

CITY OF SACRAMENTO

Permit No: 9801464

1231 I Street, Sacramento, CA 95814

Insp Area: 1

Site Address: 1016 K ST SAC

Sub-Type: ACOM

Parcel No: 0060104004

Housing (Y/N): N

CONTRACTOR

VANS CONSTRUCTION
1325 DOWNIEVILLE DR
EL DORADO HILLS CA
Phone:

95762

OWNER

HUGHES GORDON B
1046 46TH ST
SACRAMENTO CA
Phone:

95819

ARCHITECT

Phone:

Nature of Work: INT REMODEL RETAIL SPACE

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 694759 Date 3-24-98 Contractor Signature Paul Van Orman

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

Date 3-24-98 Applicant/Agent Signature Paul Van Orman

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

~~I~~ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier STATE Fund Policy Number 012648-97

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 3-24-98 Applicant Signature Paul Van Orman

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

CITY OF SACRAMENTO
APPLICATION FOR BUILDING PERMIT
DEPARTMENT OF PLANNING AND DEVELOPMENT
BUILDING INSPECTION DIVISION

98-01464

1231 I Street, Room 200
Sacramento, CA 95814
(916) 264-7619 FAX 264-7046

Worker's Comp Policy #

Company

Exp. Date

ADDRESS 116 R St P.C. # 5824x
 PARCEL # 006-0104-003 SUITE # _____
AREA # 1C

CONTACT LICENSED CONTRACTOR Lic# _____
NAME John J. ... NAME Lins Construction
ADDRESS 1925 ... ADDRESS 1325 ...
PHONE ... PHONE (916) 933-4563

ARCH./ENG. OWNER
NAME ... NAME Tom Houghs
ADDRESS 1195 ... ADDRESS 1096 ...
PHONE ... PHONE (916) 434-3738

WILL THE PERMITEE HAVE ANY EMPLOYEE'S ON THE JOBSITE? YES NO
 NATURE OF WORK IN DETAIL: REMODEL

D.B.A. Capital Clothing VALUATION ...
BELOW THIS LINE FOR BLDG. DEPT. USE ONLY

FLOOD STATUS Cost S.C.A.T. _____

JOB DESCR. BLDG SHEL APT TI() REM ~~SW~~ FIRE ADD OTH
ENSP. DISCIPLINES BLDG MECH PLUMB ELEC SITE FIRE

# OF STORIES	AREA 1ST FL.	TOTAL AREA	OCCUP. GROUP	CONST. TYPE	FIRE SPRINK.	FIRE ALARM	FED CODE	VIO. FILE
			<u>M</u>		<u>N</u>	<u>N</u>	<u>18</u>	<u>OK</u>
	<u>L</u>	<u>P</u>	<u>M</u>	<u>E</u>	<u>F</u>	<u>S</u>	<u>D</u>	<u>R</u>

COMMENTS: _____

Planning Division COMMERCIAL PRELIMINARY Information Request

BUILDING CHECK ONE:

Over the counter review and issue permit _____
 Will be taken in and reviewed for site conditions _____
 Will be taken in but not reviewed for site conditions _____
 Information only, pre-submittal information _____

Customer Name: Vans Coast, Phone Number: _____

Project address: 1016 K ST.

APN: 006-0104-004 Current site use: Retail

INITIAL

Need to verify APN, Proposed Site use: _____

Describe what is being requested: APPROVAL & COMMENTS

Retail .. remodel

Requested by: WT Date: 2/26/98

Zone C-2 Overlay / SPD / PUD / R-review _____

Planning staff Review required _____
 Planning Hearing required _____
 Design Review required _____
 No Planning Issues _____
 Counter ok review by site cond. _____

Prior Applications on site P# _____ Z# _____

DR# _____ PB# _____ IR# _____

Comments: Any exterior remodel
reqs Design Review
approval (none proposed)

Planning review by: WT Date: 2/26/98

MUST BE REVIEWED BY PLANNING

Care Facilities	Anything Residential	Restaurants
Churches	Day care	Sidewalk Cafe
Drive-through	Lot Line adjustments	
Medical Offices	Bars	

Security cars
 CELLULAR COMMUNICATION FACILITIES

**SMUD**SACRAMENTO MUNICIPAL UTILITY DISTRICT 6201 S Street, P.O. Box 15830, Sacramento, CA 95852-1830, (916) 452-3277
AN ELECTRIC UTILITY SERVING THE HEART OF CALIFORNIA

March 3, 1998

B & B ELECTRIC
ATTENTION: BRIAN

W.A. #58128

SMUD COMMITMENT LETTER

Thank you for submitting your plans for 1016 K ST for an electric service commitment. Your cooperation enables us to give you the best service possible, as well as provide for your future requirements.

We are returning one copy of your plans indicating the service location and other requirements checked below. Our commitment is subject to changing conditions and as a result, may not be valid after twelve months.

Please contact the Estimator if additional information is desired.

Estimator: Dave Smith *Dave Smith*

Telephone (916) 732-5776

Service will be: Overhead Underground
Volts: 120/208 Phase: 3 Wire: 4 Type: STAR

(Street light service voltage will be the same as above.)

Transformer pad required:	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	SMUD Dwg. _____
Conduit required:	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	(see sketch)
Right-of-way required:	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
Transformer protection required:	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	see sketch and SMUD Dwg. _____
Primary pull box required:	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Number: SMUD Dwg. _____
Service box required:	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Number: SMUD Dwg. _____
Switchgear pad required:	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Number: SMUD Dwg. _____
Street light service box required:	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	(see sketch)
Other requirements:	See enclosed	Booklet <input type="checkbox"/>	Prints <input type="checkbox"/> N/A

*A maximum fault current of 125,000 amps symmetrical is based on the largest transformer that could be needed to serve the Single Combined main sizes of 200 amps.

Metering will be outside, if possible. If in a meter room, door must be keyed for SMUD key. Contact the Estimator for details.

*If future load growth necessitates increasing the main switch size, the available fault current should be recalculated.

NOTE: This commitment letter may be required by local inspection authority as part of its plan check requirements.

**SMUD**SACRAMENTO MUNICIPAL UTILITY DISTRICT 16201 S Street, P.O. Box 15830, Sacramento, CA 95852-1830 (916) 452-3211
AN ELECTRIC SYSTEM SERVING THE HEART OF CALIFORNIA

March 3, 1998

B & B ELECTRIC
ATTENTION: BRIAN

W.A. #58128

SMUD COMMITMENT LETTER

Thank you for submitting your plans for 1016 K ST for an electric service commitment. Your cooperation enables us to give you the best service possible, as well as provide for your future requirements.

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Estimator: Dave Smith *Dave Smith*

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Conduit required:	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	(see sketch)
Right-of-way required:	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
Transformer protection required:	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	see sketch and SMUD Dwg. _____
Primary pull box required:	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Number: SMUD Dwg. _____
Service box required:	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Number: SMUD Dwg. _____
Switchgear pad required:	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Number: SMUD Dwg. _____
Street light service box required:	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	(see sketch)

Other requirements: See enclosed Booklet Prints N/A

*A maximum fault current of 125,000 amps symmetrical is based on the largest transformer that could be needed to serve the Single Combined main sizes of 200 amps.

Metering will be outside, if possible. If in a meter room, door must be keyed for SMUD key. Contact the Estimator for details.

*If future load growth necessitates increasing the main switch size, the available fault current should be recalculated.

NOTE: This commitment letter may be required by local inspection authority as part of its plan check requirements.

5824
98-01
5824X
1016 K ST

CITY OF SACRAMENTO
DEVELOPMENT SERVICES DIVISION

EXPRESS PLAN REVIEW

DATES					
1ST REVIEW		RECHECK		2ND RECHECK	
IN	OUT	IN	OUT	IN	OUT
2/26/98	1/1	3/17/98	1/1	1/1	1/1

PLAN CHECK NO.	5842x	COMM	RES.
CONTACT PERSON:	Vans Const.	PHONE:	933-4563
PROJECT ADDRESS:	1016 K ST	FAX:	933-6184
DESCRIPTION OF WORK:	Retail Remodel		

DISCIPLINE	1ST REVIEW			RECHECK			2ND RECHECK		
	EPR	OC	APPR	EPR	OC	APPR	EPR	OC	APPR
LIFE SAFETY	EYL 2/27/98				EYL 3/20/98				EYL 3/20/98
STRUCTURAL									
MECHANICAL/PLUMBING			2/10/98 BA						
ELECTRICAL			2-27-98 JH						
FIRE	2/27 EF					3/20/98 EF			
PLANNING									

Legend:
EPR = OK for Express Plan Review
OC = OK for Over the Counter Recheck
APPR = Approved as submitted

CITY OF SACRAMENTO
BUILDING INSPECTION DIVISION
APPLICATION FOR BUILDING PERMIT - HAZARDOUS MATERIAL SURVEY

As Required by Assembly Bill #3205 - A Building Permit Cannot be Approved Without This Completed Form

1. Business Name: CAPITOL Clothing Co. Phone: 916-444-3454
Site Address: 1116 K ST Suite: _____
(Street) Business Owner/Representative: PAUL VAN CUMMEN (Zip) 916 Phone: 9334563
Nature of Business: Clothing
Property Owner Hughes Thomas Phone: 454-3738
Address: 1046 46th ST SACRAMENTO CA. Suite: _____
(Street) SACRAMENTO CA (City) (State) (Zip)

2. Are you developing an undetermined tenant space? Yes ___ No X Is this permit for a shell building? Yes ___ No X

Notify lessee of the responsibility to coordinate with the Fire Department regarding the use and handling of hazardous materials.

3. Does/Will your business generate hazardous waste? Yes ___ No X
4. Does/Will your business handle, store or transport any solid, liquid, or gaseous chemicals? Yes ___ No X

CONSULT THE EPA CHEMICAL LIST LOCATED AT THE BUILDING DIVISION COUNTER FOR HAZARDOUS OR ACUTELY HAZARDOUS MATERIALS TO COMPLETE THE FOLLOWING QUESTIONS.

If you answered "YES" to questions #3 and/or #4 above, continue on to questions 5 - 8.

5. Do you handle, store, or transport 55 gallons, 500 pounds, or 200 cubic feet (at Standard Temperature or Pressure) of a product or formulation containing hazardous materials at any one time? Yes ___ No ___
6. Do you handle, store or transport any amount of acutely hazardous materials? Yes ___ No ___
7. Is/Will your business be located within 1,000 feet of a school? Yes ___ No ___

If you answered "yes" to questions #6 and/or #7, complete the RMPP informational sheet.

8. Is/Will your business be located within 1,000 feet of a hospital, and/or long-term healthcare facility? Yes ___ No ___

IF YOU ANSWERED "YES" TO QUESTION #3 AND/OR #4, PLEASE CONTACT THE CITY OF SACRAMENTO FIRE DEPARTMENT LOCATED AT 1231 I STREET, SUITE 401, SACRAMENTO, CA OR CALL 449-5416.

Prior to issuance of a certificate of occupancy, each business owner(s) shall contact the City of Sacramento Fire Department and comply with the Health and Safety Code regarding the use and handling of hazardous materials.

PENALTY: Any business that violates Section 25531-25541 of the Health and Safety Code shall be civilly liable to the administering agency in an amount of not more than two thousand dollars (\$2,000) for each day in which the violation occurs. If the violation results in, or significantly contributes to, an emergency, including a fire, the business shall also be assessed the full cost of the city emergency response, as well as the cost of cleaning up and disposing of the hazardous materials. Additional liability and punishment may be assessed for knowing a violation after reasonable notice of the violation.

Applicant's Name: PAUL VAN CUMMEN
(Print)
Paul van Cummen 3-24-98
(Signature) (Date)

BID Use Only: Plan Ck# <u>5824</u> Permit # <u>98-01464</u>
OK to issue permit <u>APR 3-25-98</u> F.D. Appr Req'd? Yes <u>(No)</u> init date
Hold on Certificate of Occupancy? Yes <u>(No)</u>
Fire Dept. Use Only: OK to issue permit? init ___ date ___ OK to issue Certificate of Occupancy? init ___ date ___

rating of one hour for openings through one-hour fire-resistive walls and one and one-half hours for openings through two-hour fire-resistive walls.

EXCEPTIONS: 1. Openings to the exterior may be unprotected when permitted by Table 5-A.

2. Openings protected by through-penetration fire stops to provide the same degree of fire resistance as the shaft enclosure. See Sections 709 and 710.

Openings in shaft enclosures penetrating smoke barriers shall be further protected by smoke dampers conforming with approved recognized standards. See Chapter 35, Part III.

EXCEPTIONS: 1. Exhaust-only openings serving continuously operating fans and protected using the provisions of Chapter 9.

2. Smoke dampers are not required when their operation would interfere with the function of a smoke-control system.

711.5 Rubbish and Linen Chute Termination Rooms. In other than Group R, Division 3 Occupancies, rubbish and linen chutes shall terminate in rooms separated from the remainder of the building by an occupancy separation having the same fire resistance as required for the shaft enclosure, but not less than one hour. Openings into chutes and chute termination rooms shall not be located in exit corridors or stairways. For sprinklers, see Section 904.2.2.

711.6 Chute and Dumbwaiter Shafts. In buildings of Type V construction, chutes and dumbwaiter shafts with a cross-sectional area of not more than 9 square feet (0.84 m²) may be either of approved fire-resistive wall construction or may have the inside layers of the approved fire-resistive assembly replaced by a lining of not less than 0.019-inch (0.48 mm) No. 26 galvanized sheet gage metal with all joints locklapped. The outside layers of the wall shall be as required for the approved construction. All openings into any such enclosure shall be protected by not less than a self-closing solid-wood door 1³/₈ inches (35 mm) thick or equivalent.

SECTION 712 — USABLE SPACE UNDER FLOORS

Usable space under the first story shall be enclosed, and such enclosure, when constructed of metal or wood, shall be protected on the side of the usable space as required for one-hour fire-resistive construction. Doors shall be self-closing, tight-fitting of solid-wood construction 1³/₈ inches (35 mm) in thickness or self-closing, tight-fitting doors acceptable as a part of an assembly having a fire-protection rating of not less than 20 minutes when tested in accordance with Part II of U.B.C. Standard 7-2.

EXCEPTIONS: 1. Group R, Division 3 and Group U Occupancies.

2. Basements in single-story Group S, Division 1 repair garages where 10 percent or more of the area of the floor-ceiling is open to the first floor.

3. Under-floor spaces protected by an automatic sprinkler system.

SECTION 713 — FIRE-RESISTIVE ASSEMBLIES FOR PROTECTION OF OPENINGS

713.1 General. Where required by this code for the fire protection of openings, fire assemblies shall meet the requirements of this section.

713.2 Definitions.

FIRE ASSEMBLY is the assembly of a fire door, fire windows or fire damper, including all required hardware, anchorage, frames and sills.

FIRE ASSEMBLY, AUTOMATIC-CLOSING, is a fire assembly which may remain in an open position and which will close automatically when subjected to one or the other of the following:

1. An increase in temperature.

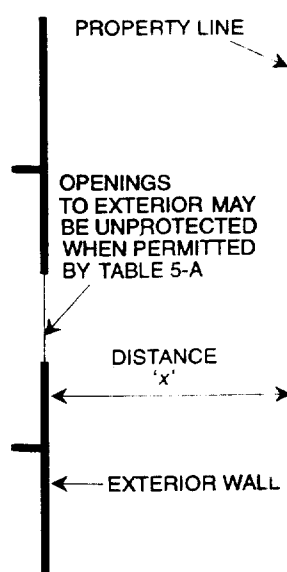
unless proximity to a property line requires their protection. Section 711.2 provides for the use of through-penetration fire doors providing the same degree of fire resistance as the shaft walls and fire-resistive fire door assemblies. See Figure 711-1.

The requirements in Section 711.5 for the termination room for rubbish and linen chutes are intended to provide protection for exit routes in buildings. The redundancy of requiring the termination rooms to be enclosed with a minimum one-hour fire-resistive occupancy separation and not opening into corridors or stairways helps secure the intent of not exposing exit routes to fire (in this case from rubbish and linen chutes). Also, the termination rooms are frequently littered with trash and do represent the termination of the shaft and its protection. As a result, the minimum one-hour fire-resistive occupancy separation enclosure prevents any fire beginning in the termination room from spreading to the rest of the building. To further secure this intent, Section 904.2.2 requires sprinkler protection for the termination rooms and terminal rooms. See Figure 711-2.

Section 711.6 allows for an alternate type of protection by providing for the use of small chutes and shafts in Type V buildings. The shaft is required to be of one-hour fire-resistive construction; however, this section allows 26-gage sheet steel to be substituted for the fire-resistive membrane on the interior of the shaft. For small chutes and dumbwaiter shafts, this provides a smoke-tight shaft liner that is durable and easy to maintain. As a result, fire and other products of combustion will not readily be able to lead to other floors within the building.

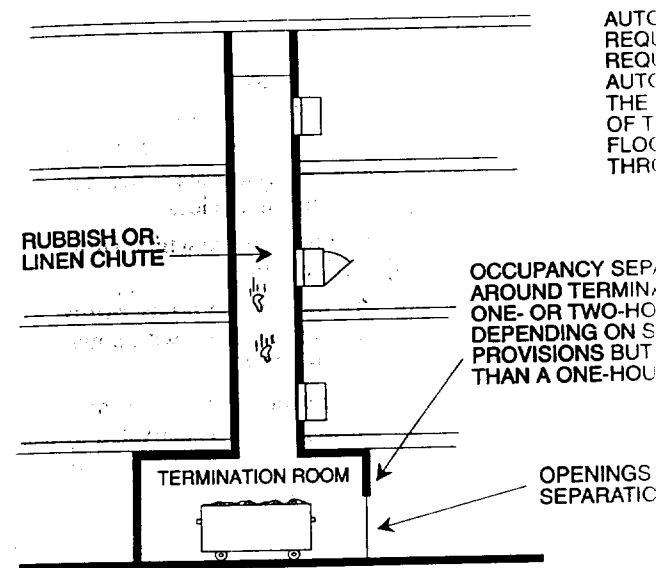
SECTION 712 — USABLE SPACE UNDER FLOORS

This section requires that, except for Group R, Division 3 and Group U Occupancies, under-floor spaces protected with an automatic sprinkler system, and vehicle service pits (see Figure 712-1), usable space under the first story be enclosed. When the enclosure is constructed of metal or wood, it must be protected



V

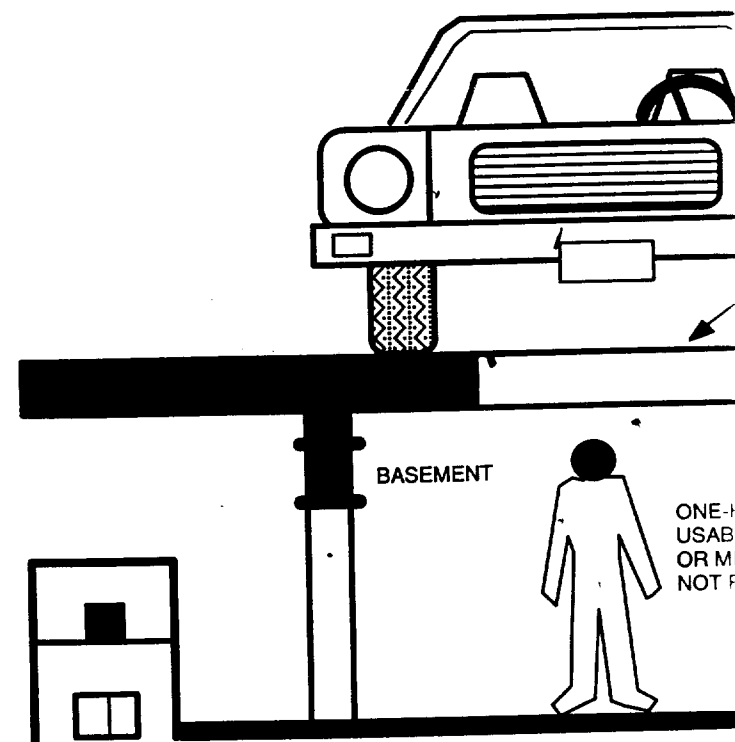
1



RUBBISH AND LINEN CHUTE

Figure 711-2

SINGLE-STORY GROUP S, DIVISION 3



USABLE SPACE UNDER A VEHICLE

Figure 712-1

on the side of the usable space, as would be required for one-hour fire-resistive construction. Doors must be tightfitting, self-closing and either a solid wood door not less than 1 3/8 inches (35 mm) thick or a 20-minute-rated door.

The rationale for this requirement has become blurred and un-

certain same section required for the

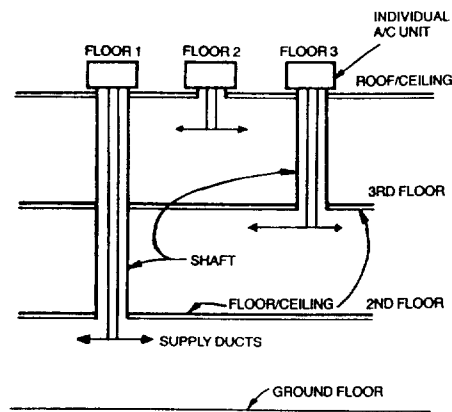


FIGURE 7-4

Section 712

SECTION 712 — USABLE SPACE UNDER FLOORS

Usable space under the first story shall be enclosed, and such enclosure, when constructed of metal or wood, shall be protected on the side of the usable space as required for one-hour fire-resistive construction. Doors shall be self-closing, tight-fitting of solid-wood construction $1\frac{3}{8}$ inches (35 mm) in thickness or self-closing, tight-fitting doors acceptable as a part of an assembly having a fire-protection rating of not less than 20 minutes when tested in accordance with Part II of U.B.C. Standard 7-2.

- EXCEPTIONS:**
1. Group R, Division 3 and Group U Occupancies.
 2. Basements in single-story Group S, Division 3 repair garages where 10 percent or more of the area of the floor-ceiling is open to the first floor.
 3. Under-floor spaces protected by an automatic sprinkler system.

Q: Section 712 apparently does not require a full one-hour occupancy separation between basements, cellars, etc., and the floor immediately above. If this separation is pierced by air ducts, ceiling grilles, diffusers, etc., must they be provided with fire dampers? Does the horizontal occupancy separation require structural elements supporting the separation also to be of fire-resistive construction?

A: Air ducts, ceiling grilles, diffusers, etc., generally must be fitted with fire dampers or ceiling dampers where they pierce an occupancy separation or a membrane of a fire-rated system. The requirement for fire dampers may be waived when the system has been tested to meet the fire-resistive construction without their installation.

Section 712 requires that usable space under the first story be protected on the side of the usable space as required for one-hour fire-resistive construction. The original intent of this section was to isolate areas under floors so that construction would impede the spread of fire from the usable under-floor space to the unusable under-floor space. This required construction also offers some protection to the floor system above. Based on the wording of this section, however, one must assume that the usable space also must be provided with the necessary construction to separate it from the floor above.

When the separation required in Section 712 is applicable, it is our opinion that it could be treated similarly to the separation requirement in Exception 3 of Section 302.4, between a garage and a dwelling. If the horizontal separation is pierced by a continuous run of No. 26 gage or heavier galvanized steel duct extending from a furnace or other appliance on the lower level, a damper is not required. The rationale for this is that such

a duct would function as effectively as a damper. Dampers should be provided in all other cases where the separation is pierced, in accordance with the requirements of Chapter 7. In some cases, the use of under-floor area will dictate that an occupancy separation be installed. In such cases, dampers would be required at the separation.

Section 713.2

713.2 Definitions.

FIRE ASSEMBLY is the assembly of a fire door, fire window or fire damper, including all required hardware, anchorage, frame and sills.

FIRE ASSEMBLY, AUTOMATIC-CLOSING, is a fire assembly which may remain in an open position and which will close automatically when subjected to one or the other of the following:

1. An increase in temperature.

Unless otherwise specified, the closing device shall be one rated at a maximum temperature of 165°F. (74°C.)

2. Actuation of a smoke detector.

The closing device shall operate by the activation of an approved listed smoke detector. Smoke detectors shall be installed and maintained as set forth in Uniform Fire Code Standard 14-2.

FIRE ASSEMBLY, SELF-CLOSING, is a fire assembly which is kept in a normally closed position and is equipped with an approved device to ensure closing and latching after having been opened for use.

Q: When smoke detectors are provided for actuation of automatic closing doors in a Group E Occupancy, are such detectors required to be connected to the fire alarm system?

A: No. Section 713.6 allows fire assemblies to be automatically closing. Section 713.2 provides in the definition of "Fire assembly, automatic closing" that these assemblies are allowed to be actuated by a smoke detector. Such smoke detectors are provided exclusively for the purpose of causing the fire assembly to close, and the code does not require such detectors to be connected as fire alarm initiating devices. Although Section 305.9 states that the school fire alarm system must be actuated by automatic sprinkler or detection system when provided, the code does not intend that devices provided for operation of automatic closing fire assemblies be considered as a detection system. Rather, the detection system referenced in Section 305.9 is based on the smoke detector requirements in Section 1017.

Section 713.11

713.11 Fire Dampers. Fire dampers complying with the requirements of approved recognized standards (see Chapter 35, Part II) shall be installed and be accessible for inspection and servicing in the following ducted and unducted air openings at:

1. Penetrations through area separation walls or occupancy separations.
2. Penetrations of the fire-resistive construction of horizontal exit walls or corridors serving as required exits.

EXCEPTION: Openings for steel ducts penetrating the required fire-resistive construction of corridors are not required to have fire dampers when such ducts are of not less than 0.019-inch (0.48 mm) thickness (No. 26 galvanized sheet steel gage) and have no openings serving the corridor.

3. Penetrations of shaft enclosures.

EXCEPTIONS:

1. Duct penetrations by steel exhaust air subducts extending vertically upward at least 22 inches (559 mm) above the top of the opening in a vented shaft where the airflow is upward.

MEMORANDUM

Sacramento Fire Department

To: BUILDING DEPARTMENT

Date: 6-30-98

From: Gordon Duncan,
Fire Marshal

Subject: FIRE SYSTEM INSPECTION

A final inspection of the newly installed fire system at:

1016 K ST

has been conducted by Inspector F. JOHNSON

on 6-23-98.

Permit Number 98-01464-C

The system is acceptable by this Department.

Remodel
Type Inspection

R Woodman
By: Ross L. Woodman,
Fire Prevention Officer II

TI-56
F. D. Reference Number

7-6-98