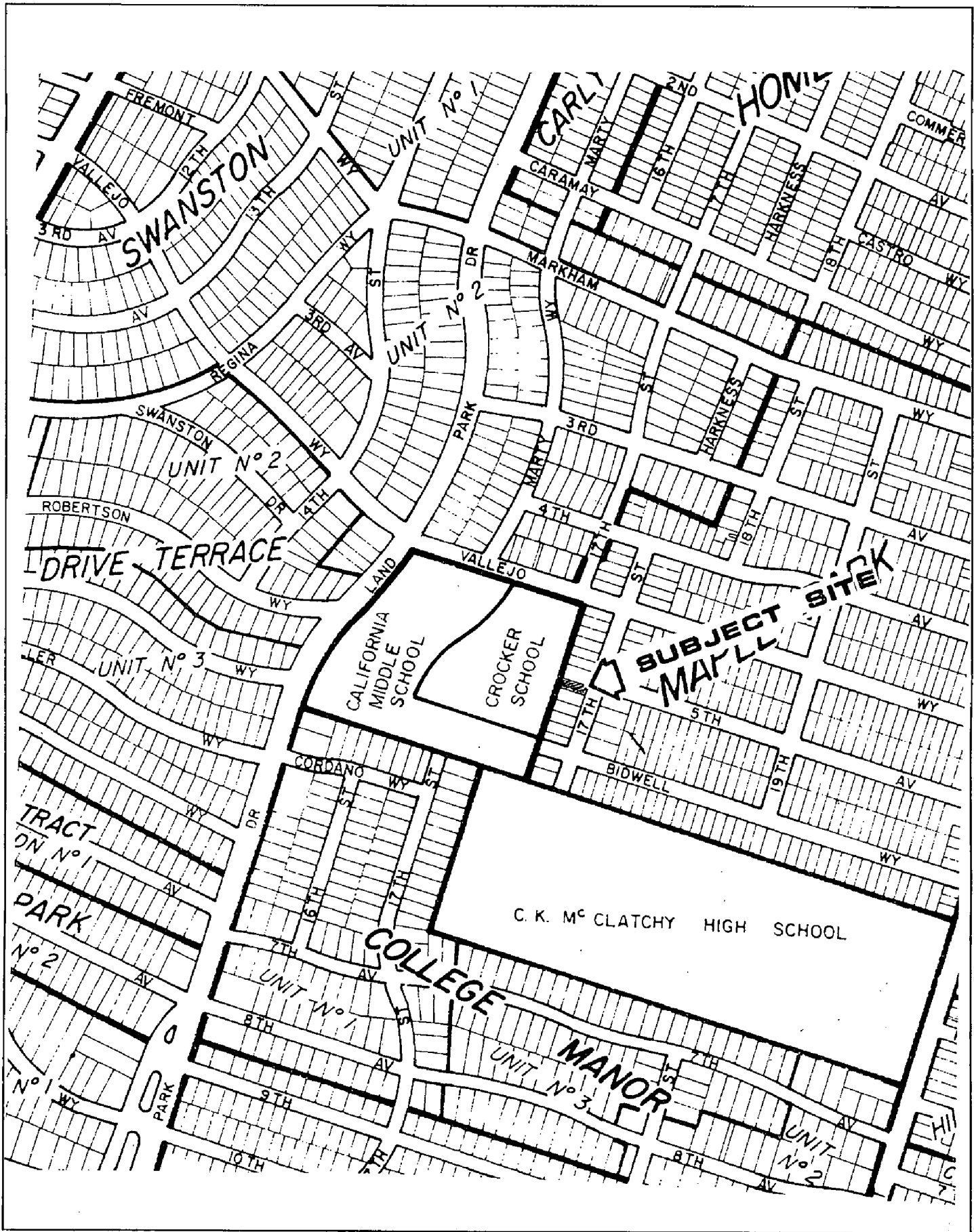
General Plan Designation: Low Density Residential (4-15 du/na)
Existing Zoning of Site: R-1
Existing Land Use of Site: Single Family Residential

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Single Family; R-1	Front:	25'	25'-6"
South: Single Family; R-1	Side(North):	5'	8'
East: Single Family; R-1	Side(South):	5'	3'
West: School; R-1	Rear:	15'	42'

Property Dimensions: 40' x 125'
Property Area: 0.11± acres
Existing Square Footage of House: 2,030± square feet
Proposed Square Footage of Addition: 790± square feet
Total Square Footage: 2,120± square feet
Height of Building: 30 feet, two stories
Topography: Flat
Street Improvements: Existing
Utilities: Existing
Exterior Building Materials: Stucco
Roof Material: Composition

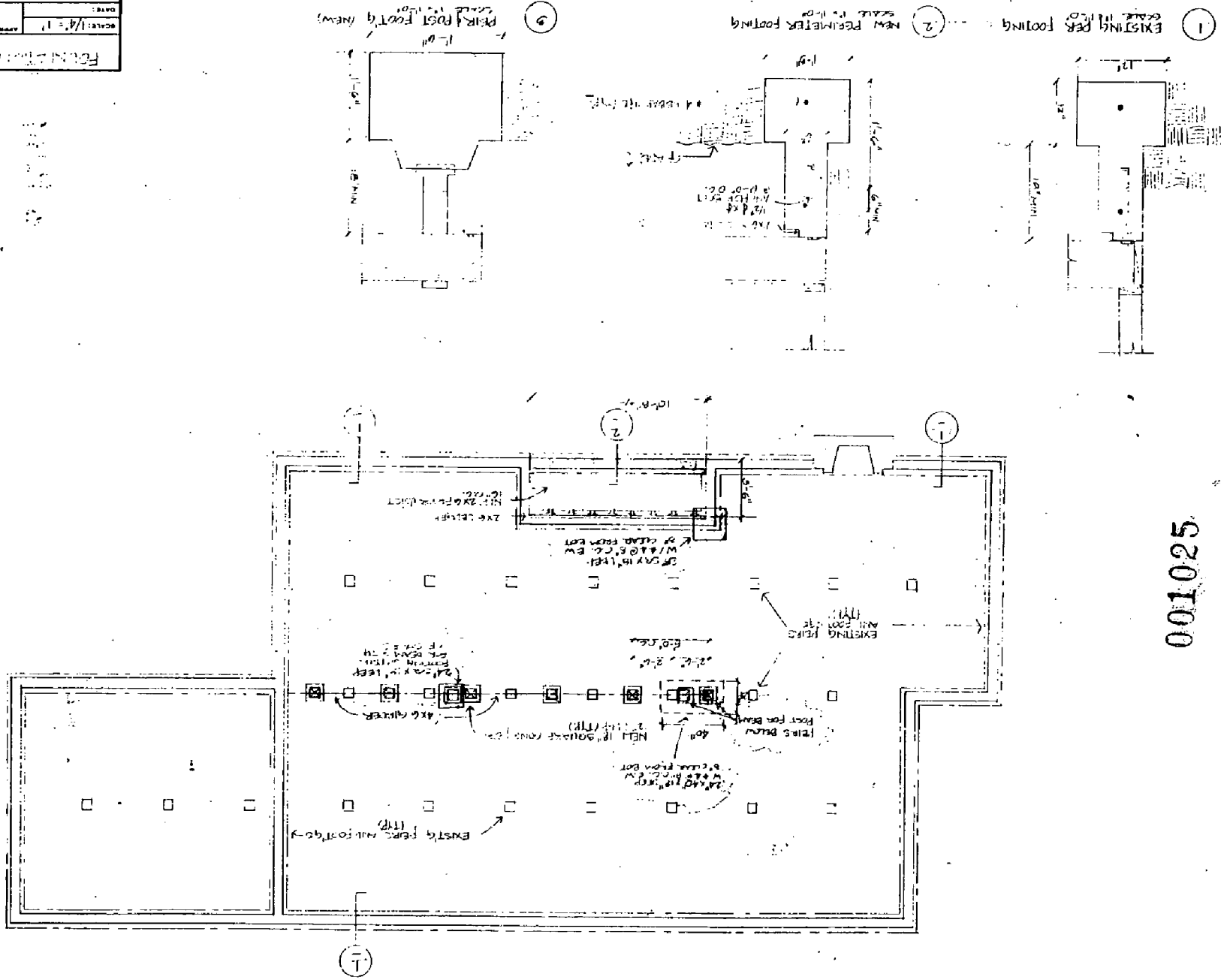
APPLICATION NO. P91-115

001019



VICINITY MAP

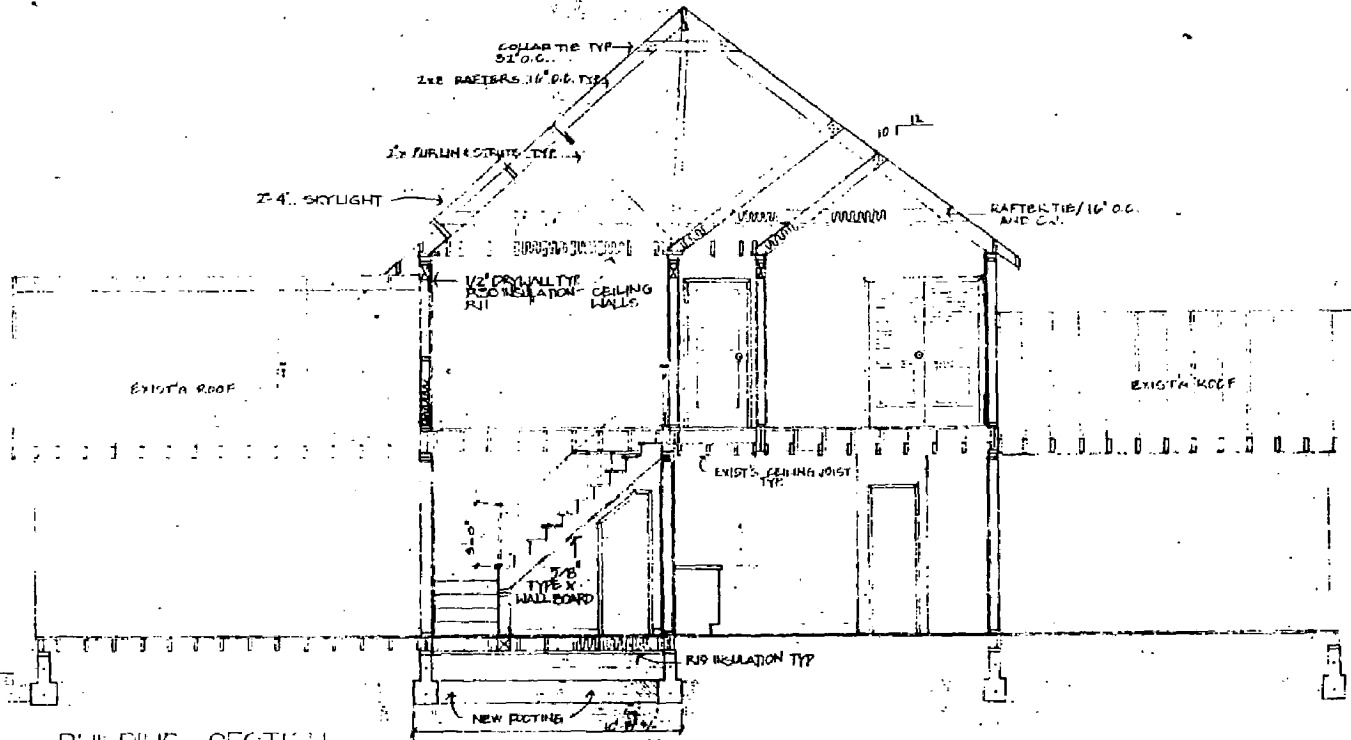
DRAWING NUMBER A-7	
DATE:	
SCALE: 1/4" = 1'	APPROVED BY:
DRAWN BY: AJN	REVIEWED:
FOUNDATION PLAN & DETAILS	



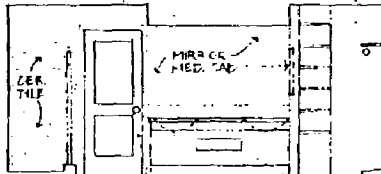
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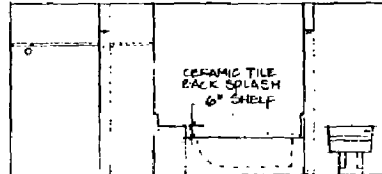
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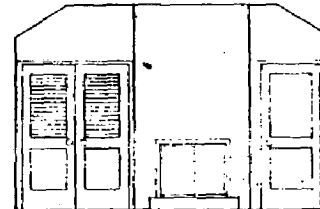
BUILDING SECTION



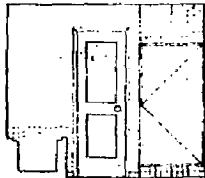
MASTER BATH



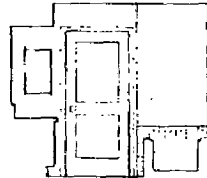
M. BATH



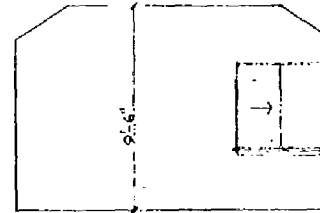
MASTER BEDROOM FIREPLACE



MASTER BATH



M. BATH



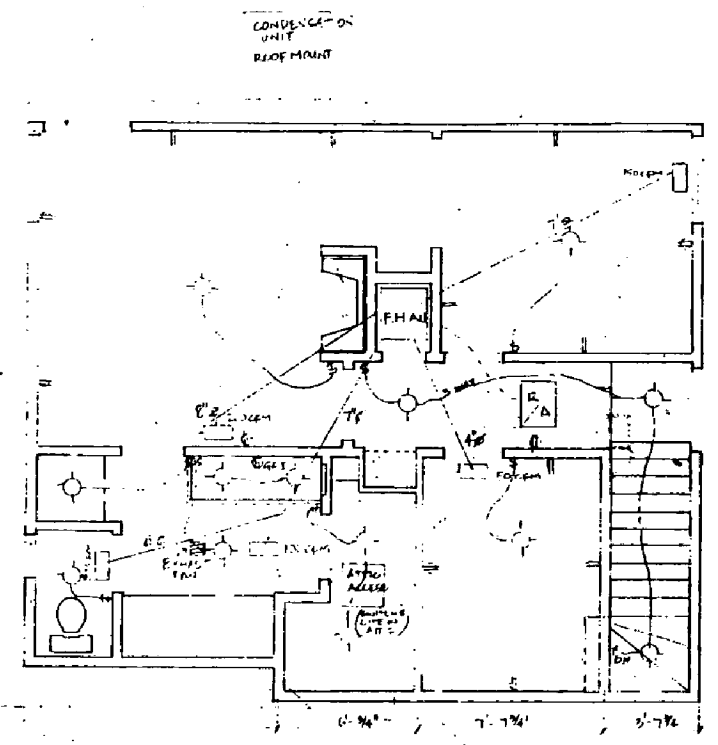
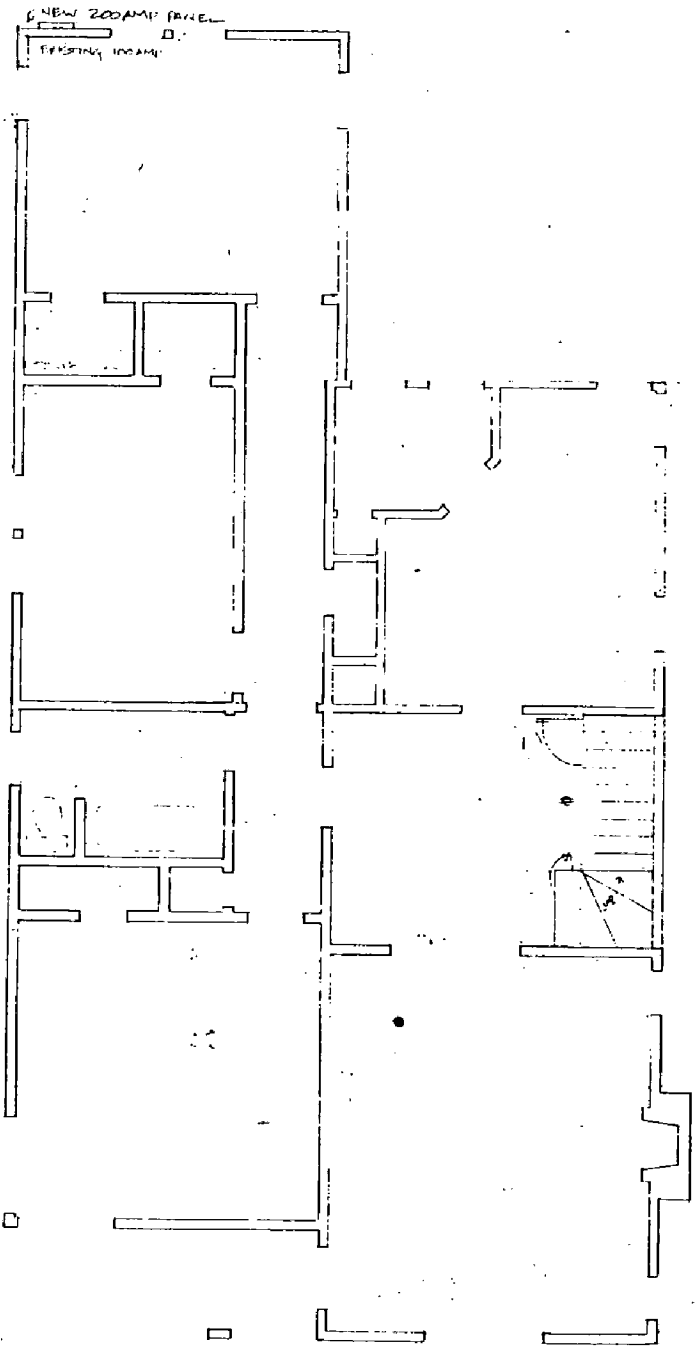
MASTER BEDROOM

BUILDING SECTION & INT. ELEVATIONS

SCALE: 1/4" = 1'	APPROVED BY:	DRAWN BY: AJN
DATE:		REVISED:
DRAWING NUMBER		A-4

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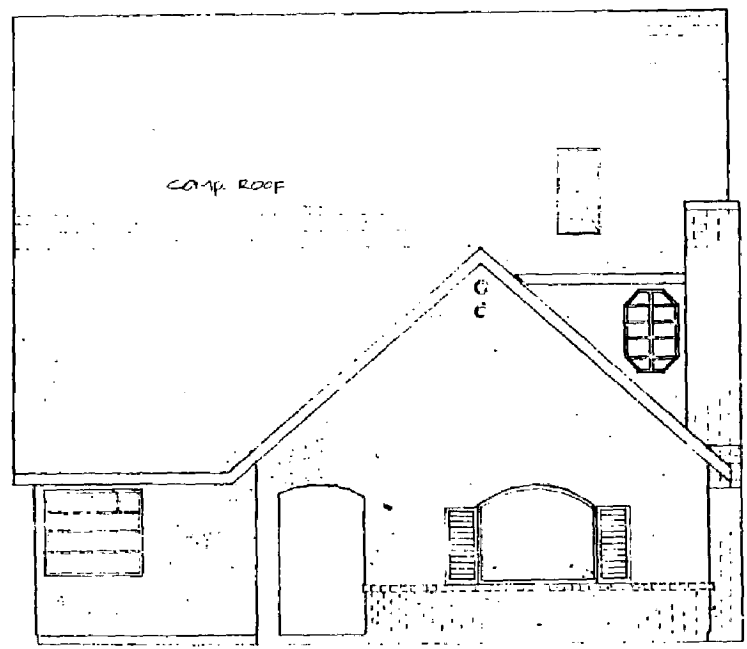


MECHANICAL & ELECTRICAL PLAN
1/4" = 1'-0"

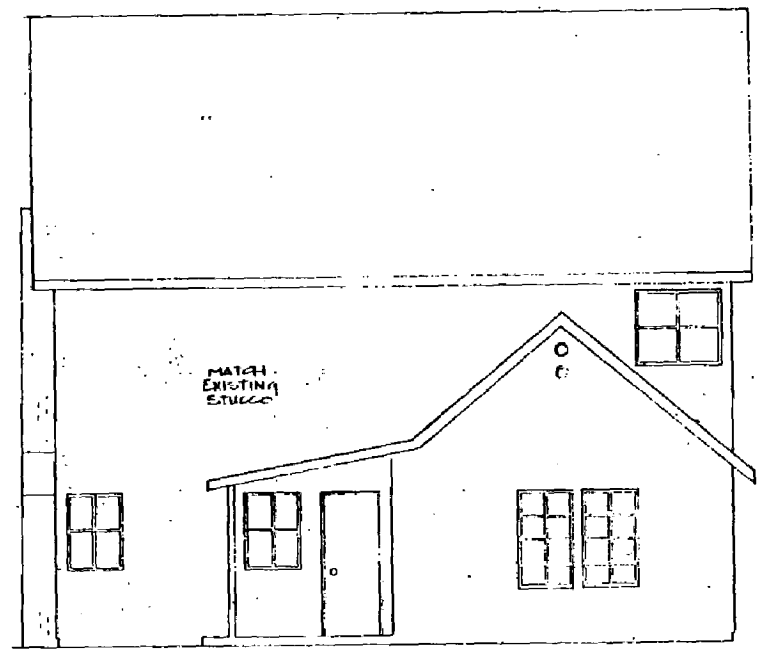
M/E B

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EAST

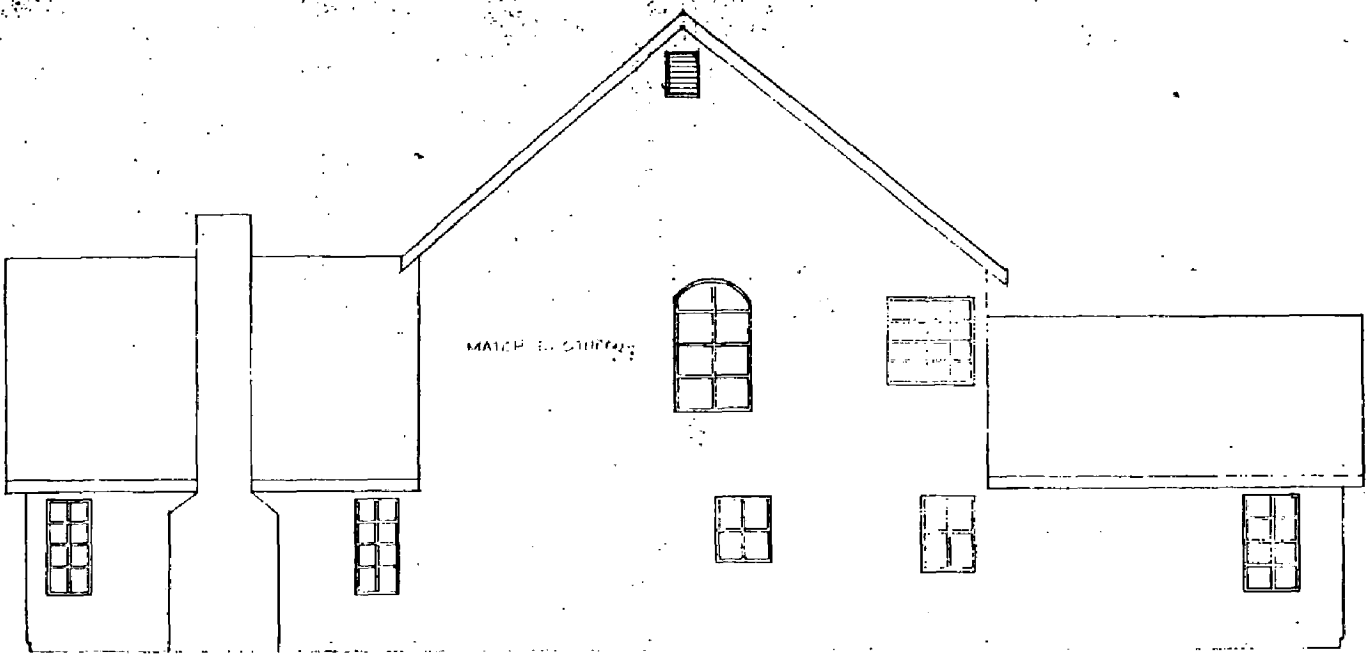


WEST

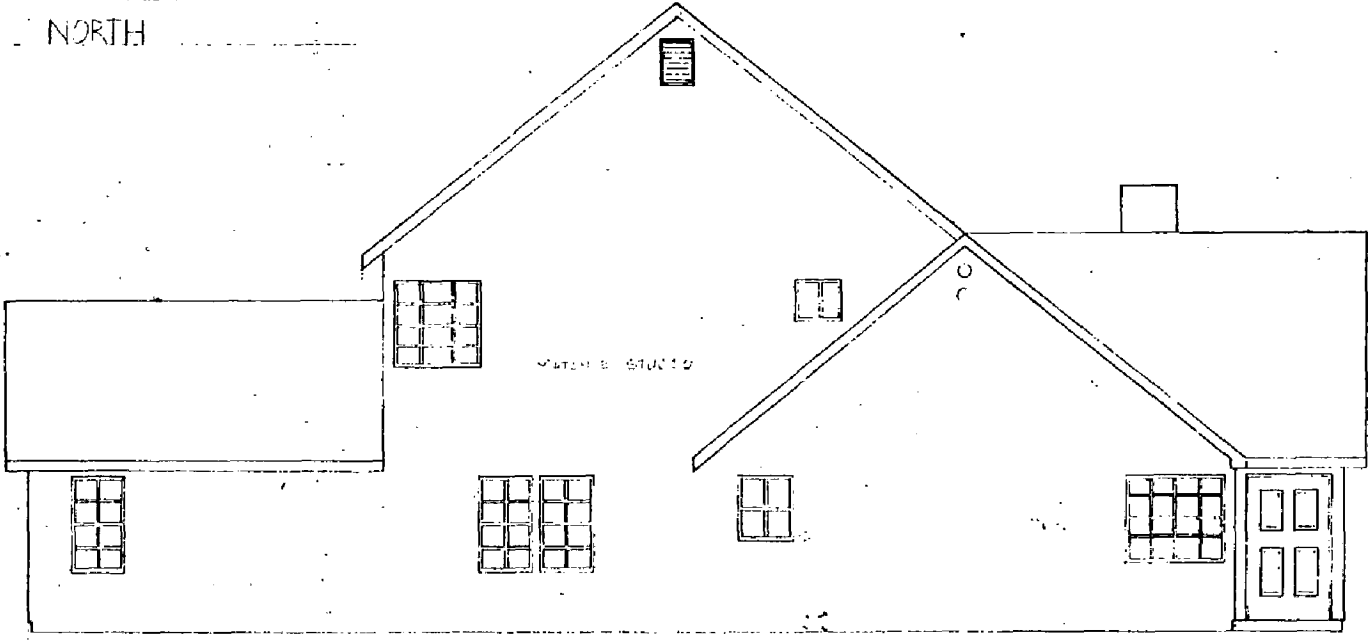
BUILDING ELEVATION - EAST - WEST			
SCALE: 1/4" = 1'	APPROVED BY:	DRAWN BY: AJN	
DATE: 1-17-91		REVIEWED:	
			DRAWING NUMBER
			A-5

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NORTH



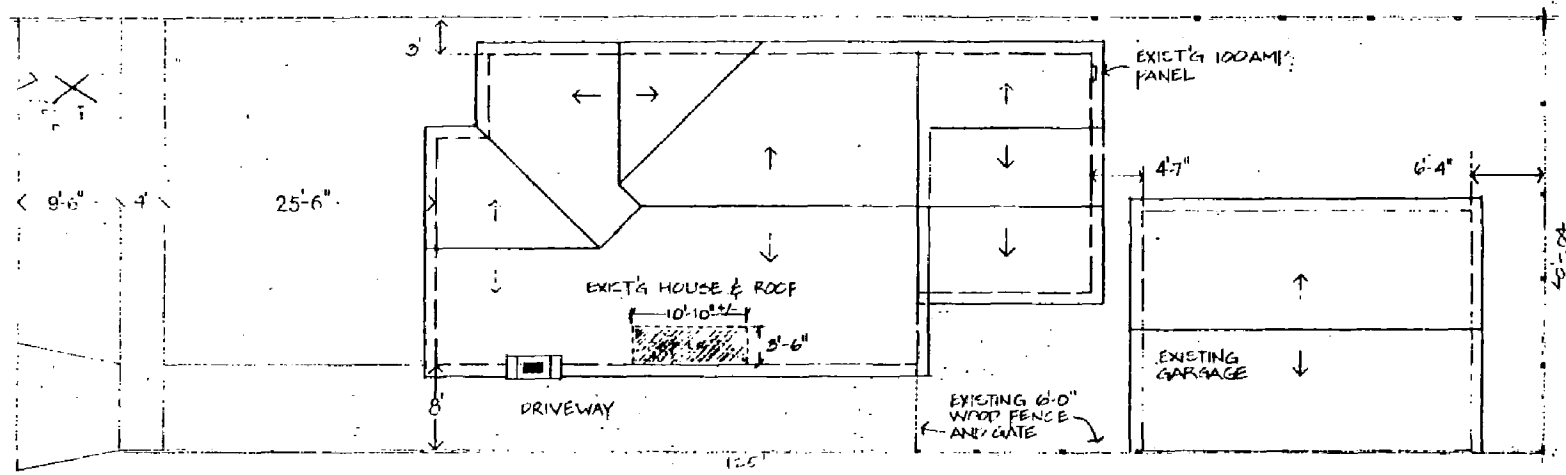
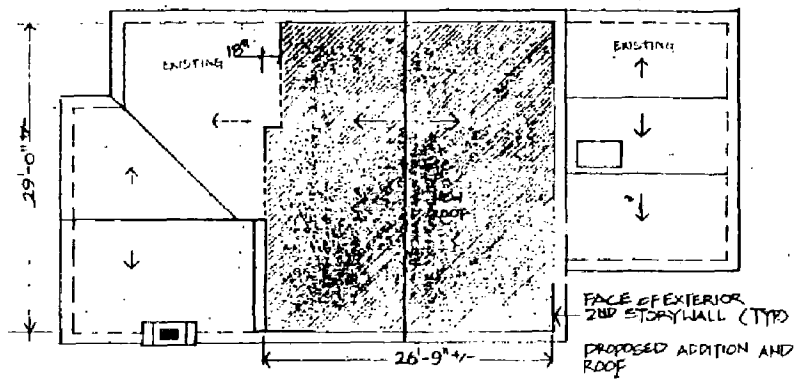
SOUTH

BUILDING ELEVATION - NORTH-SOUTH		
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DATE: 1-17-91		REVISED:
		DRAWING NUMBER: A-6

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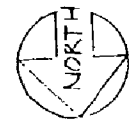
001022

3006 17TH ST



PLOT PLAN

SCALE: 1/8" = 1'-0"



PROPOSED ADDITION: SHADED AREA

SCALE: AS NOTED	APPROVED BY:	DRAWN BY: DJN
DATE: 12/17/05		REVISED
DRAWING NUMBER		A-2

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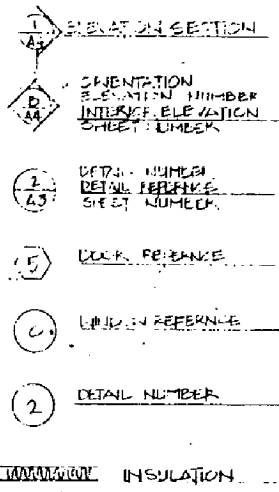
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MAHANNEY RESIDENCE

3006 17TH STREET

DOOR SCHEDULE				LEGEND	GENERAL NOTES	SHEET INDEX
MARK	SIZE	TYPE	REMARKS			
1	28 x 68 x 1 3/8"	PANEL				
2	28 x 68 x 1 3/8"	PANEL				
3	28 x 68 x 1 3/8"	HALF LEAFER, PAIR				
4	28 x 68 x 1 3/8"	PANEL				
5	35 x 68 PANEL	PANEL	CAL. LIP OF C.			

WINDOW SCHEDULE			
MARK	SIZE	TYPE	REMARKS
A	28 x 28	XO	
B	48 x 48	XO	
C	48 x 68	FIXED	ANCHOR
D	28 x 30	FIXED	OR SIGNAL
E	28 x 48	SLATE	



1. ALL WORK PERFORMED UNDER THESE DRAWINGS AND SPECIFICATIONS SHALL COMPLY WITH THE CITY AND CO. SET FORTH IN THE LATEST EDITION OF THE UNIFORM BUILDING CODE AS AMENDED BY THE CITY OF SACRAMENTO, CA.

2. OWNER TO PAY FOR PLAN CHECK FEE AND BUILDING PERMIT.

EXIST'G : 1520 SF
 NEW ADD: 790 SF
 TOTAL : 2310 SF

255 SF. NEW WINDOW AREA

A 1. LOCK & WINDOW SCHEDULES, LEGEND, NOTES, INDEX.

A 2. FLOOR PLAN

A 3. SECOND LEVEL FLOOR PLAN

A 4. ELEVATION SECTION & INTERIOR ELEVATIONS

A 5. ELEVATION ELEVATION EAST WEST

A 6. ELEVATION ELEVATION NORTH SOUTH

A 7. FOUNDATION PLAN & DETAILS

M 8. MECHANICAL

E 8. ELECTRICAL

ATTACHED: TITLE 24 STRUCTURAL CALCULATIONS.

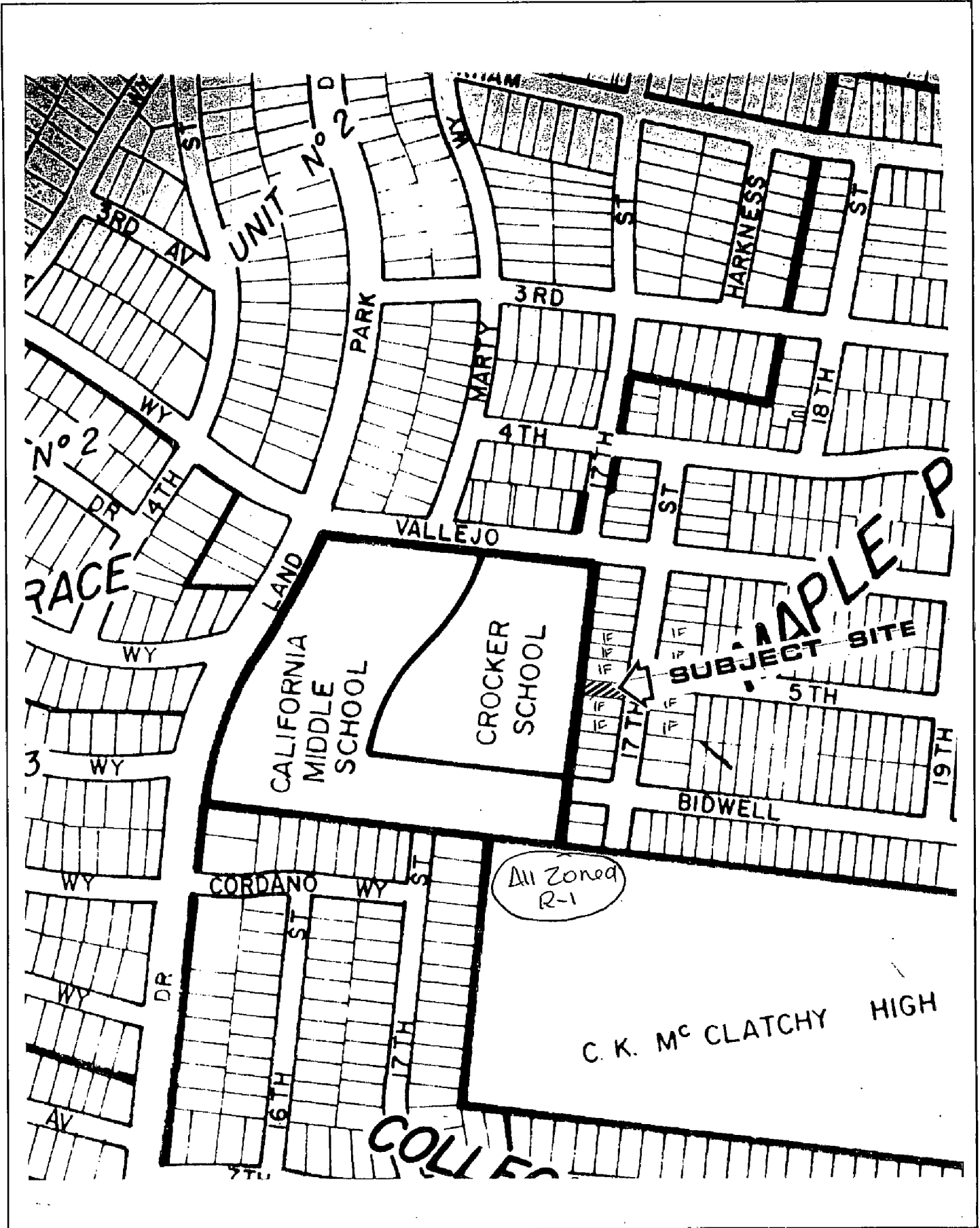
2ND FLOOR ADDITION

SCALE: N/A APPROVED BY: _____ DRAWN BY: **AIN**

DATE: _____ REVIEWED: _____

DOOR, WINDOW SCHEDULE, LEGEND, GENERAL NOTES, SHEET INDEX

DRAWING NUMBER: **A-1**



001020

LAND USE & ZONING MAP