

CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

| | | | |
|---------------|--|------------------------|---|
| APPLICANT | Murray Smith & Associates, 3020 Explorer Drive, Sacramento, CA 95827 | | |
| OWNER | McCuen & Steel, Inc., 11211 Sun Center Drive, Rancho Cordova, CA 95670 | | |
| PLANS BY | HLA, 3134 Auburn Boulevard, Sacramento, CA 95821 | | |
| FILING DATE | 1-6-84 | 50 DAY CPC ACTION DATE | REPORT BY: PB:bw |
| NEGATIVE DEC. | 3-12-84 | EIR | ASSESSOR'S PCL. NO. 250-360-05; 250-370,01,02 |

- APPLICATION:
1. Environmental Determination
 2. Plan Review of development of 43,776 square feet of office/warehouse and medical laboratory structure on 4± vacant acres in C-4-R and M-1(S) zones.
 3. Lot Line Adjustment (Subdivision Map Act (Sec. 66499.20-3/4))

LOCATION: Northeast portion of Northgate Boulevard and Patio Avenue

PROPOSAL: The applicant is requesting the necessary entitlements to develop a medical laboratory in the C-4-R and M-1(S) zones.

PROJECT INFORMATION:

1974 General Plan Designation: Industrial
1978 South Natomas Community Plan Designation: Heavy Commercial and Industrial
Existing Zoning: C-4-R and M-1(S)
Existing Land Use: Vacant

Surrounding Land Use and Zoning:

North: Vacant; M-1(S)
South: Commercial and Residential; C-2, R-2A, R-1
East: Vacant and Levee; C-4 (Flood)
West: Vacant and Single Family Residence; R-3

Parking Required: 101 spaces
Parking Provided: 204 spaces; 1:200, 1:500, 1:1,000
Ratio Provided: 1:215 square feet
Property Dimensions: Approx. 380' x 480'
Property Area: 4± acres
Square Footage of Building: 43,389 (Office-8,494 sq. ft. (19.6%) 1:200
(Lab.- 23,366 sq. ft. (53. %) 1:500
(Whse.-11,526 sq. ft. (26.6%) 1:1,000

Height of Structure: 20 feet
Significant Feature of Site: Adjacent to levee
Topography: Flat
Street Improvements: No curbs, gutters and sidewalks
Utilities: Existing; Drainage being installed
Exterior Building Colors: Graylite with bronze storefront
Exterior Building Materials: Concrete and glass

002254

STAFF EVALUATION: Staff has the following comments regarding this proposal:

1. The subject site is a 4± acre portion of two existing parcels, generally located at the northeast corner of Northgate Boulevard and Patio Avenue. The portion being reviewed is mostly in the Light Industrial Park (M-1(S)) zones with the remaining southerly portion in the Heavy Commercial-Review (C-4-R) zone.

The applicant proposes to build a 43,776 square foot laboratory/warehouse for medical system support operation (e.g. laboratory testing of blood samples, etc.)

2. The project and lot line merger has been reviewed by City Traffic, Waste Removal and South Natomas Advisory Committee. No objections to the project were received. However, the following comment was submitted:

City Waste Removal indicates the medical laboratory may have infectious waste. Bin(s) should be designed, locked and labled to City Waste Removal standards. Waste Removal indicates that pickup should be at least twice a week.

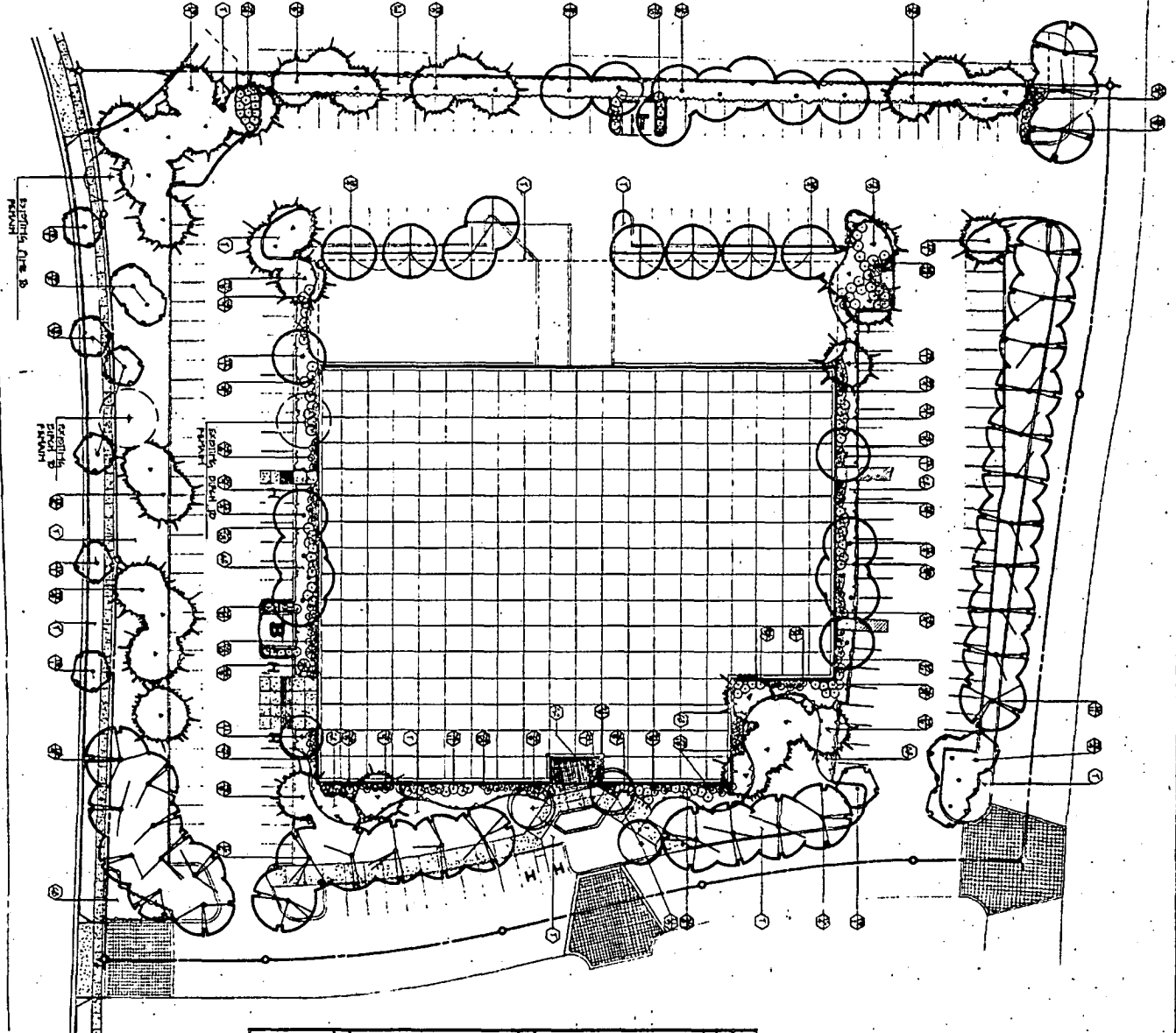
3. The trash enclosure should be enclosed with a minimum six-foot masonry wall, matching the main building material, with heavy gauge metal gates. It should be designed to allow walk-in access without having to open the gates.
4. Additional portions of Sutter Business Center will be built after the three parcel merger. The only additional information on the complex now is a very general schematic of one other building to the east. The applicant has indicated that a master plan of the entire complex will be submitted to staff prior to the issuance of building permits. The applicant should be aware that the remaining portion to the east and south (C-4-R) will require additional review and approval by the Commission.
5. A sign program for this portion of the complex should be reviewed and approved by the Planning Director prior to issuance of any sign permit. Signage for all other portions of the complex should be reviewed at the time of development.

STAFF RECOMMENDATION: Staff recommends the following actions:

1. Ratification of the Negative Declaration;
2. Approval of the Plan Review for a proposed 43,776 square foot office/warehouse medical laboratory structure, subject to the following conditions:
 - a. The applicant shall provide a minimum six-foot high masonry wall trash enclosure with heavy gauge metal gates. This shall be designed to allow walk-in access without having to open the gates. The bins shall be locked and labled to the satisfaction of City Waste Removal. Pickup of bins shall comply with City Waste Removal requirements;
 - b. A schematic development plan of the entire complex be submitted for the review and approval of the Planning Director prior to any further development proposal of the C-4-R and M-1(S) properties;
 - c. A sign program for this portion of the complex shall be reviewed and approved by the Planning Director prior to issuance of a sign permit.
3. Approval of the lot line merger by adopting the attached resolution.

002255

SUTTER BUSINESS CENTER, BLDG. A



NORTHGATE BOULEVARD

NOTES

- 1) - ILLUSTRATED PLANT KEY
- 2) - PROVIDES NUMBER OF PLANTS IN GROUP
- 3) - ILLUSTRATE THAT TO BE SEASON WITH THE FOLLOWING YEAR: 1984
- 4) - SPECIFIC PLANT FOR LANDSCAPE DESIGN
- 5) - PLANT QUANTITIES ARE FOR INTERIM PLANTING ONLY. COMPANION PLANTS TO BE PLANTED AT A LATER DATE.
- 6) - PLANT KEY SHOULD BE REFERRED TO FOR PLANTING SPECIFICATIONS.
- 7) - PLANT KEY SHOULD BE REFERRED TO FOR PLANTING SPECIFICATIONS.
- 8) - FOR ADDITIONAL INFORMATION AND SPECIFICATIONS, SEE SHEETS L1 & L2.

PLANT LIST

| NO. | SCIENTIFIC / COMMON NAME | HT. | WIDTH | DBH | PLANTING | PLANTING |
|-----|--|-----|-------|--------|----------|----------|
| 1 | Laurus nobilis Bay Laurel | 10' | 10' | 1 1/4" | 4 | 1984 |
| 2 | Liquidambar styraciflua Sweetgum | 10' | 10' | 1 1/4" | 10 | 1984 |
| 3 | Quercus agrifolia Oak | 10' | 10' | 1 1/4" | 11 | 1984 |
| 4 | Pinus taeda Pine | 10' | 10' | 1 1/4" | 8 | 1984 |
| 5 | Thuja occidentalis Red Cedar | 10' | 10' | 1 1/4" | 12 | 1984 |
| 6 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 7 | Thuja occidentalis Red Cedar | 10' | 10' | 1 1/4" | 10 | 1984 |
| 8 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 9 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 10 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 11 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 12 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |

| NO. | SCIENTIFIC / COMMON NAME | HT. | WIDTH | DBH | PLANTING | PLANTING |
|-----|--|-----|-------|--------|----------|----------|
| 13 | Quercus agrifolia Oak | 10' | 10' | 1 1/4" | 11 | 1984 |
| 14 | Pinus taeda Pine | 10' | 10' | 1 1/4" | 8 | 1984 |
| 15 | Thuja occidentalis Red Cedar | 10' | 10' | 1 1/4" | 12 | 1984 |
| 16 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 17 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 18 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 19 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 20 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 21 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 22 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 23 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 24 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 25 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 26 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 27 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 28 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 29 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 30 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 31 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 32 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 33 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 34 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 35 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 36 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 37 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 38 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 39 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |
| 40 | Juniperus horizontalis Climbing Juniper | 10' | 10' | 1 1/4" | 10 | 1984 |

| SHADE ANALYSIS TREE | HT. | WIDTH | DBH | PLANTING | PLANTING |
|---------------------|-----|-------|--------|----------|----------|
| 1 | 10' | 10' | 1 1/4" | 11 | 1984 |
| 2 | 10' | 10' | 1 1/4" | 8 | 1984 |
| 3 | 10' | 10' | 1 1/4" | 12 | 1984 |
| 4 | 10' | 10' | 1 1/4" | 10 | 1984 |
| 5 | 10' | 10' | 1 1/4" | 10 | 1984 |
| 6 | 10' | 10' | 1 1/4" | 10 | 1984 |
| 7 | 10' | 10' | 1 1/4" | 10 | 1984 |
| 8 | 10' | 10' | 1 1/4" | 10 | 1984 |
| 9 | 10' | 10' | 1 1/4" | 10 | 1984 |
| 10 | 10' | 10' | 1 1/4" | 10 | 1984 |
| 11 | 10' | 10' | 1 1/4" | 10 | 1984 |
| 12 | 10' | 10' | 1 1/4" | 10 | 1984 |
| 13 | 10' | 10' | 1 1/4" | 10 | 1984 |
| 14 | 10' | 10' | 1 1/4" | 10 | 1984 |
| 15 | 10' | 10' | 1 1/4" | 10 | 1984 |
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| 19 | 10' | 10' | 1 1/4" | 10 | 1984 |
| 20 | 10' | 10' | 1 1/4" | 10 | 1984 |
| 21 | 10' | 10' | 1 1/4" | 10 | 1984 |
| 22 | 10' | 10' | 1 1/4" | 10 | 1984 |
| 23 | 10' | 10' | 1 1/4" | 10 | 1984 |
| 24 | 10' | 10' | 1 1/4" | 10 | 1984 |
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| 28 | 10' | 10' | 1 1/4" | 10 | 1984 |
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| 32 | 10' | 10' | 1 1/4" | 10 | 1984 |
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| 39 | 10' | 10' | 1 1/4" | 10 | 1984 |
| 40 | 10' | 10' | 1 1/4" | 10 | 1984 |

PLANTING PLAN

SCALE: 1" = 20'



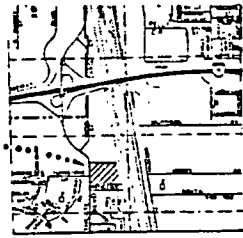
THE F.I.A. ARCHITECTS, PLANNERS & ENGINEERS
 1000 MARKET STREET, SUITE 1000, SAN FRANCISCO, CALIF. 94102
 (415) 774-1100

MC CUEN & STEELE, INC.
 1000 MARKET STREET, SUITE 1000, SAN FRANCISCO, CALIF. 94102
 (415) 774-1100

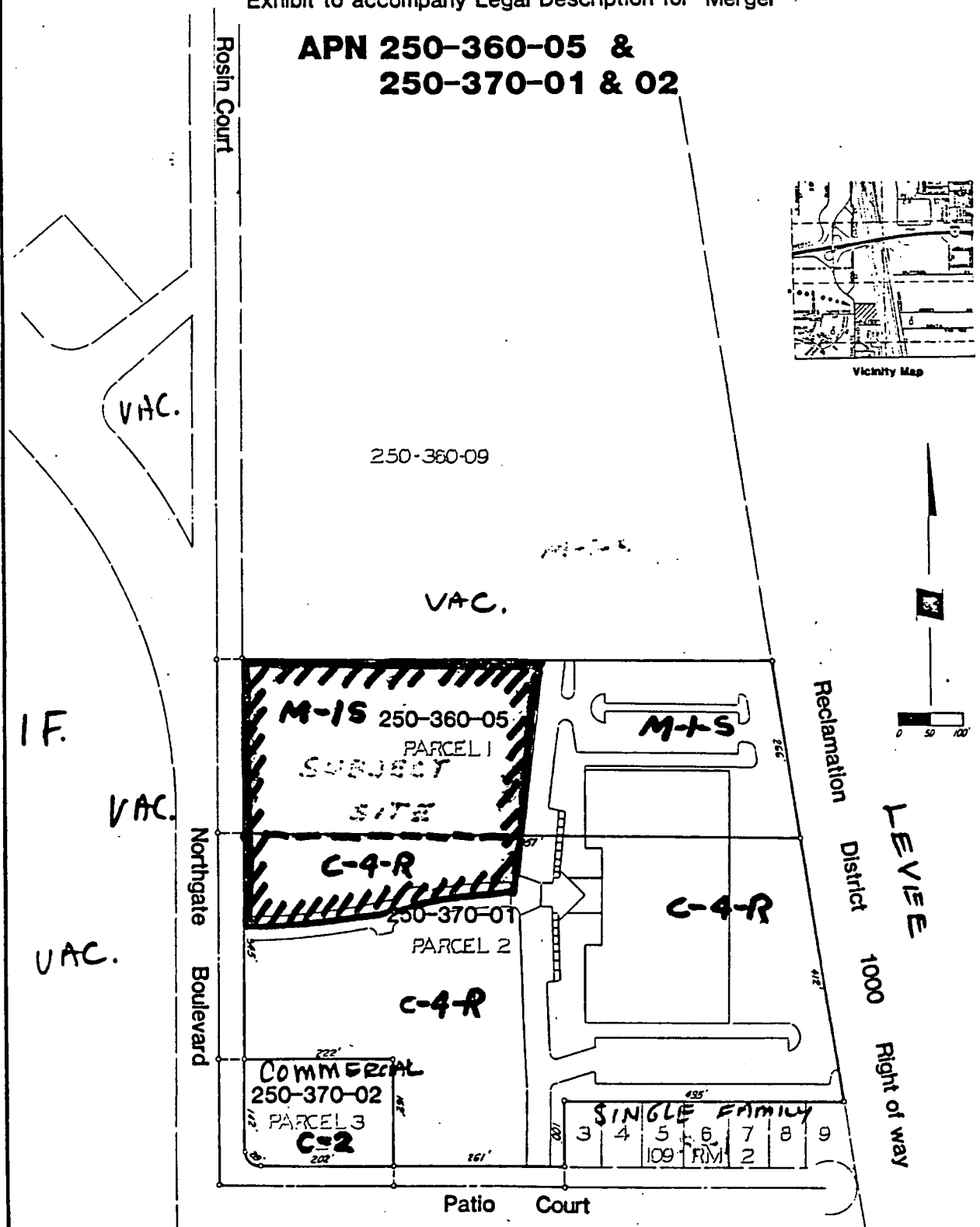
THE F.I.A. ARCHITECTS, PLANNERS & ENGINEERS
 1000 MARKET STREET, SUITE 1000, SAN FRANCISCO, CALIF. 94102
 (415) 774-1100

Exhibit to accompany Legal Description for Merger

APN 250-360-05 & 250-370-01 & 02



Vicinity Map



NOTE: Existing curb, gutter, and sidewalk on Patio Court.
 Site is currently vacant with proposed improvement plans currently being reviewed by the City Engineer's Office
 Development plans being reviewed by City Planning

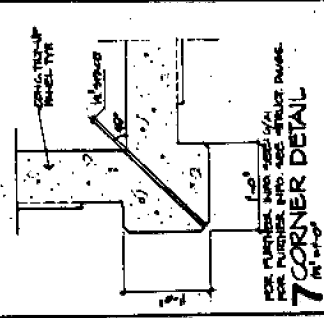
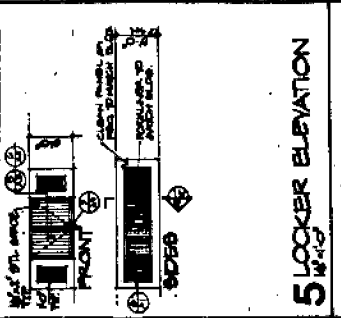
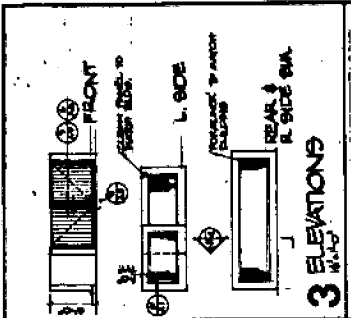
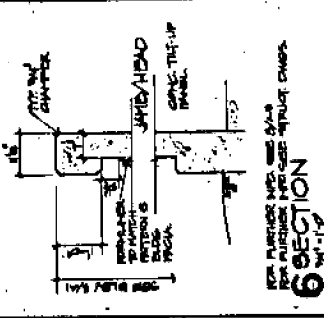
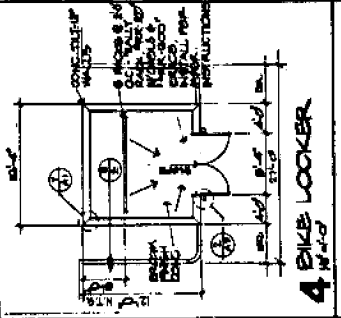
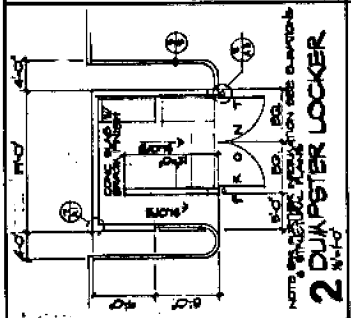
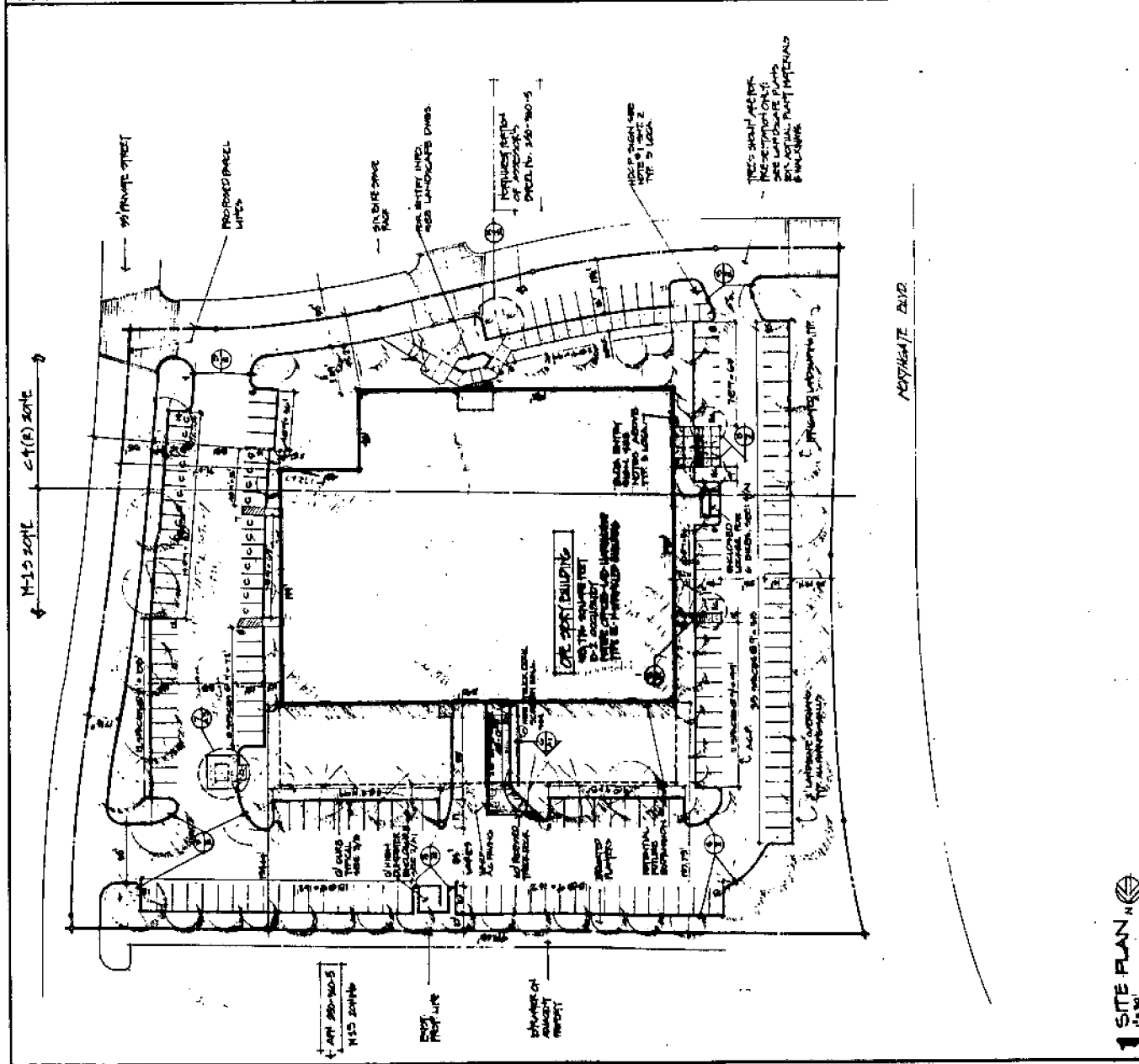
SURROUNDING LAND USE

P-84005

March 22, 1984

No. 4

03/06



NOTES (SITE PLAN):

1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

SITE / BUILDING ANALYSIS:

SITE ADDRESS: 1100 S. GATEWAY BLVD, LOS ANGELES, CA 90007

OWNER: HOFFMANN-LA ROCHE INC.

DESIGNER: HOFFMANN-LA ROCHE INC.

DATE: 3/22/84

SCALE: 1/8" = 1'-0"

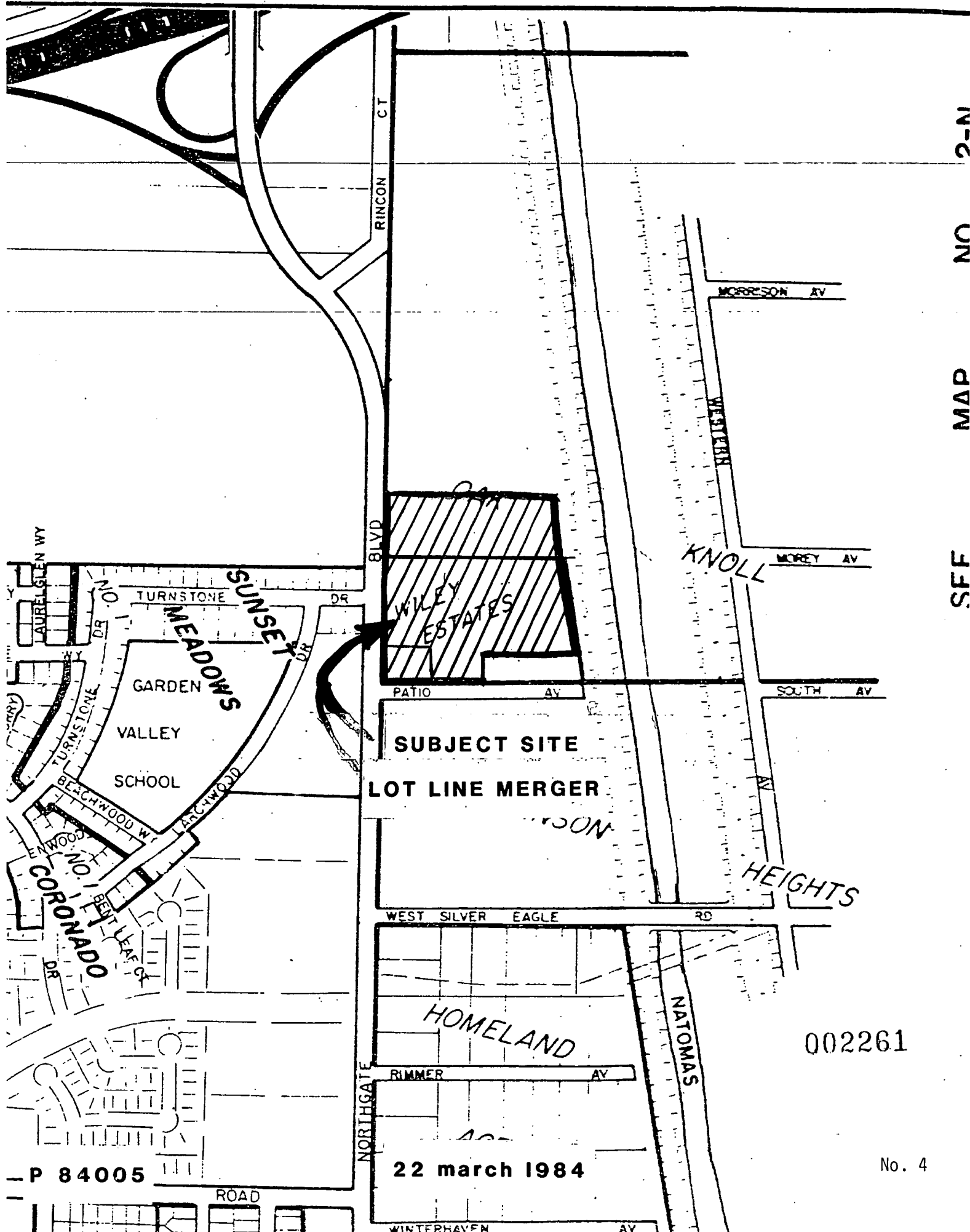
PROJECT NO.: P-84-005

DATE: 3/22/84

BY: [Signature]

CHECKED: [Signature]

APPROVED: [Signature]



2-N
NO
MAP
SFF

WILEY ESTATES

SUBJECT SITE
LOT LINE MERGER

HOMELAND

002261

22 march 1984

No. 4

P 84005

ROAD

WINTERHAVEN AV

CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

| | | | |
|--------------|--|------------------------|---|
| APPLICANT | Murray Smith & Associates, 3020 Explorer Drive, Sacramento, CA 95827 | | |
| OWNER | McCuen & Steel, Inc., 11211 Sun Center Dr., Rancho Cordova, CA 95670 | | |
| PLANS BY | HLA, 3134 Auburn Boulevard, Sacramento, CA 95821 | | |
| FILING DATE | 1-6-84 | 50 DAY CPC ACTION DATE | REPORT BY: PB:bw |
| NEGATIVE DEC | 1-30-84 | EIR | ASSESSOR'S PCL. NO. 250-360-05; 250-370-01,02 |

APPLICATION: 1. Environmental Determination
2. Plan Review of development of 43,776 square feet of office/warehouse and medical laboratory structure on 4± vacant acres in C-4-R and M-1(S) zones.

LOCATION: Northeast portion of Northgate Boulevard and Patio Court

PROPOSAL: The applicant is requesting the necessary entitlement to develop a medical Laboratory in the C-4-R and M-1(S) zones.

PROJECT INFORMATION:

1974 General Plan Designation: Industrial
1978 South Natomas Community
Plan Designation: Heavy Commercial and Industrial
Existing Zoning: C-4-R and M-1(S)
Existing Land Use: Vacant

Surrounding Land Use and Zoning:

North: Vacant; M-1(S)
South: Commercial and Residential; C-2; R-2A, R-1
East: Vacant and Levee; C-4 (Flood)
West: Vacant and Single Family House; R-3

Parking Required: 171 spaces
Parking Provided: 204 spaces
Ratio Required: 1:200 sq. ft. and 1:1,000
Ratio Provided: 1:215 sq. ft.
Property Dimensions: Approx. 380' x 480'
Property Area: 4± acres
Square Footage of Building: 43,776
Height of Structure: 20 feet
Significant Feature of Site: Adjacent to levee
Topography: Flat
Street Improvements: No curbs, gutters and sidewalks
Utilities: Existing; Drainage being installed
Existing Building Colors: Graylite with bronze storefront
Exterior Building Materials: Concrete and glass

002256

STAFF EVALUATION: Staff has the following comments regarding this proposal:

1. The subject site is a 4± acre portion of two existing parcels, generally located at the northeast corner of Northgate Boulevard and Patio Avenue. The portion being reviewed is mostly in the Light Industrial Park (M-1(S)) zones with the remaining southerly portion in the Heavy Commercial-Review (C-4-R) zone.

The applicant proposes to build a 43,776 square foot laboratory/warehouse for medical system support operation (e.g. laboratory testing of blood samples, etc.)

2. The project has been reviewed by City Traffic, Waste Removal and South Natomas Advisory Committee. No objections to the project were received. However, the following comments were submitted:
 - a. Traffic Engineering requires that the property line be located 10 feet outside the driveway and that a driveway permit is required. Traffic's concern for relocation of a property line can be handled by merging the parcels involved. The applicant has submitted the necessary information for the lot line adjustment for a merger of three parcels which will be heard at a subsequent Commission meeting. The lot line merger should be approved prior to issuance of any building permit;
 - b. City Waste Removal indicates the medical laboratory may have infectious waste. Bin(s) should be designed, locked and labled to City Waste Removal standards. Waste Removal indicates that pickup should be at least twice a week.
3. The trash enclosure should be enclosed with a minimum six-foot masonry wall, matching the main building material, with heavy gauge metal gates. It should be designed to allow walk-in access without having to open the gates.
4. In order to reduce visibility of the truck loading docks from the street, a design for wall or screening should be provided for the review and approval of the Planning Director prior to issuance of any building permit.
5. Additional portions of Sutter Business Center will be built after the three parcel merger. The only additional information on the complex now is a very general schematic of one other building to the east. The applicant has indicated that a master plan of the entire complex will be submitted to staff prior to the Commission hearing.
6. A sign program for this portion of the complex should be reviewed and approved by the Planning Director prior to issuance of any sign permit. Signage for all other portions of the complex should be reviewed at the time of development.

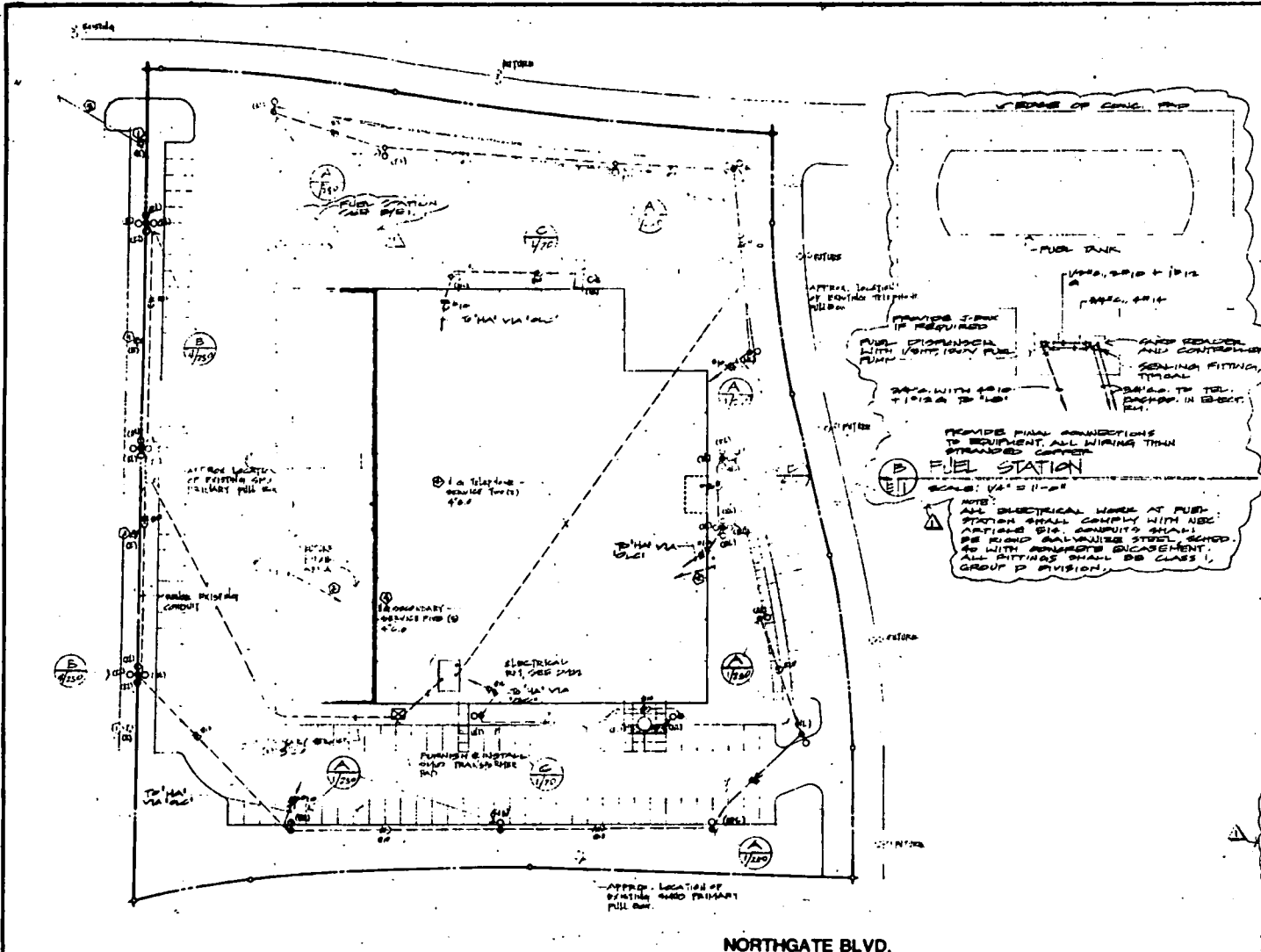
STAFF RECOMMENDATION: Staff recommends the following actions:

1. Ratification of the Negative Declaration;
2. Approval of the Plan Review for a proposed 43,776 square foot office/warehouse medical laboratory structure, subject to the following conditions:
 - a. The applicant shall merge the three parcels prior to issuance of any building permit on the subject property;
 - b. The applicant shall provide a minimum six-foot high masonry wall trash enclosure with heavy gauge metal gates. This shall be designed to allow walk-in access without having to open the gates. The bins shall be locked and labled to the satisfaction of City Waste Removal. Pickup of bins shall comply with City Waste Removal requirements;

002257

- c. The applicant shall provide a screening design for the truck loading area for the review and approval of the Planning Director prior to issuance of any building permit;
- d. A schematic development plan of the entire complex be submitted for the review and approval of the Planning Director prior to any further development proposal of the C-4-R and M-1(S) properties;
- e. A sign program for this portion of the complex shall be reviewed and approved by the Planning Director prior to issuance of a sign permit.

002258



NORTHGATE BLVD.

- ### SYMBOLS
- ① TYPE SYMBOLS SHOWN: SYMBOLS - ALL SYMBOLS
 - ② TYPE SYMBOLS SHOWN: SYMBOLS - ALL SYMBOLS
 - ③ TYPE SYMBOLS SHOWN: SYMBOLS - ALL SYMBOLS
 - ④ TYPE SYMBOLS SHOWN: SYMBOLS - ALL SYMBOLS
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 - ㊺ TYPE SYMBOLS SHOWN: SYMBOLS - ALL SYMBOLS
- NOTE: NO CROSSBARS ON CONDUIT RUN INDICATES 1/2" CONDUIT. TWO 012 CONDUITS INDICATE NUMBER OF 012 CONDUCTORS IN CONDUIT. CONDUCTOR SIZE OTHER THAN 012 NOTED ON DRAWING.

- ### GENERAL NOTES
- VERIFY AND COORDINATE POWER REQUIREMENTS AND POINT OF SERVICE ENTRANCE WITH SNEED. VERIFY COST IN EXCESS OF THEIR "NO COST" PROVISIONS AND PAY ALL COSTS.
CONTACT: DICK PETERSON, 6201 "S" STREET, P.O. BOX 18820, SACRAMENTO, CA 95813, PHONE: (916) 452-1211, EXT. 421
 - VERIFY AND COORDINATE TELEPHONE REQUIREMENTS AND POINT OF SERVICE ENTRANCE WITH PACIFIC TELEPHONE. VERIFY COSTS IN EXCESS OF THEIR "NO COST" PROVISIONS AND PAY ALL COSTS.
CONTACT: CHUCK MOORE, PACIFIC TELEPHONE (8162), 2125 HOWARD DRIVE, ROOM 147, P.O. BOX 12618, SACRAMENTO, CA 95853, PHONE: (916) 482-1871

EXHIBIT BCHEDULE

| SYMBOL | MANUFACTURER | CATALOG NO. | QUANTITY | REMARKS |
|--------|---------------|--------------------|-----------|----------|
| A | ARCHITECTURAL | AL8350-10250 RPS- | (1) L0250 | POLE TOP |
| B | ARCHITECTURAL | 277-15' POLE-082 | (1) L0250 | POLE TOP |
| C | ARCHITECTURAL | AL8350-11-150-RPS- | (1) L0250 | POLE TOP |
| D | ARCHITECTURAL | 75-3-1808 | (1) L0250 | POLE TOP |
| E | ARCHITECTURAL | AL8350-11-150-RPS- | (1) L0250 | POLE TOP |
| F | HOLOFRANE | L619-377-79-00-533 | (1) L0250 | SIGNAL |
| G | LITHONIA | 574-200-377-R8 | (1) L0250 | CEILING |
| H | LITHONIA | 574-200-377-R8 | (1) L0250 | CEILING |

- ### PLUMBING GENERAL NOTES
- PROVIDE FUTURE WITH BALLAST FOR 265 VOLT OPERATION.
 - REMOVE FUTURE POLE 5'-0" FROM EDGE OF CURB.
 - PROVIDE FUTURE WITH POLE BASE AND NECESSARY HARDWARE AS REQUIRED TO PROVIDE A COMPLETE INSTALLATION. FUTURE POLE BASE SHALL HAVE A TOTAL LENGTH OF 1'-4" WITH A NO. REINFORCED CONCRETE BASE (GRADE FINISHED GRADE). WITH 1" CHAMFER, POLE BASE COVERS AND ANCHOR BOLTS PER MANUFACTURER, 1/2" BOLTS TO REMAIN. 1'-0" x 2 1/2" DIAMETER RIBBED CONCRETE BASE (BELOW FINISHED GRADE). REMAIN "GRADE" x 18" VERTICAL LAPPED REINFORCEMENT BOLTS. PROVIDE 83 LOOP TIE AT 12" O.C. (TYPICAL). FITTINGS: TT325, 4" SINGULAR EXCEPT BASE 4" x 1 1/2" DIAMETER.
 - FUTURE TYPES A & B TO HAVE RIBBED FINISH AND CLASS C FINISH. FUTURE TYPES C & D TO HAVE BLACK FINISH AND BOND GLOBS.

I hereby certify that I am a duly Licensed Professional Engineer in the State of California and that I am the author of the above drawings.
DATE: 1/19/84
BY: [Signature]
[Signature]

Seal of the State of California, Professional Engineer
[Signature]
1/19/84

002262

① SITE PLAN
SCALE: 1/4"

- ### EXHIBIT C
- (1) FUTURE LOCATION TO BE ABANDONED.
 - TYPE TWO (2) 1 1/2" C.O. AND MORE PER TO ELECTRICAL ROOM FUTURE PANEL LOCATION.
 - ABANDON EXISTING CONDUIT.
 - COORDINATE LOCATION OF CONDUIT STUDS PER WITH SUPPLY LABELS BEFORE DRAWING BEFORE BIDDING.

CONSTRUCTION COMPANY

WANDA L. ROSE

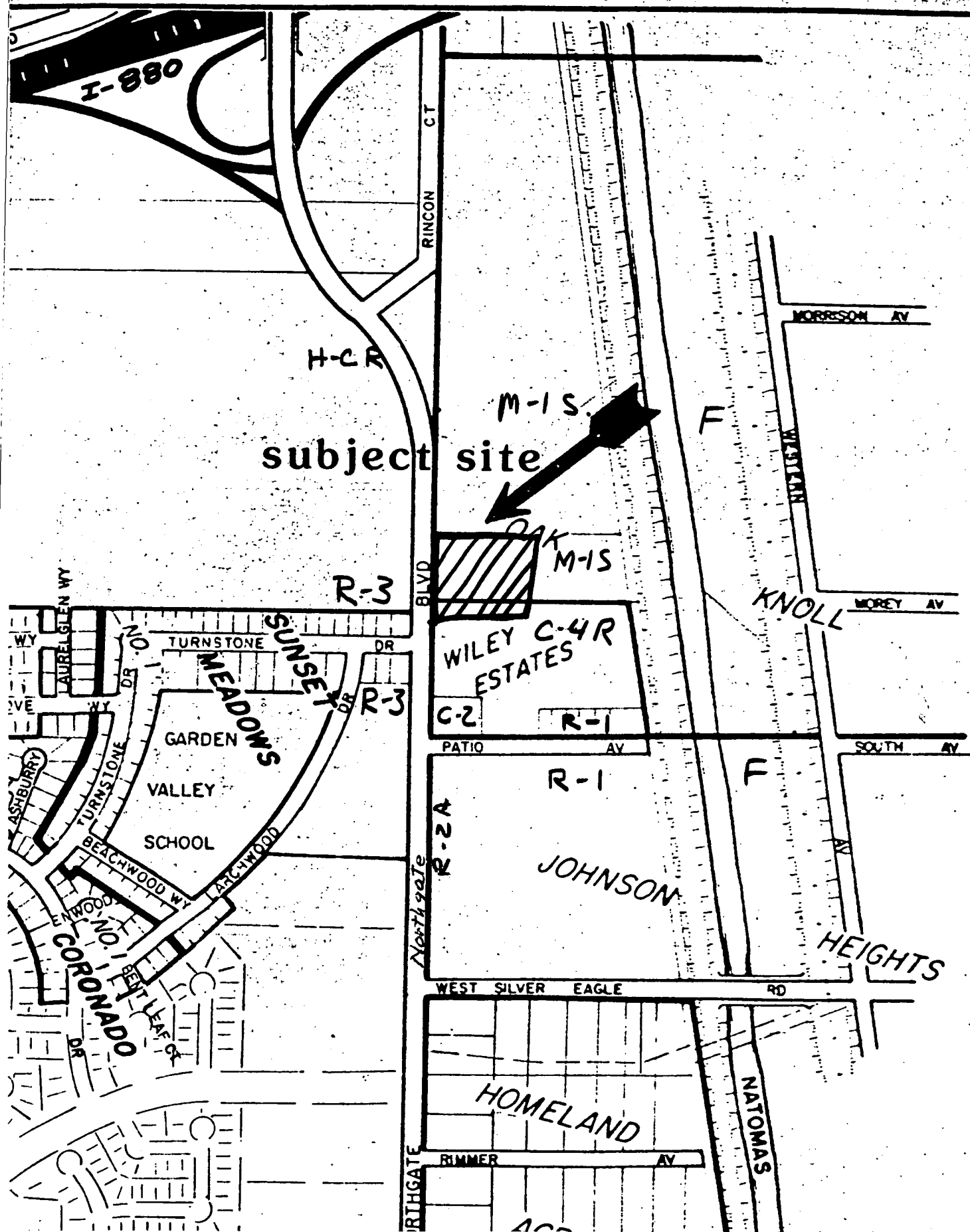
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1/19/84



H-CR
subject site

M-1 S

subject site
M-1 S

WILEY C-4 R ESTATES

C-2 R-1

PATIO AV

R-1

R-2A

JOHNSON

WEST SILVER EAGLE RD

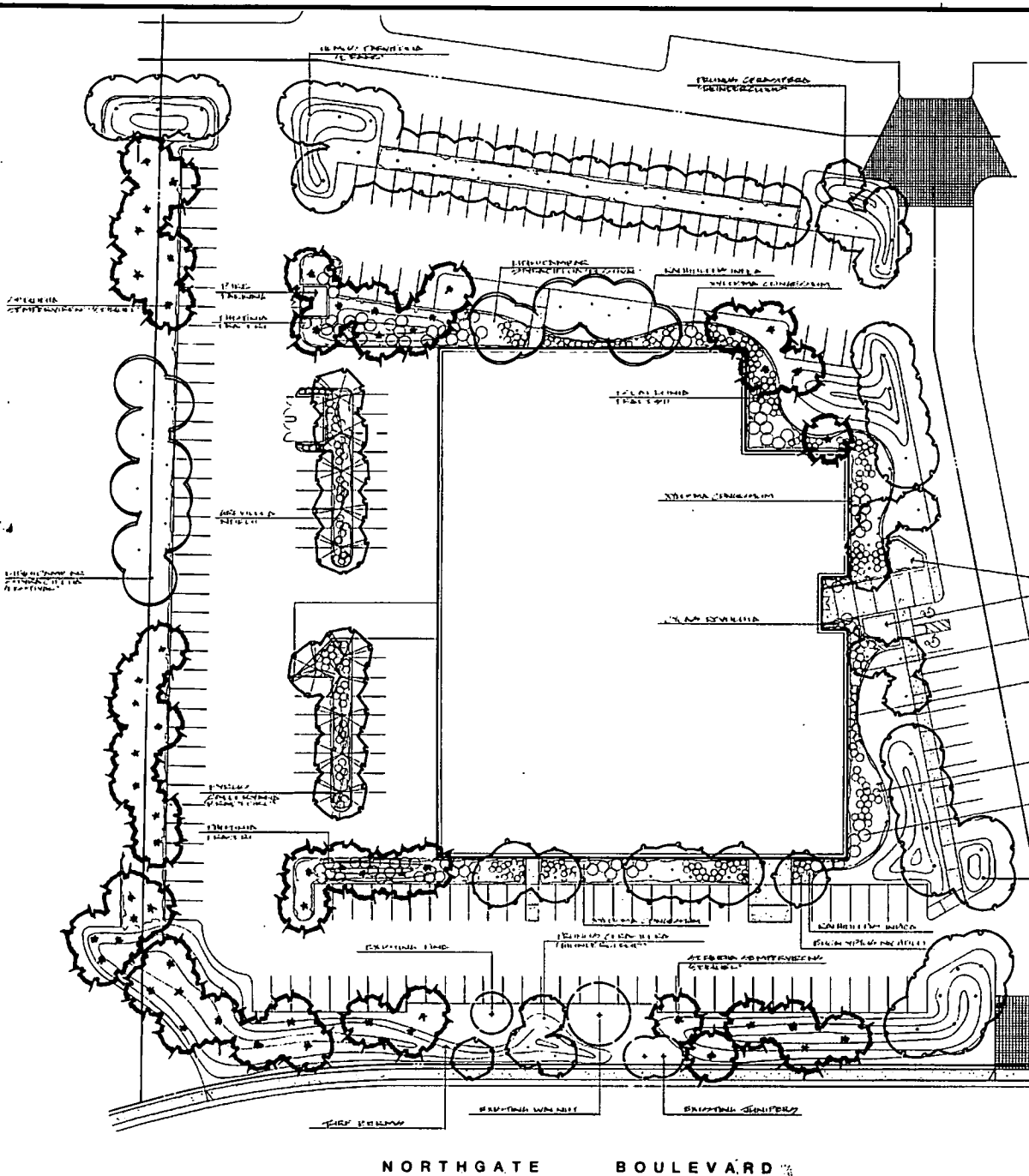
HOMELAND

RIMMER AV

NATOMAS

AGC

ZONING AND VICINITY MAP



NORTHGATE BOULEVARD



LANDSCAPE PLAN
SCALE: 1" = 20'

- REVISIONS:
- 1) REVISIONS ON ALL SHADING ANALYSIS BY THE LANDSCAPE ARCHITECTURE GROUP IN PERTINENCE TO THE SUTTER BUSINESS CENTER.
 - 2) ALL OTHERS BY THE ARCHITECTURE GROUP ONLY.

SHADING ANALYSIS

| TREE & SHRUB NAME | TYPE | HT. | SP. | AREA | % SHAD. |
|---------------------------------------|------|-----|-----|------|---------|
| EVERGREENS | | | | | |
| PRUNUS AFRICAENSIS (P. AFRICANA) | DB | 25' | 40' | 400 | 6.2 |
| SPICE BUSH (SARGENTEA FLORIDA) | DB | 12' | 10' | 200 | 3.1 |
| LEUCODENDRON (LEUCODENDRON GILBERTII) | DB | 15' | 15' | 200 | 3.1 |
| LEUCODENDRON (LEUCODENDRON GILBERTII) | DB | 15' | 15' | 200 | 3.1 |
| LEUCODENDRON (LEUCODENDRON GILBERTII) | DB | 15' | 15' | 200 | 3.1 |
| DECIDUOUS | | | | | |
| FRAXINUS (FRAXINUS AMERICANA) | DB | 25' | 30' | 200 | 3.1 |
| FRAXINUS (FRAXINUS AMERICANA) | DB | 25' | 30' | 200 | 3.1 |
| FRAXINUS (FRAXINUS AMERICANA) | DB | 25' | 30' | 200 | 3.1 |
| FRAXINUS (FRAXINUS AMERICANA) | DB | 25' | 30' | 200 | 3.1 |
| SHADING TOTAL | | | | 1200 | 18.6 |
| GRASS & BERMUDAS | | | | | |
| TOTAL | | | | 6400 | 29.2 |

50.5% SHADED

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HLA
THE HOFFMAN-LA ROCHE ARCHITECTURAL GROUP

THE HOFFMAN-LA ROCHE ARCHITECTURAL GROUP
3200 ARABIAN DRIVE
SAN FRANCISCO, CALIF. 94134

**HOFFMAN-LA ROCHE BUILDING
SUTTER BUSINESS CENTER**
NORTHGATE BOULEVARD (BETWEEN PATIO & ROBIN)
SACRAMENTO, CALIFORNIA
MC CUEN & STEEL, INC.

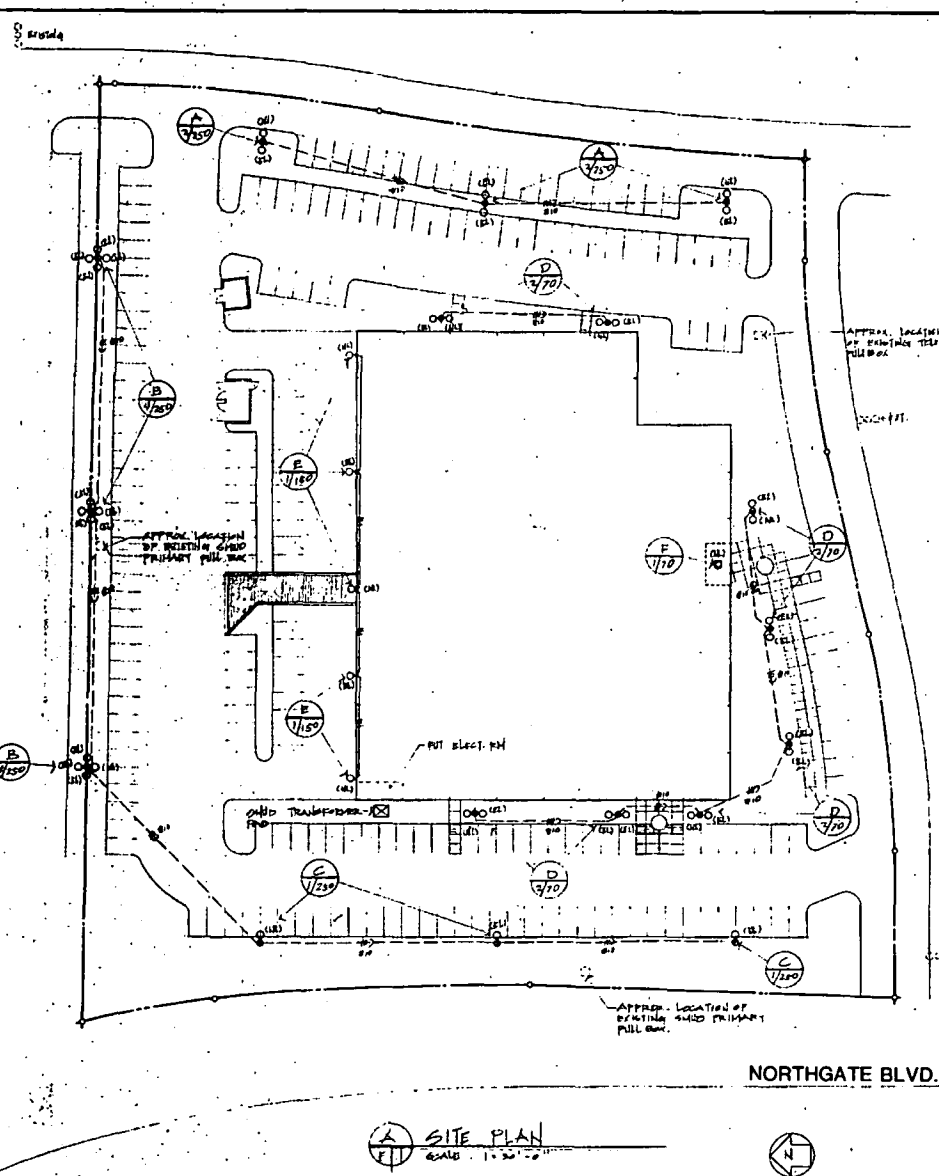
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L - 1

P-84005

March 8, 1984

No. 3



SYMBOL LIST

- C S.P.S. FIXTURE (CONTROLLED BY SWITCH "A") APPLIES TO (CONNECTED TO CIRCUIT 2) ALL FIXTURES
- S.P.S. FIXTURE - WALL MOUNTED
- S.P.S. FIXTURE - CEILING RECESSED
- P Pole Top Luminaires
- F Fixture designation and lamps - see fixture schedule
- Conduit run concealed in ceiling or wall - see note below
- Conduit run underfloor or underground
- (S), (L) Night Light, Evening Light
- "A" SCHEDULE DETAIL, "B-1" SIGNIFIES SHEET NUMBER
- NO CROSSBAR OR CONDUIT RUN INDICATES 3/4" CONDUIT, TWO #12 CONDUCTORS. CROSSBARS INDICATE NUMBER OF #12 CONDUCTORS IN CONDUIT. CONDUCTOR SIZE OTHER THAN #12 NOTED ON DRAWING.

GENERAL NOTES

- VERIFY AND COORDINATE POWER REQUIREMENTS AND POINT OF SERVICE ENTRANCE WITH OWNER. VERIFY COST IN EXCESS OF THEIR "NO COST" PROVISIONS AND PAY ALL COSTS.

CONTRACT: DICK PETERS
 8200 "B" STREET
 P.O. BOX 15430
 SACRAMENTO, CA 95813
 PHONE: (916) 482-1111, EXT. 421

- VERIFY AND COORDINATE TELEPHONE REQUIREMENTS AND POINT OF SERVICE ENTRANCE WITH PACIFIC TELEPHONE. VERIFY COSTS IN EXCESS OF THEIR "NO COST" PROVISIONS AND PAY ALL COSTS.

CONTRACT: CHUCK ROBERTS
 PACIFIC TELEPHONE (ERIC)
 2125 SUTLAND DRIVE, ROOM 14J
 P.O. BOX 15628
 SACRAMENTO, CA 95813
 PHONE: (916) 482-1871

FIXTURE SCHEDULE

| SYMBOL | MANUFACTURER | CATALOG ID. | LAMPS | REMARKS |
|--------|-------------------------|------------------------------------|------------|--------------|
| A | ARCHITECT AREA LIGHTING | AL3350-2/250 EPB-277V-16" POLB-038 | (2) L0 250 | POLE TOP |
| B | ARCHITECT AREA LIGHTING | AL3350-4/250 EPB-277V-16" POLB-038 | (4) L0 250 | POLE TOP |
| C | ARCHITECT AREA LIGHTING | AL3350-1/250 EPB-277V-16" POLB-038 | (1) L0 250 | POLE TOP |
| D | ARCHITECT AREA LIGHTING | AL3350-2/70 EPB-277V-16" POLB-038 | (2) L0 70 | POLE TOP |
| E | HOLDFRAME | 1489-277V-1P-80-82" | (1) L0 150 | WALL MOUNTED |

- FIXTURE GENERAL NOTES**
- PROVIDE FIXTURE WITH BALLAST FOR 265 VOLT OPERATION.
 - MOUNT FIXTURE POLE 5'-0" FROM EDGE OF CURB.
 - PROVIDE FIXTURE WITH POLE BASE AND NECESSARY HARDWARE AS REQUIRED TO PROVIDE A COMPLETE INSTALLATION. FIXTURE POLE BASE SHALL HAVE A TOTAL LENGTH OF 4'-4" WITH 6" 80. REINFORCED CONCRETE BASE (ADJUST FINISHED GRADE) WITH 1" CRACKER, FULL BASE COVER AND ANCHOR BOLTS PER MANUFACTURER'S TIE BOLTS TO REBAR. 4" x 4" x 24" DIAMETER RIBBED CONCRETE BASE (INCLUDE FINISHED GRADE). REBAR "CACT" # 5 VERTICAL LAPPED WITH ANCHOR BOLTS. PROVIDE #3 LOOP TIES AT 12" O.C. (TYPICAL). FIXTURE TYPE "1" SIMILAR EXCEPT BASE 42" x 18" DIAMETER.

A SITE PLAN
SCALE 1" = 20'-0"

NORTHGATE BLVD.

002263

PERMS Engineering
 1000 S. 10th St., Suite 200
 Sacramento, CA 95811
 Phone: 487-2500

Thomas A. Harris
 F 42 96 Jan 42 200851

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| REVISIONS | BY |
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DATE: 1-5-84
 SHEET NO: 80.00
 DRAWING NO: 80046
 PROJECT: E-1

CONSTOCK JOHNSON ARCHITECTS
 1018 4th St.
 SACRAMENTO CALIFORNIA 95811
 916 482 5444

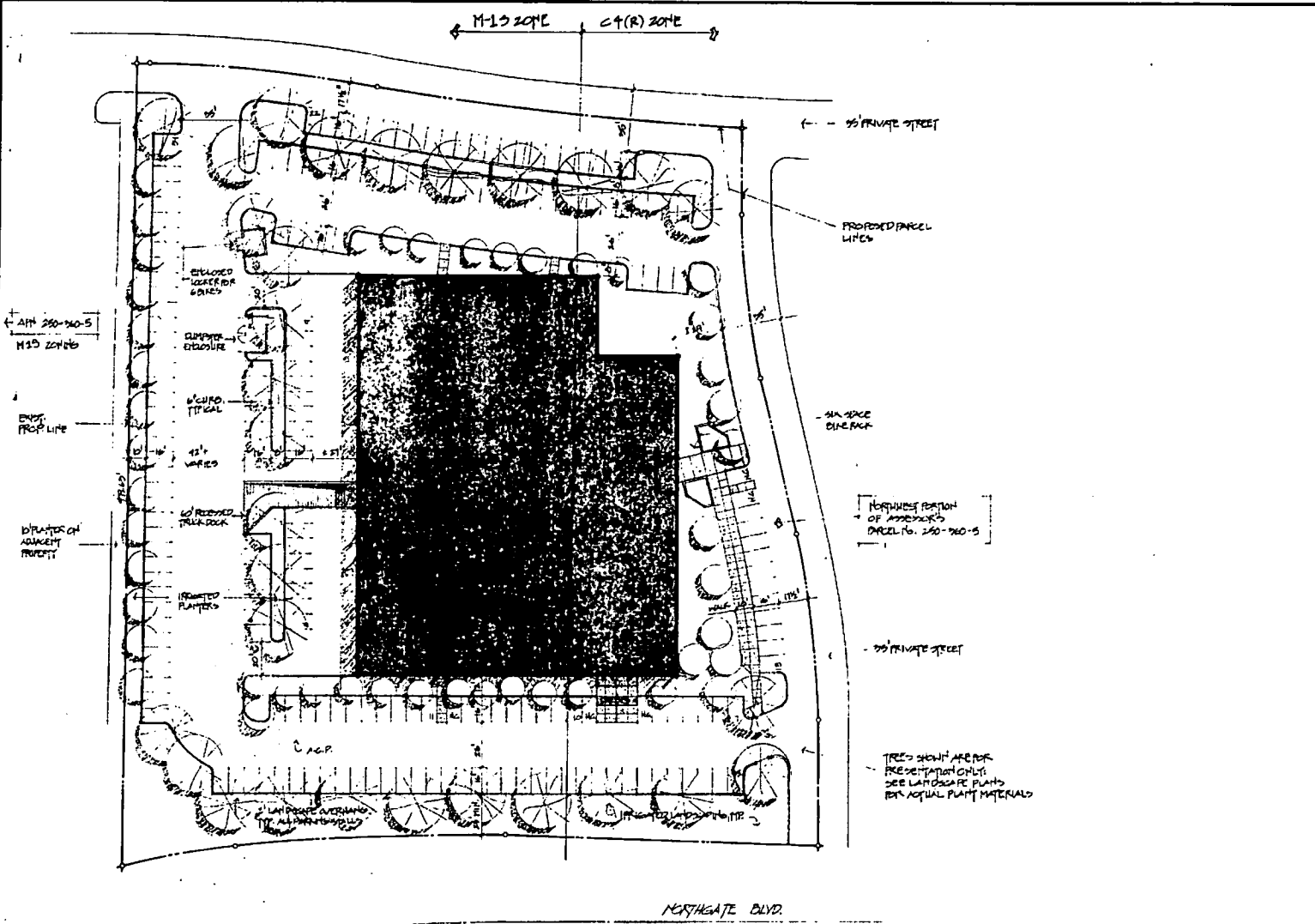
JOHN W. Y. JR.
 1018 4th St.
 SACRAMENTO, CA 95811
 916 482 5444

HOSPITAL NORTHGATE 2000 4th St. 95811

P-84005

March 8, 1984

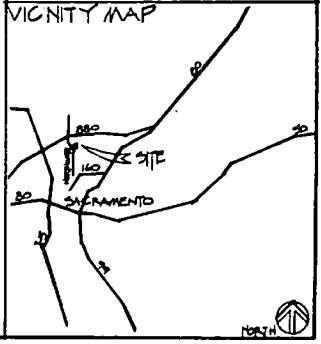
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SITE
1"=30'

DATA:
SITE AREA - 5.965 ACRES ± 173,581 SQ. FT.
BUILDING AREA - 49,116 SQ. FT.
BUILDING PARCEL COVERAGE: 49,116 ÷ 173,581 = 28%
ZONING: M (S) & C-4 (R)
PROVIDED: 204 TREES
RATIOS - 4.7 PER-1000 SQ. FT. OF BLDG.
 47.1 PER 1000 SQ. FT. OF BLDG.
 11.5 PER 1000 SQ. FT. OF BLDG.

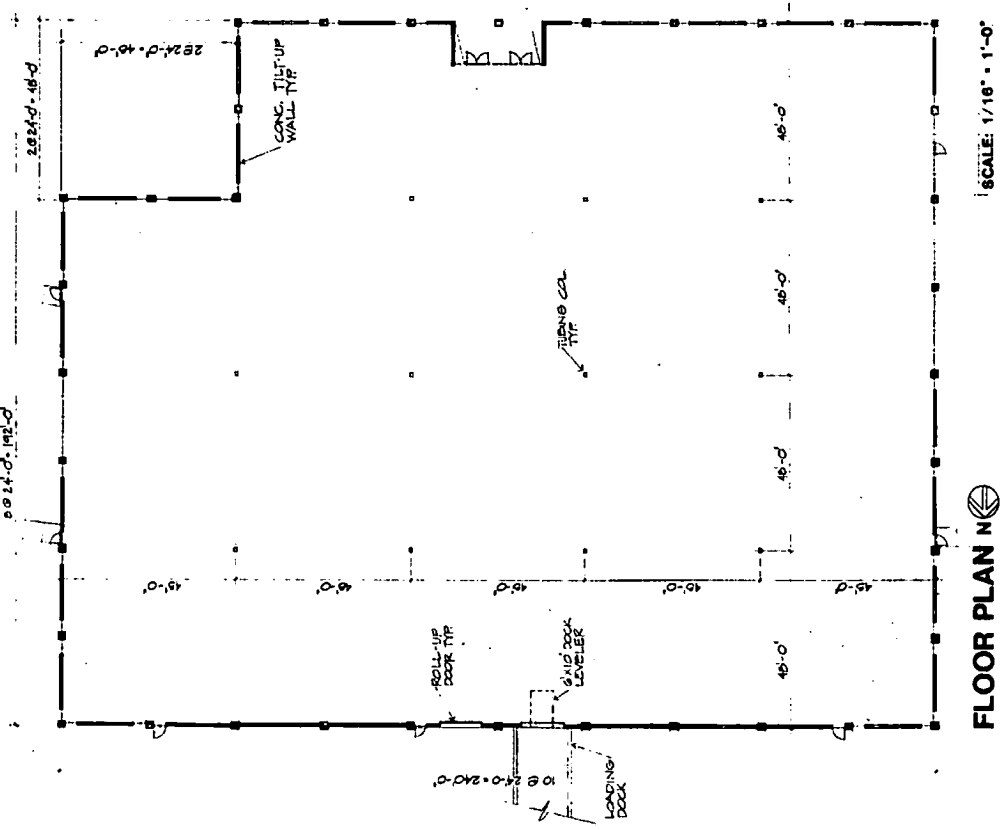
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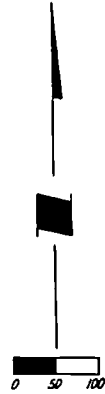
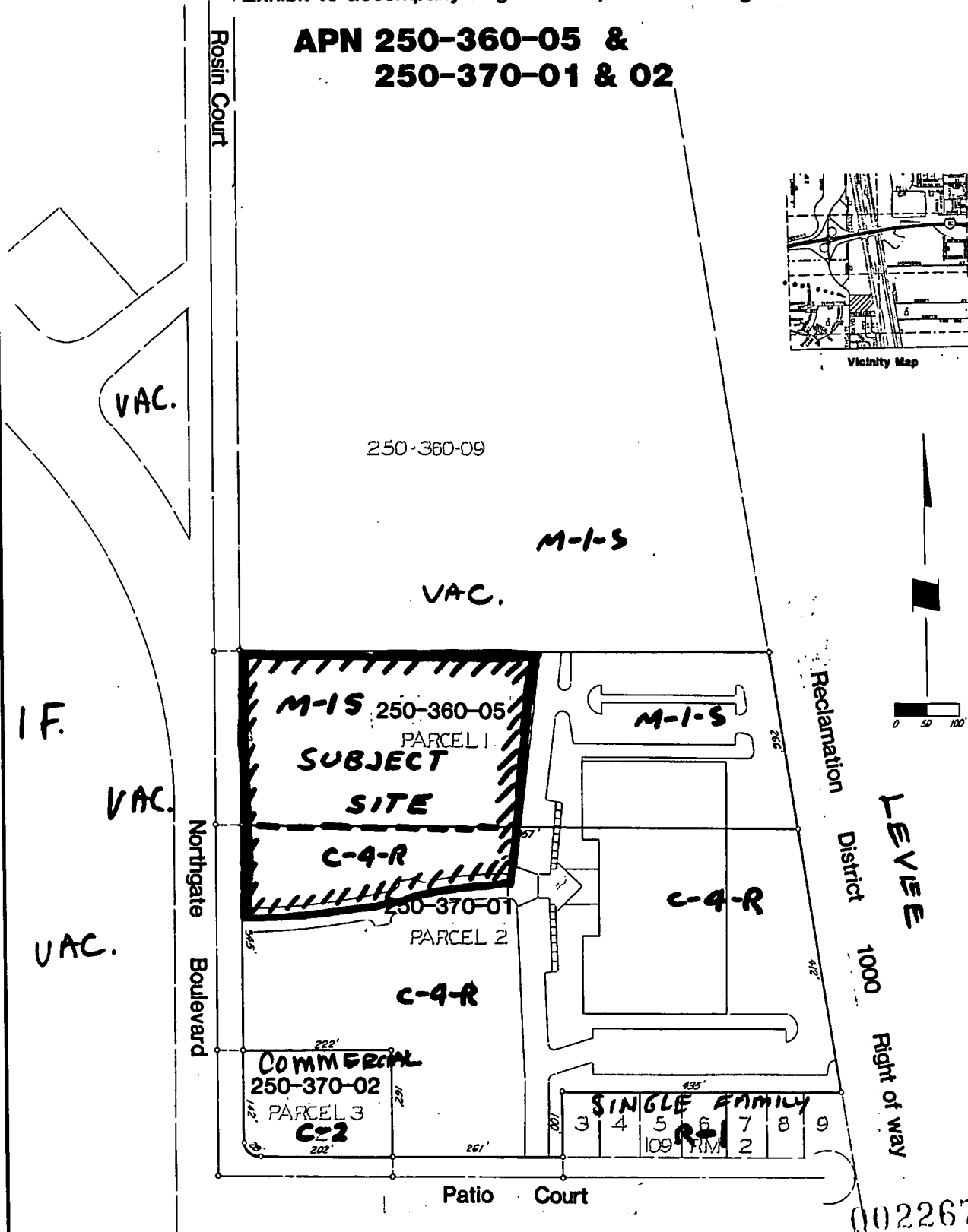
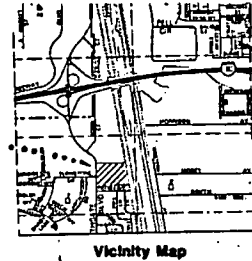
SCALE: 1/16" = 1'-0"

FLOOR PLAN N

March 8, 1984

Exhibit to accompany Legal Description for Merger

APN 250-360-05 & 250-370-01 & 02



NOTE: Existing curb, gutter, and sidewalk on Patio Court.
 Site is currently vacant with proposed improvement plans currently being reviewed by the City Engineer's Office
 Development plans being reviewed by City Planning

SURROUNDING LAND USE

002267