

CITY PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT Julie Arnold, 7728 Wilbur Way, Sacramento, CA 95828
OWNER Carl Panattoni, 7728 Wilbur Way, Sacramento, CA 95828
PLANS BY Leo McGlade Associates
FILING DATE 6-30-87 **ENVIR. DET.** Cat. Ex. 1506(b)(3) **REPORT BY** DJH:tc
ASSESSOR'S-PCL. NO. 237-022-044

APPLICATION: Plan Review to allow construction of two warehouse/office buildings totaling 103,680+ square feet on 5.03+ vacant acres in the Light-Industrial-Review (M-1(S)-R)

LOCATION: West side Kelton Way 300+ feet south of Main Avenue

PROPOSAL: The applicant is requesting the necessary entitlements to construct two warehouse buildings of 45,360+ square feet and 58,320+ square feet each.

PROJECT INFORMATION:

1974 General Plan Designation: Industrial
1984 North Sacramento Community
Plan Designation: Industrial
Existing Zoning of Site: M-1(S)R
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Warehouse/Office & Vacant; M-1(S)R	Front:	25 ft.	25 ft.
South: Single Family; R-1	Side(Int):	5 ft.	13 ft.
East: Single Family; R-1	Side(St):	0 ft.	0 ft.
West: Furniture Mnft; M-1(S)R	Rear:	0 ft.	5 ft.

Parking Required: 135 spaces @ 20% Office and 80% warehouse
Parking Provided: 135 spaces
Property Dimensions: 633' x 364'
Property Area: 5.03+ acres
Square Footage of Building: Office = 20,736 sq. ft.;
Warehouse = 82,944 sq. ft.;
Total = 103,680 sq. ft.
Height of Building: 29 ft., one-story
Topography: Flat
Street Improvements: Existing
Utilities: Existing
Exterior Building Materials: Concrete tilt-up
Roof Material: Tar
Estimated Number of Employees: 153

Project History:

In 1971 the site was approved for a rezone from Agriculture to Light Industrial Park (M-1S-R) zone uses were allowed.

Project Evaluation: Staff has the following comments:

A. Land Use and Zoning:

The subject site contains 5.03± vacant acres in the Light Industrial-Review (M-1(S)R) zone. The 1984 North Sacramento Community Plan designates the site as Industrial. Adjacent land uses include single family residential to the south and east, a furniture manufacturer and warehouse to the west, and warehouse and truck terminal to the north across Main Avenue with a window manufacturer and electronics assembly plant immediately north of the site.

The site is subject to Plan Review by the Planning Commission and is required to have a 25 foot landscape setback along public street frontages.

The subject site is currently vacant with a storm drain sewer line and easement bisecting the site. Street improvements of curb, gutter and sidewalks are installed along Kelton Way.

B. Site Plan Evaluation:

Staff has several concerns over the proposed project which will require site plan modification. (Refer to Exhibit A, staff modified site plan).

1. Setbacks: The proposed buildings are very massive with 29 feet of height. In order to buffer the wall effect from the residential properties to the south, staff recommends increasing the setback along the south property line to 25 feet from the proposed 13 foot setback for building B. Staff also recommends extensive landscaping with evergreen trees on 20 foot centers consisting of redwood and pine trees. Groundcover should be turf with a walkway and employee break areas established. Trees shall a minimum of five gallon size. The 25 foot landscape strip shall run along the entire south property line.

The building setback along Kelton is proposed at 25 feet. Staff observes that the Havlin - Witkin building is setback approximately 88 feet from the setback edge. Staff recommends that building B be setback 50 feet or more. The applicant suggested that in order to maintain a 25 foot building setback along Kelton Way, that he is willing to reduce the height from 29 feet to between 10 and 15 feet for the storefront window panels and install a sloping roof back to the 50 foot setback line where the height of the wall would be 29 feet. The revised site plan and elevations should show one of the two alternatives.

Staff recommends landscaping in the front setback area a minimum of 25 feet in width with three to four foot high undulating berms. Intensive tree and shrubbery are to be provided with lawn ground cover. Trees shall include a mix of five and 15 gallon and 24 inch boxed specimen tree sizes on centers of 15 feet as a minimum. Clustering and

accenting trees is recommended with at least 50 percent of the trees along Kelton Way as evergreen trees. All landscaped areas are to have automatic irrigation.

2. Wall Requirement: The Zoning Ordinance requires a minimum six foot high solid masonry wall separating residential from non-residential uses. Staff field inspected the site and noted that Kanowsky Furniture, locate due west of the site has an eight foot high solid wall. The wall is located at the original base grade elevation with the parking lot finish grade elevation nearly four feet higher so that the effective wall height is only four feet. Staff recommends that the new six foot high wall be constructed at the top of the fill slope or on top of a retaining wall. The six foot height of the wall shall be measured from the warehouse side grade elevation. The wall of the building will also provide a buffer for any potential noise from the north side of the building.
3. Reorient Building A: Building A has two proposed below grade loading docks which will generate noise to the residences to the south. Staff recommends that building A be reoriented so that the loading bays face to the north. The building will be required to observe the storm drainage easement. Landscaping is recommended between the two buildings. In turning the building the rear wall will serve as a noise barrier.
4. Landscape - North Property Line: Staff reviewed the landscaping and recommends a 10 foot wide landscape strip along the north property line to be planted with trees, shrubbery and living ground cover. A six foot high decorative wrought iron fence is recommended to provide security and an aesthetically pleasing transition to the residential area along Kelton Way and up to the Havlin Witkin setback. Chain link fencing is appropriate for the remaining north fence line. Parking along the north property line shall include a two foot vehicle overhang into the landscape strip. No portable concrete wheel stops will be allowed. All landscape areas are to be bordered by a six inch raised poured in place concrete curb. Razor ribbon wire shall not be used. Due to the truck loading dock locations opposite a row of parking along the north property line, the normal 105 foot distance required for a semitruck-trailer combination movement would be reduced to 99 feet. Staff recommends the total landscape width along the north property line opposite Building B's loading docks be six feet in width and that the spaces be reserved for compact cars only. This would maintain the minimum 105 feet for vehicle maneuvering with the repositioning of Building B to the north by 12 feet. Refer to Exhibit A for the location of the reduced landscape planter.
5. Parking: A total of 135 parking spaces are shown on the proposed site plan based upon a maximum of 20 percent office and 80 percent warehouse use.

spaces Office Area = 20,736 square feet @ one space per 400 = 52
spaces Warehouse = 82,944 square feet @ one space per 1,000 square feet = 83
Total = 1,355 spaces

City Ordinance allows up to 25 percent office use in conjunction with a warehouse use by right. Office use over 25 percent requires a Planning Commission Special Permit. Any change in square footage or use mix will require modification to the Plan Review. All surface parking areas and maneuvering areas are required to meet the minimum 50 percent shading requirement.

6. Lighting: No detailed lighting was provided for staff review. Staff recommends that all lighting be directed on-site and not reflect off-site. Use of low level pole lights and boxed fixtures shall be included for building permit review. Lamp poles shall not exceed 20 feet in height. Any lighting proposed along the south property line or west property line shall not glare onto residentially zoned property to the south.
7. Exterior Loudspeakers: Problems with exterior public address systems have developed along Pell Drive for residents of Bollenbacher Avenue. Staff recommends that no external public address system be allowed for any tenant. Paging systems within each building are permissible so long as not audible from outside the building.
8. Parking Lot Fingers: In revising the site plan, staff recommends that no more than 15 consecutive parking spaces be shown without installation of tree well finger planters. The fingers will break up the long monotonous appearance of parking spaces without variation.
9. Trash Enclosure: The revised site plan shall include trash enclosures meeting trash enclosure guidelines. Trash enclosures are to be located more than 100 feet from residential uses.
10. Wingwall - Building B: Staff recommends that a 10 feet high solid masonry wing wall (decorative material) be constructed adjacent to the east side of the east loading dock on Building B for the 60 feet of length of the dock. The purpose of the wall is to deflect sounds from loading dock activity. Staff also recommends attaching a rolling gate constructed of decorative wrought iron to the wall and continue the fence to the north property line.

C. Elevation Evaluation:

Staff has major objections to the proposed project's elevations. Due to the proximity to single family dwellings, the stark contrast between two, 50,000 square foot warehouse buildings and residences is drastic. Staff proposes

the following changes in order to lessen the impact such large massive buildings have on adjacent residential uses. Overall, staff would prefer the total redesign of the project to smaller commercial buildings similar to those being built along Pell Drive in the City and North Market and Northgate Boulevard in the County.

1. Building B - East Elevation

The 180 feet of Building B facing Kelton Way is stark, bland and uninteresting. Staff recommend the applicant redesign the east elevation to have more three dimensional relief by adding store front windows and either project or recess them with use of awning or canopy feature so that the wall has movement and interest. Windows shall be reviewed and approved by the design review coordinator.

Staff also notes that no relief is proposed on the concrete panels. Staff recommends the applicant incorporate a two to three foot high formliner along the top elevation of each panel with two, three inch wide, one inch deep reveal lines. The formliner and reveal bands are to circle the buildings. In addition, all walls facing the south property line shall include vertical bands or relief features at each joint. The vertical feature may be painted a trim color compatible with the overall project.

2. Colors:

No colors were indicated by the applicant. Staff recommends that elevations visible from Kelton Way be a sandblasted exposed aggregate surface similar to the buildings constructed at 110 and 120 Main Avenue. Paint is allowed on the window trim and accent trim. The roll-up doors and entry doors shall be painted a color to match the building. the color scheme for both buildings shall be reviewed and approved by the Planning Director. Colors shall be earth tone and be compatible with the colors present on the single family dwellings east across Kelton Way and to the south along Bollenbacher. Staff recommends a sandblasted concrete finish on all exterior surfaces rather than painted walls.

D. Tenants:

No specific tenants are identified for use of the buildings. The Zoning Ordinance allows a variety of uses in the M-1 zone which may create potential conflicts with the residences in the area. Staff recommends that the applicant record in lease arrangements that no activity is to occur where noise, dust or emissions are generated which violate noise or air quality standards. No outdoor storage of materials is to occur which is not screened.

Staff also recommends that the hours of operation of the facility be restricted to 6 a.m. to 9 p.m. Monday through Friday and 8 a.m. to 6 p.m. on

Saturday and Sunday.

E. Off-Site Impacts:

1. Kelton Way Parking:

Tenants may use Kelton Way for parking. In order to minimize commercial impacts on the residential area, staff recommends that the applicant require future tenants to not park trucks or automobiles on Kelton Way. The street shall be posted "No Overnight Parking" adjacent to the project site. All trucks are to be parked on-site.

2. Kelton Way and Main Avenue Intersection:

Staff has received a center expressing concerns regarding the level of improvements at the Kelton - Main Avenue intersection. They feel the project will create an adverse traffic situation if 153 employees and increased truck traffic is added to the intersection. Area residents are concerned that the City has not improved the intersection to be safer. The City Traffic Engineer commented that the intersection is not operating at an unsafe level and that the design is adequate.

F. Signage:

The applicant has not submitted any signage for the project. Staff recommends that applicant submit a detailed sign program for the entire site. Staff recommends one monument identification sign with no internal illumination. The monument sign shall e a maximum height of six feet. Any storefront signs facing Kelton Way shall not be illuminated. All other signs shall comply with the City Sign Ordinance.

G. Agency Review:

The proposed project was reviewed by the City Engineer, Traffic Engineer, Building Inspection and Meadows Development Association with comments received as noted. The Meadows Development Association has contacted staff and has submitted a letter (Exhibit B) and petition prior to the Commission hearing.

The City Engineers office commented that necessary on-site drainage would be required and that a minimum of 10 feet shall be shown for the driveway off Kelton from the property line to the edge of the driveway.

ENVIRONMENTAL DETERMINATION: The proposed project is exempt from environmental review pursuant to State EIR Guidelines (CEQA, Section 15061(b)(3)).

STAFF RECOMMENDATION: Staff recommends that the Commission take the following actions:

Approve the Plan Review subject to conditions and based upon findings of

fact which follow:

Conditions: Plan Review

1. The applicant shall prepare a revised site plan, landscaping and irrigation plan for review and approval by the Planning Director prior to issuance of building permits (Refer to Exhibit A).
2. The applicant shall revise the exterior elevations to the satisfaction of the Planning Director and Design Review Coordinator. All colors and material are to be included in the revised elevations.
3. Future tenants shall be informed in their lease arrangements that no activity is to occur where noise, dust or emissions are generated.
4. Every use, activity, and process shall be so operated that regularly recurring noises are not disturbing or unreasonably loud, and do not cause injury, detriment, or nuisance to any person. Every use, activity and process in business and industrial areas shall be so operated that regularly recurring noises, as detected by the human sense of hearing, without instruments, at adjoining residential district boundary lines, shall not exceed the normal level generated by uses permitted in warehouse and office districts. All uses are to comply with the City Noise Ordinance.
5. Every use shall conform to the rules and regulations of the Air Pollution Control District, County of Sacramento, and these regulations, and shall serve as minimum guidelines for determining permissible emissions. No outdoor storage of materials is to occur which is not screened.
6. Hours of operation shall be restricted to be from 6 a.m. to 9 p.m. Monday through Friday and 8 a.m. to 6 p.m. on Saturday and Sunday. No delivery or work is to occur during the evening hours.
7. All tenants shall be informed that no parking is allowed on Kelton Way for either cars or trucks. All vehicles are to be parked on the premises. Conditions 3 and 5 are to be recorded in all lease agreements. The Planning staff shall review and approve the wording in the lease agreement prior to issuance of building permits.
8. The applicant shall submit a uniform sign program for the review and approval by the Planning Director prior to issuance of any sign permits.
9. Kelton Way street frontage is to be posted "No Overnight Parking".
10. Lighting design shall be such as not to produce a hazardous and annoying glare to motorists, building occupants, or to the general public.

11. Lighting is to be oriented away from the properties adjacent to the site.
12. Minimum parking dimensions shall correspond to the City Zoning Ordinance, except that the front two feet of all stalls, the areas into which the vehicle bumper overhangs, shall be incorporated into adjacent landscape or walkway improvements. No individual prefabricated wheel stop will be permitted. A continuous six inch raised poured in-place concrete curb shall be provided along all landscape areas abutting parking or drives.
13. A minimum 50 foot street setback from building shall be provided on Kelton Way if building height remains 29 feet.
14. Building height shall be limited to 29 feet.
15. Building setback from residential areas shall be 25 feet.
16. The Kelton Way setback may be decreased to within 25 feet if the height is reduced to between 10 to 15 feet from the proposed 29 feet.
17. Temporary structures will only be permitted if they are attendant to the construction of a permanent building and shall be placed at the start of construction and removed at completion of construction.
18. Such structures shall be as inconspicuous as possible.
19. Large items such as air conditioning, ventilating, or other mechanical equipment shall be screened or enclosed in such a manner as to hide such equipment. The design and material of the screening shall be compatible with the building architecture.
20. The projections shall be painted to match the roof or building.
21. All mechanical equipment, utility meters and storage tanks shall be screened and architecturally designed to be an integral part of the building.
22. Penthouses and mechanical equipment screening shall be of a design and material similar to and compatible with those used in the buildings.
23. Underground utility services throughout the project will be required.
24. All mechanical equipment shall be located in such a manner so as not to cause a nuisance or discomfort from noise, fumes, odors, etc.
25. Finish building materials shall be applied to all sides of a building which are visible to the general public and the occupants of other buildings.

26. Untextured concrete block exposed to the exterior or large surfaces of untextured tilt-up concrete panels shall not be acceptable unless approved by the City of Sacramento Planning Department.
27. The general overall atmosphere of color shall be natural tones. Wood, natural stone, brick and dark anodized aluminum finishes, etc., shall be the background colors. Accent colors shall be used whenever necessary.
28. GARAGE, LOADING DOCK, AND OTHER SERVICES AREAS

These elements shall be so located as to cause no nuisance to the general public or occupants of the other buildings.

- a. The walls of the trash enclosure structure shall be constructed of solid masonry material with decorative exterior surface finish compatible to the main structure. Split face concrete block finish is recommended. The decorative finish is only required on walls facing the public street.
- b. The trash enclosure structure shall have decorative heavy gauge metal gates and be designed with cane bolts on the doors to secure the gates when in the open position.
- c. The trash enclosure facility shall be designed to allow walk-in access without having to open the main enclosure gates.
- d. The walls shall be minimum six feet in height, more if necessary for adequate screening.
- e. The perimeter of the trash enclosure structure shall be planted with landscaping, including a combination of shrubs and/or climbing evergreen vines.
- f. A concrete apron shall be constructed either in front of the trash enclosure facility or at point of dumpster pickup by the waste removal truck. The location, size and orientation of the concrete apron shall depend on the design capacity of the trash enclosure facility (number of trash dumpsters provided) and the direction of the waste removal truck at point of dumpster pickup.

The minimum dimensions of the concrete apron for a single, two cubic yard dumpster shall be: width 10 feet or width of enclosure facility; length 20 feet. Larger trash enclosure facilities shall require a larger concrete apron, subject to the approval of the City Building Inspections Building Technicians (Plan Checker).

Paving material shall consist of 5 inches aggregate base rock and six inches portland cement paving.

- g. The trash enclosure shall be located a minimum of 100 feet from any residential zone or use. No unenclosed trash bins are allowed. No outdoor storage of refuse is allowed.
 - h. The enclosure shall be adequate in capacity, number and distribution.
29. The following Sign Regulations shall be reflected in preparation of a uniform signage program for the site.

SIGN REGULATIONS:

- a. A sign program shall be submitted to the City Planning staff if submitted subsequent to the City Planning Commission special permit hearing.
- b. Flashing, moving, or audible signs will not be permitted.
- c. In no case shall the wording of signs describe the products sold, prices, or any type of advertising except as part of the occupant's trade name or insignia.
- d. No signs shall be permitted on canopy roofs or building roofs.
- e. No sign or any portion thereof shall project above the building or top of the wall upon which it is mounted.
- f. All attached building signs shall be placed flat against the building.
- g. Freestanding pole signs shall not be permitted with the exception of one monument sign.
- h. No sign shall be specifically designed or oriented to be viewed from Main Avenue.
- i. No signs perpendicular to the face of the building shall be permitted.
- j. No signs shall be attached to the Kelton Way frontage which are illuminated.

DESIGN REQUIREMENTS, SIGNS

- a. Signs shall be located only as shown on the approved schematic plan.
- b. All electrical signs shall bear the UL label and their installation must comply with all local building and electrical codes.

- c. No exposed conduit, tubing, or raceways will be permitted.
- d. No exposed neon lighting shall be used on signs, symbols, or decorative elements.
- e. All conductors, transformers, and other equipment shall be concealed.
- f. All signs, fastenings, bolts, and clips shall be of hot dipped galvanized iron, stainless steel, aluminum, brass or bronze.
- g. All exterior letters or signs exposed to the weather shall be mounted at least three fourth inch (3/4") from the building to permit property drainage.
- h. The location of all openings for conduit and sleeves in sign panels of building wall shall be indicated by the sign contractor on drawings submitted to the Design Review Coordinator. The installation shall be in accordance with the approved drawings.
- i. No signmakers' labels or other identification will be permitted on the exposed surface of signs, except those required by local ordinance which shall be located in an inconspicuous location.
- j. Painted lettering or signs shall not be permitted.

DESIGNATED PARK PROJECT IDENTIFICATION SIGN

- a. One non-illuminated monument sign as defined by Section 3.520 of the City Sign Ordinance shall be allowed for the Industrial Park.
- b. Maximum area of sign: 48 square feet.
- c. Maximum height of sign: 12 feet from street or parking lot grade, whichever is less.
- d. Location: to be located at the major entry off Kelton Way. The sign may be placed in the setback area; however, it must be located farther than 10 feet from the public right-of-way and from any driveway. No sign shall be allowed in the public right-of-way.

INDIVIDUAL BUSINESS/BUILDING SIGNS

One attached identification sign per building.

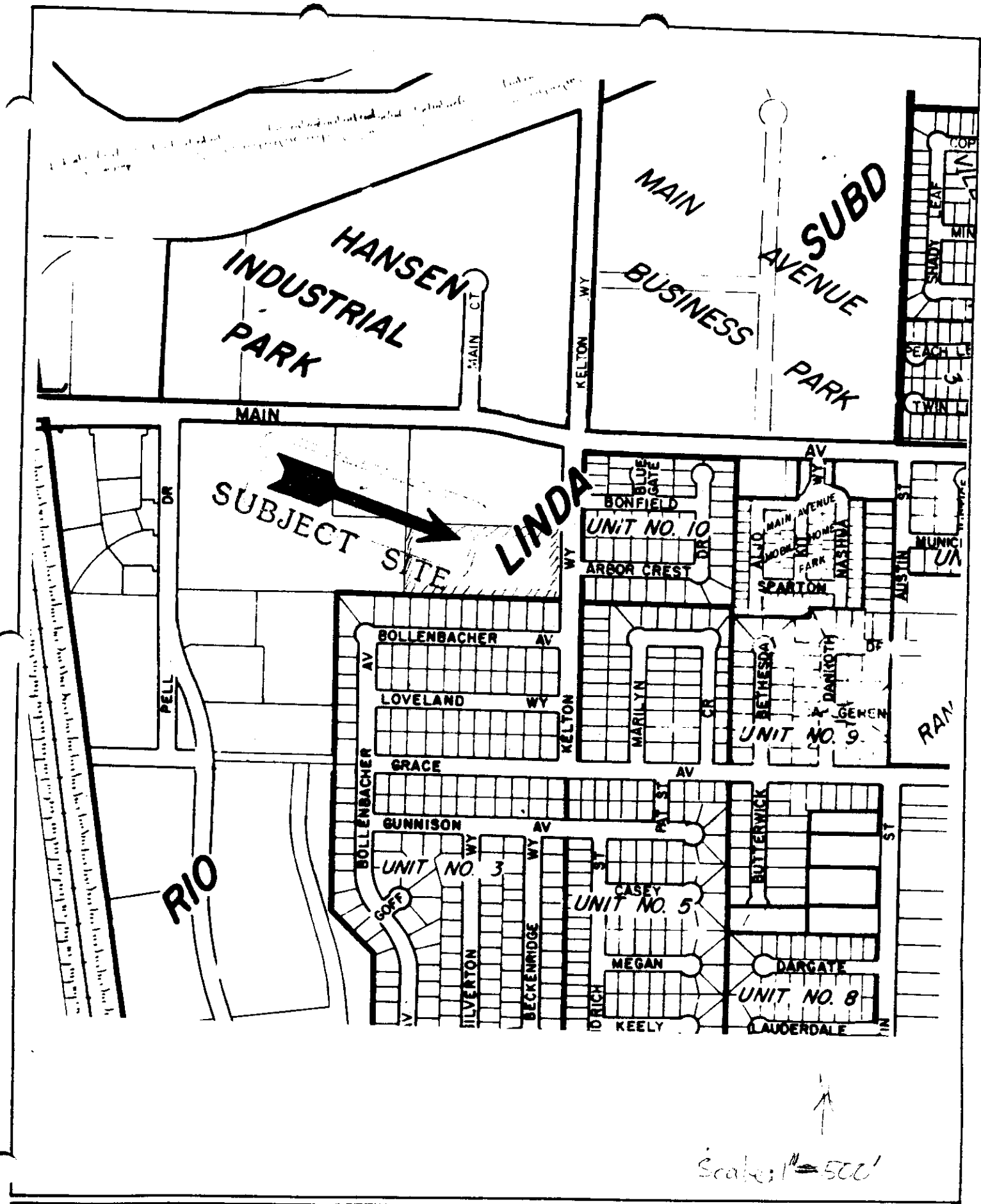
- a. Attached Sign: vertical height of sign or letters, including logo, shall not exceed two feet and overall size of sign shall not exceed 60 square feet. Each sign and business name shall consist of individual raised letter type. No canned plastic signs are

permitted.

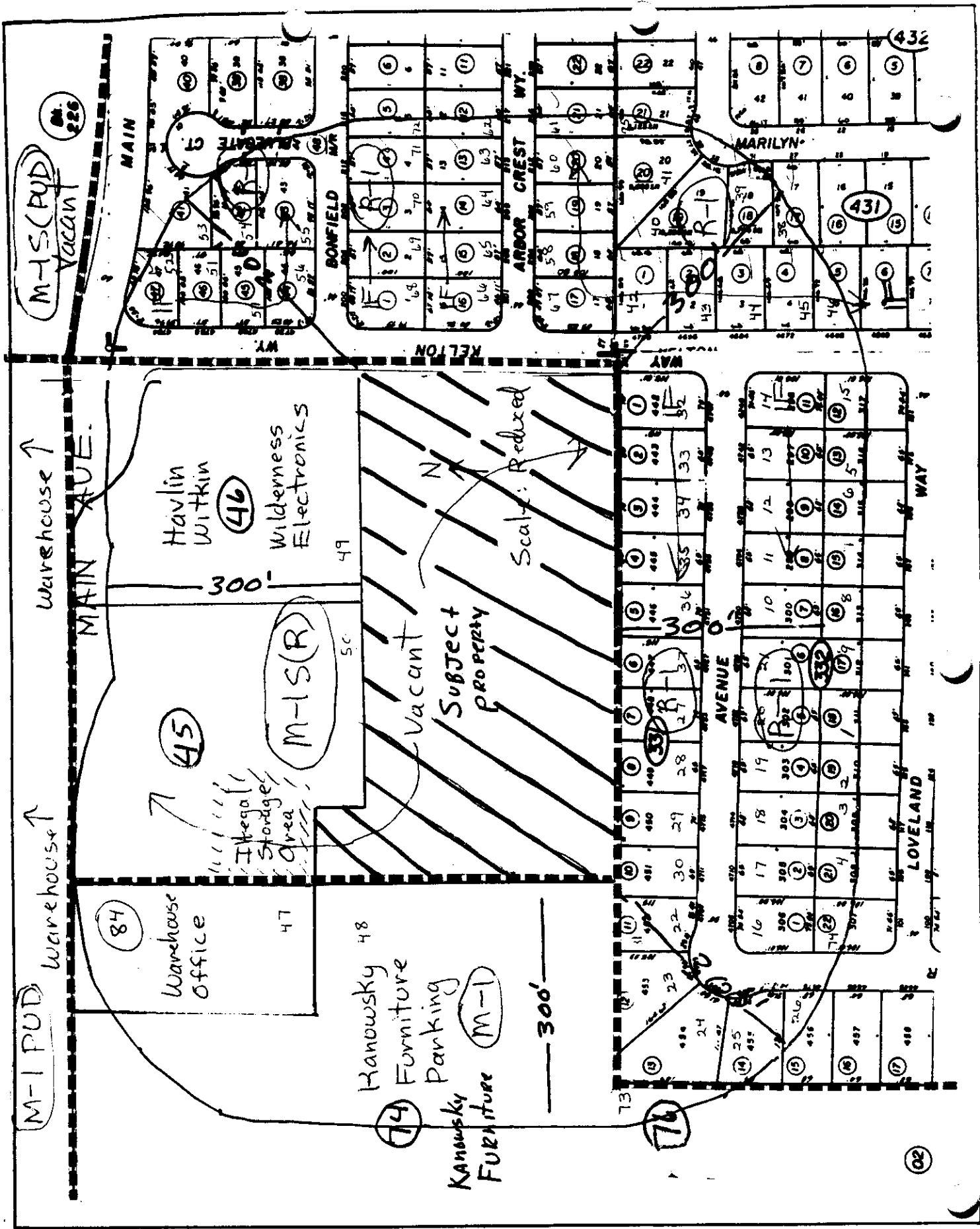
1. If an individual building has more than one tenant/occupant, each occupant is permitted one attached sign not exceeding two feet in height and 30 square feet in area.
 2. Each occupant shall be permitted a 2' x 2' (maximum area four square feet) directional/identification sign at each of their respective loading dock(s) if located on a side of the building without an identification sign.
30. All light poles shall not exceed 20 feet in height and contain boxed lamps so that illumination is confined to the project site.
 31. No exterior loudspeaker system is allowed. Interior paging systems are allowed so long as they are not audible outside the building.
 32. The parking lot redesign shall show tree finger wells where 15 or more consecutive parking spaces are located. The parking area shall comply with the City Tree Shading Ordinance.
 33. A wing wall 10 feet high, 60 feet long shall be constructed along Building A's east dock area.

Findings of Fact - Plan Review

1. The project, as conditioned, is based upon sound principles of land use, in that:
 - a. Revised building orientation and elevation enhancements will be more compatible with the newer industrial development of the area and residential uses to the east and south;
 - b. Intensive landscaping, walls, designs and on-site lighting will lessen the visual impact on the residential area;
2. The project, as conditioned, will not be injurious or detrimental to public health, safety or welfare or result in the creation of a nuisance in that adequate on-site parking will be provided.
3. The proposed project is found to be consistent with the City's Discretionary Land Use Policy based on review of the 1984 North Sacramento Community Plan which designates the site for industrial use and the proposed warehouse/office project conforms with the plan designation.



VICINITY MAP



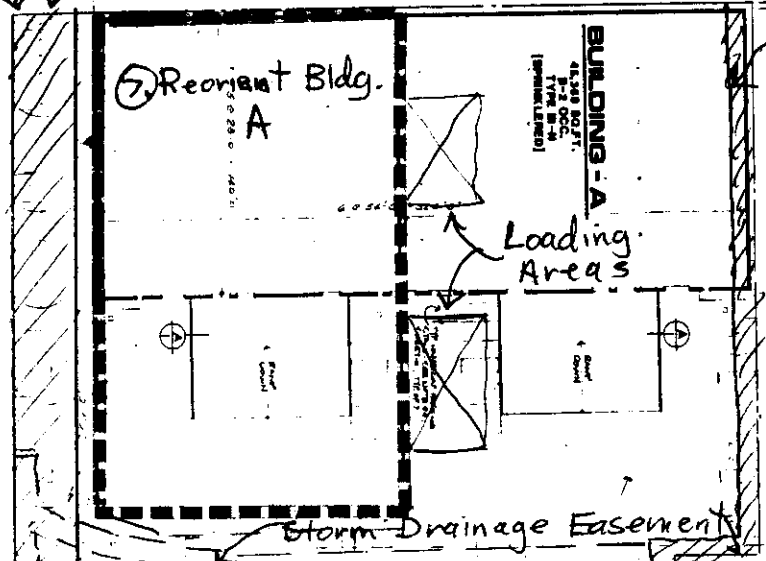
LAND USE & ZONING MAP

EXHIBIT A

STAFF MODIFIED SITE PLAN

- ① Add 6 ft high solid decorative masonry wall.
- ② Add 25 ft wide landscape strip along South property line.

SITE PLAN
FOR HAZARDOUS PATH OF TRAVEL REQUIREMENTS, SEE NOTE #5, SHEET X



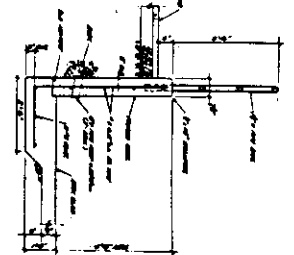
- ④ Add 10 ft. landscape planter strip along North property line - Reduce planter width to 6 ft. opposite truck loading bay's.

- ⑤ Add 6 ft high decorative wrought iron fence along North property line
- ⑦ Construct 6 ft chainlink fence behind Havlin - Within setback

- ⑧ Add 10 ft high wingwall length of Truck dock

- ⑥ Add wrought-iron security gate - roll top & Fence along Kelton behind 25 ft Setback or along wingwall

- ③ Increase Building Setback to 50 feet - Minimum of 25 feet landscaping from Kelton Way or reduce height of building to 12 to 15 feet at 25 ft. setback and increase to 29 ft. height at 50 ft. setback.

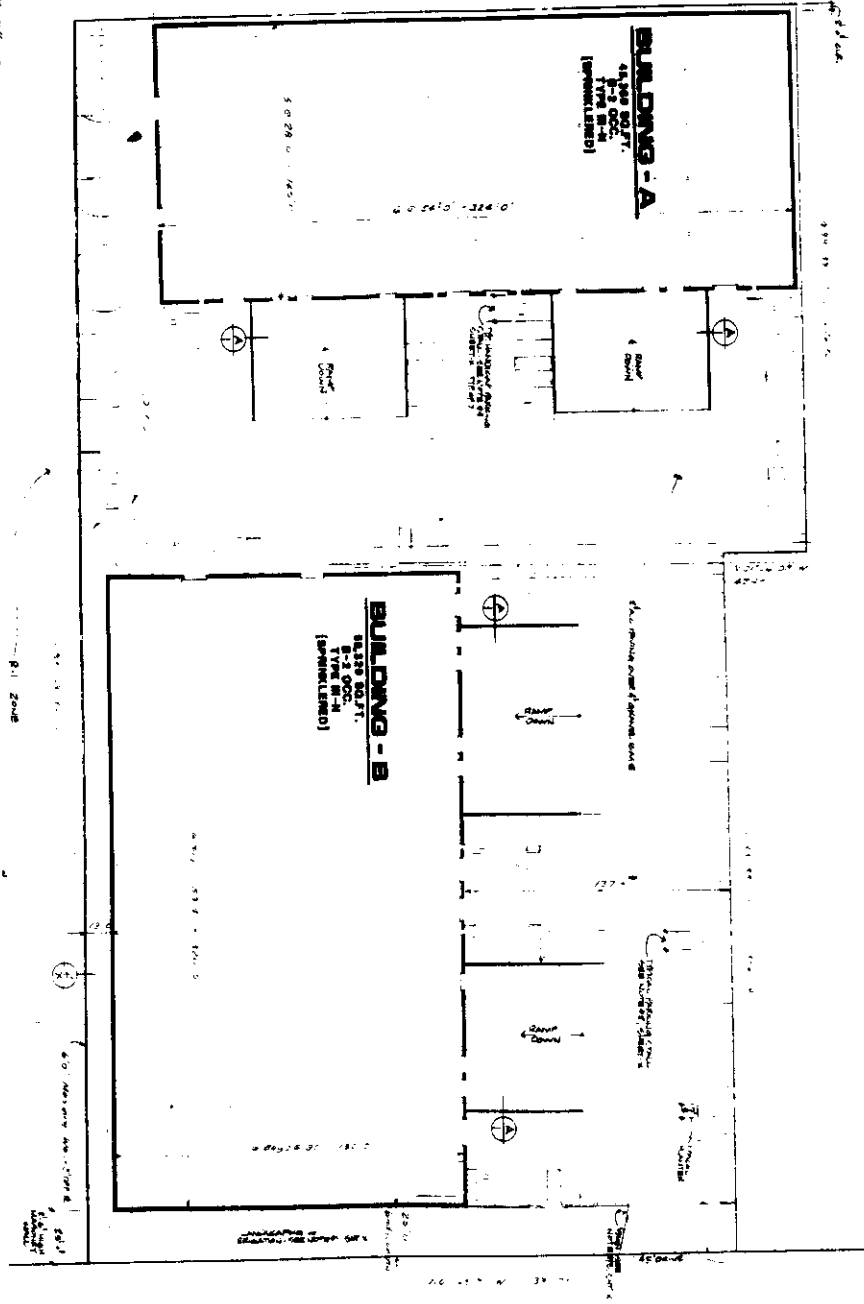


1	2nd STORAGE BUILDINGS KELTON WAY, SOUTH OF MAIN AVE. COUNTY OF SACRAMENTO, CA. CARL PANATTONI - DEVELOPER	SITE PLAN	 Leo McGlade & Associates, Inc. 1117 44th Ave. Suite 200 Sacramento, CA 95821 (916) 488-8100
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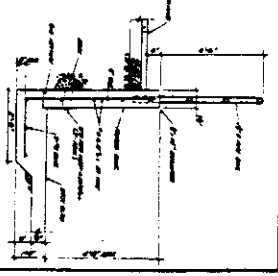
SITE PLAN

SITE PLAN

FOR HANDICAP "PATH OF TRAVEL" REQUIREMENTS, SEE NOTE #5, SHEET X



SECTION A-A



DATE: 8/13/87
 BY: [Signature]
 CHECKED: [Signature]
 PROJECT: 2- STORAGE BUILDINGS
 ADDRESS: KELTON WAY, SOUTH OF MAIN AVE., SACRAMENTO, CA.
 DEVELOPER: CARL PANATTONI

2- STORAGE BUILDINGS
 KELTON WAY, SOUTH OF MAIN AVE.
 COUNTY OF SACRAMENTO, CA.
 CARL PANATTONI - DEVELOPER

SITE PLAN

Leo McGlade & associates, inc.
 3417 Acacia Way, Suite A, Sacramento, CA 95825, 916-488-4382

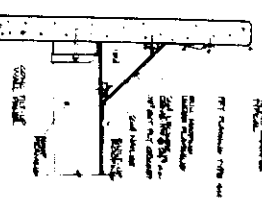
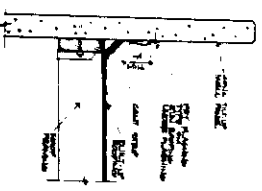
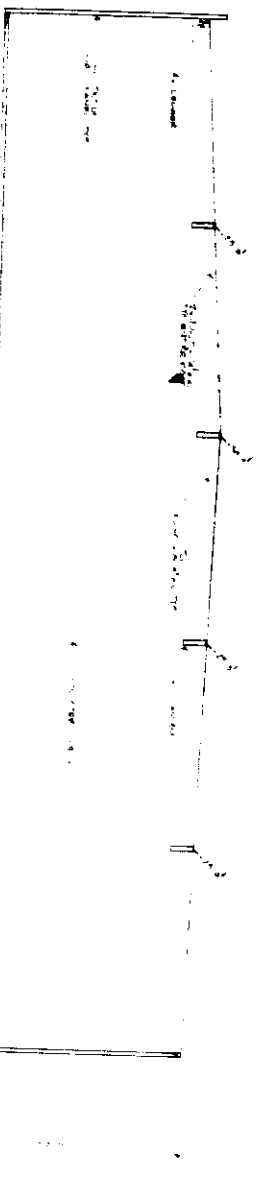
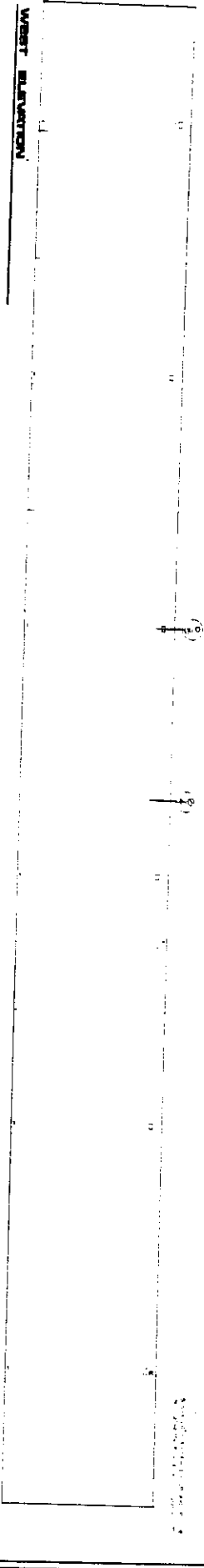
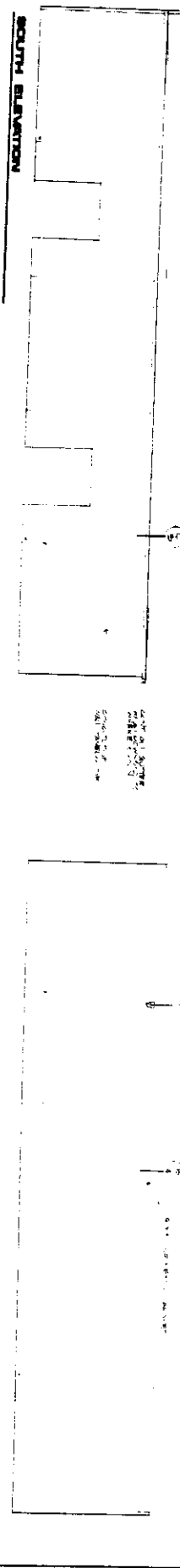
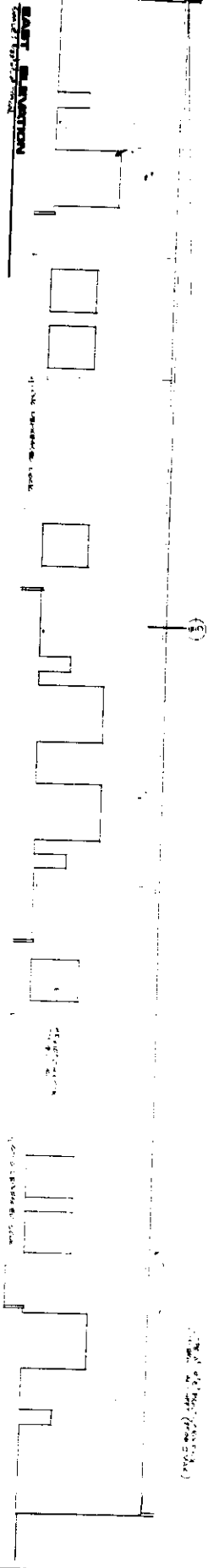
NO.	DESCRIPTION

7-292

8-13-87

item 11

ELEVATIONS



2- STORAGE BUILDINGS
 KELTON WAY, SOUTH OF MAIN AVE.
 COUNTY OF SACRAMENTO, CA.
 CARL PANATTONI - DEVELOPER

BUILDING - A

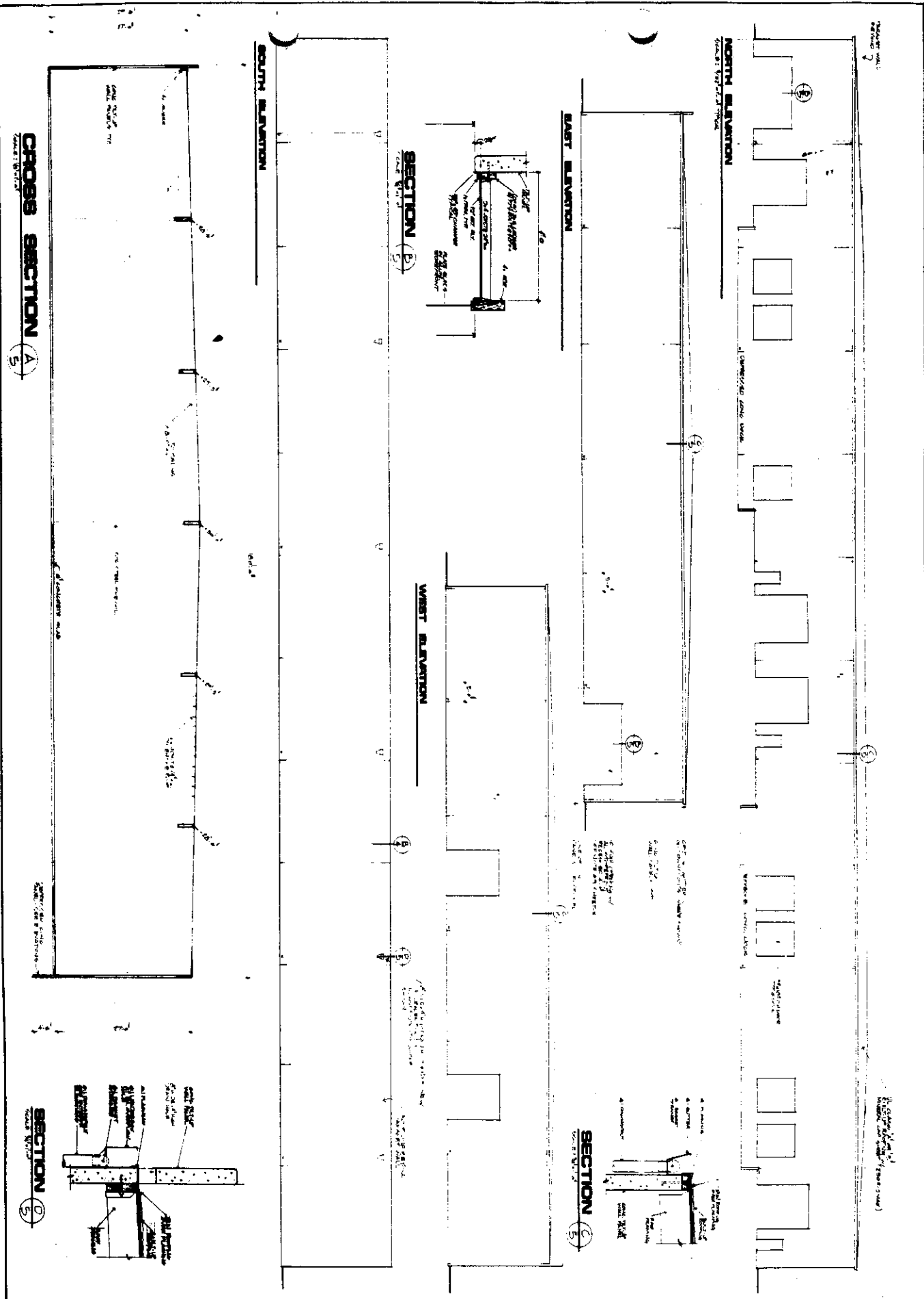
Leo McGlade & associates, inc.
 27 1/2 West 4th Street, Sacramento, CA 95811

NO.	DESCRIPTION

P-87-292

8-13-87

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	2nd STORAGE BUILDINGS KELTON WAY, SOUTH OF MAIN AVE. COUNTY OF SACRAMENTO, CA. CARL PANATTONI - DEVELOPER	BUILDING - B	Leo McGlade & Associates, Inc. 1111 Arden Way, Suite A, Sacramento, CA 95825 215-448-9380	SHEET NO. 11 OF 12
	SECTION A CROSS SECTION	SECTION B CROSS SECTION	SECTION C CROSS SECTION	NORTH ELEVATION SOUTH ELEVATION EAST ELEVATION WEST ELEVATION

D-87-292

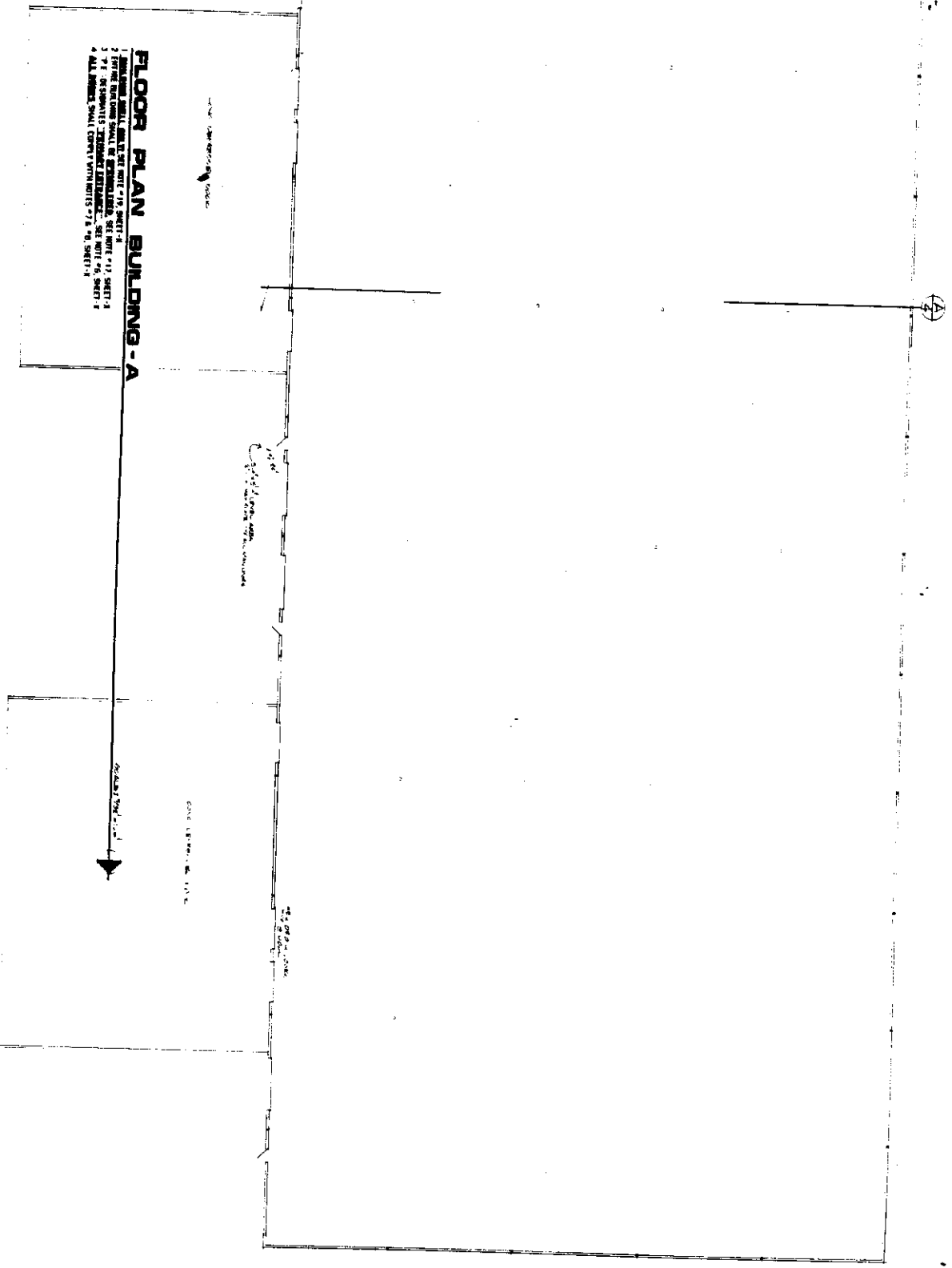
8-13-87

item 11

FLOOR PLAN

FLOOR PLAN BUILDING - A
 1. FINISHES SHALL BE AS NOTED - SEE SHEET 02
 2. EXISTING FOUNDATION SHALL BE EXAMINED AND REPAIRED - SEE SHEET 01
 3. ALL DIMENSIONS UNLESS OTHERWISE NOTED - SEE SHEET 05
 4. ALL DIMENSIONS SHALL COMPLY WITH NOTES 07 & 08 SHEET 04

FLOOR PLAN BUILDING - A



SCALE 1/8" = 1'-0"

2	2- STORAGE BUILDINGS KELTON WAY, SOUTH OF MAIN AVE. COUNTY OF SACRAMENTO, CA. CARL PANATTONI - DEVELOPER	BUILDING - A	Leo McGlade & associates, inc. 1111 1/2 STREET, SUITE 200, SACRAMENTO, CA 95811	NO. 17 DATE DRAWN BY CHECKED BY APPROVED BY
	SHEET NO. 2 OF 2 SHEETS DATE 8-13-87	8-13-87	11	11

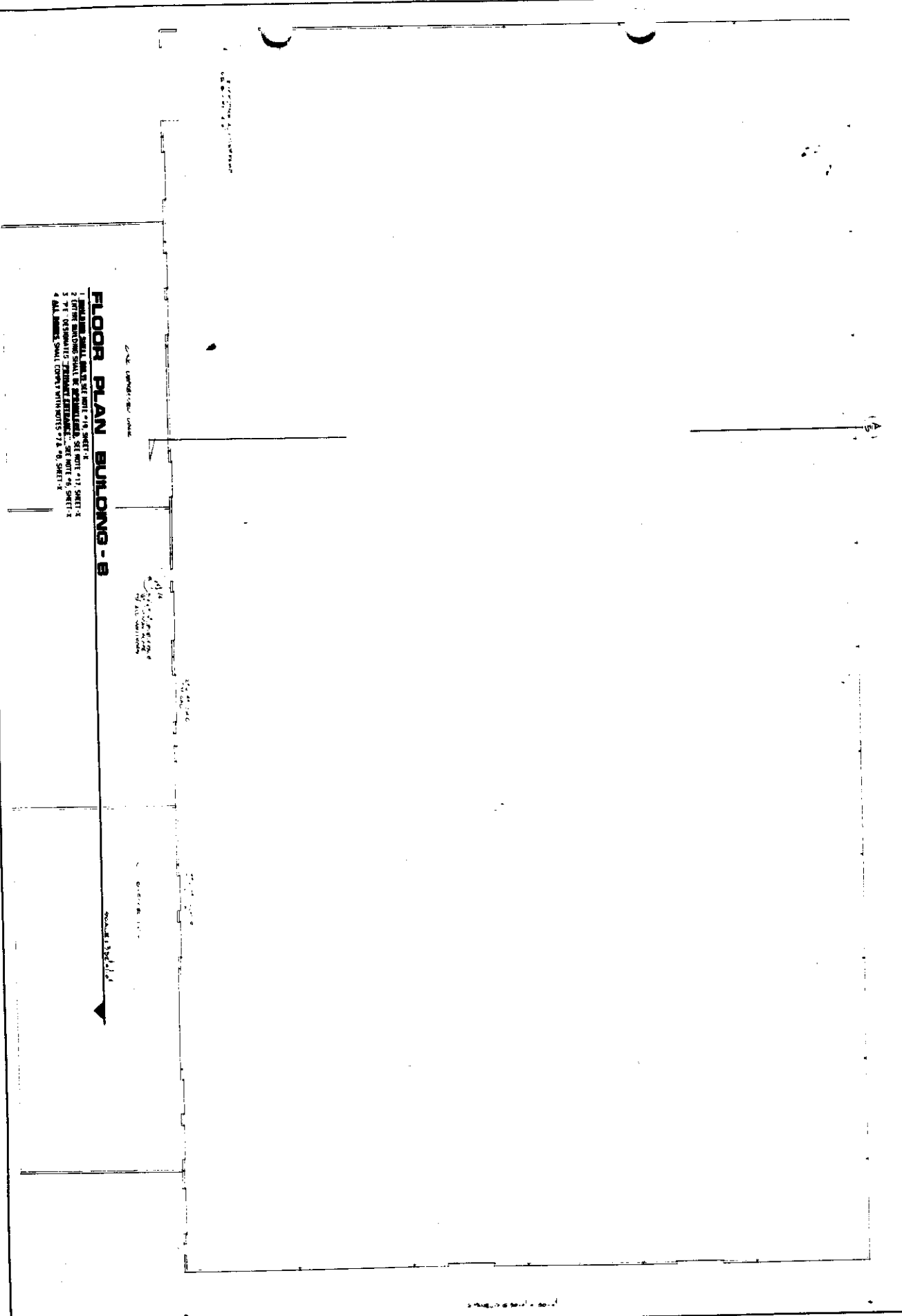
P-87-292

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11

FLOOR PLAN BUILDING - B

1. BUILDING SMALL UNIT WITH 17' X 17' SHEET
 2. OFFICE WORKSPACE WITH 17' X 17' SHEET
 3. OFFICE WORKSPACE WITH 17' X 17' SHEET
 4. ALL BUILDING SMALL UNITS WITH 17' X 17' SHEET



<p>3</p>	<p>DATE: 8-13-87</p>	<p>2- STORAGE BUILDINGS KELTON WAY, SOUTH OF MAIN AVE. COUNTY OF SACRAMENTO, CA. CARL PANATTONI - DEVELOPER</p>	<p>BUILDING - B</p>	<p>Leo McGlade & Associates, Inc. 2115 W. 10th St., Sacramento, CA 95811</p>	<p>NO. 1</p>	<p>NO. 2</p>	<p>NO. 3</p>	<p>NO. 4</p>	<p>NO. 5</p>	<p>NO. 6</p>	<p>NO. 7</p>	<p>NO. 8</p>	<p>NO. 9</p>	<p>NO. 10</p>	<p>NO. 11</p>	<p>NO. 12</p>	<p>NO. 13</p>	<p>NO. 14</p>	<p>NO. 15</p>	<p>NO. 16</p>	<p>NO. 17</p>	<p>NO. 18</p>	<p>NO. 19</p>	<p>NO. 20</p>	<p>NO. 21</p>	<p>NO. 22</p>	<p>NO. 23</p>	<p>NO. 24</p>	<p>NO. 25</p>	<p>NO. 26</p>	<p>NO. 27</p>	<p>NO. 28</p>	<p>NO. 29</p>	<p>NO. 30</p>	<p>NO. 31</p>	<p>NO. 32</p>	<p>NO. 33</p>	<p>NO. 34</p>	<p>NO. 35</p>	<p>NO. 36</p>	<p>NO. 37</p>	<p>NO. 38</p>	<p>NO. 39</p>	<p>NO. 40</p>	<p>NO. 41</p>	<p>NO. 42</p>	<p>NO. 43</p>	<p>NO. 44</p>	<p>NO. 45</p>	<p>NO. 46</p>	<p>NO. 47</p>	<p>NO. 48</p>	<p>NO. 49</p>	<p>NO. 50</p>
	<p>NO. 1</p>				<p>NO. 2</p>	<p>NO. 3</p>	<p>NO. 4</p>	<p>NO. 5</p>	<p>NO. 6</p>	<p>NO. 7</p>	<p>NO. 8</p>	<p>NO. 9</p>	<p>NO. 10</p>	<p>NO. 11</p>	<p>NO. 12</p>	<p>NO. 13</p>	<p>NO. 14</p>	<p>NO. 15</p>	<p>NO. 16</p>	<p>NO. 17</p>	<p>NO. 18</p>	<p>NO. 19</p>	<p>NO. 20</p>	<p>NO. 21</p>	<p>NO. 22</p>	<p>NO. 23</p>	<p>NO. 24</p>	<p>NO. 25</p>	<p>NO. 26</p>	<p>NO. 27</p>	<p>NO. 28</p>	<p>NO. 29</p>	<p>NO. 30</p>	<p>NO. 31</p>	<p>NO. 32</p>	<p>NO. 33</p>	<p>NO. 34</p>	<p>NO. 35</p>	<p>NO. 36</p>	<p>NO. 37</p>	<p>NO. 38</p>	<p>NO. 39</p>	<p>NO. 40</p>	<p>NO. 41</p>	<p>NO. 42</p>	<p>NO. 43</p>	<p>NO. 44</p>	<p>NO. 45</p>	<p>NO. 46</p>	<p>NO. 47</p>	<p>NO. 48</p>	<p>NO. 49</p>	<p>NO. 50</p>	

8-13-87 item //

EXHIBIT B
CORRESPONDANCE
CITY PLANNING DIVISION

TO: Will Weitman, Senior Planner
Sacramento City Planning Department
1231 "I" Street, Suite 200
Sacramento, California 95814

AUG 5 1987

FROM: The Meadows Development Association
c/o Arek Firman
157 Gunnison Avenue
Sacramento, California 95838

RECEIVED

SUBJECT: P-87-292 -- Proposed Office and Warehouse Shell on
West side Kelton Way, 300 Feet South of Main Avenue

DATE: August 4, 1987

As a spokes person for the Meadows Development Association, I am submitting this letter to voice our increasing concerns at the efforts to further detract and negatively impact our residential neighborhood by the continued approvals made on commercial/industrial developments such as the proposed project to be located at the southwest corner of Kelton Way and Main Avenue in North Sacramento. It is our hope that by making the Planning Commission aware of the issues most important to us, key actions will be taken by the Commission to minimize the potentially negative outgrowth of commercial development in our area.

We would like to see the following changes made in this proposal:

- 1) Reduce office warehouse buildings to four (4) 20,000 square feet units, with a maximum height of 20 feet and architecturally compatible with the residential community.
- 2) A 88 feet building setback off Kelton Way and a 25 feet from the southern property line (same building setback as Havlin Watkin).
- 3) Exposed aggregate surface with design variations.
- 4) On Kelton Way, frontage the use of a variety of surfaces (stone, brick, and wood) with windows, canopies, and awnings to establish architectural continuity with the residential neighborhood.
- 5) No access of Kelton Way. The street is for residential use only. All access is to be off Main Avenue. Additionally, the developer should improve the Main Avenue and Kelton Way intersection and incur all costs for sidewalks and curbs.

Will Weitman, Senior Planner
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- 6) Put monies into a Trust Fund for signal lights at the intersection of Kelton Way and Main Avenue.
- 7) Landscape a 25' wide strip with four (4) feet high beams and 15 gallon trees on 10 feet centers along the Kelton Way and southern property line. Also, buildings are to be surrounded by landscaping.
- 8) Restrict tenants to uses which do not produce noises or emissions outside the buildings (no woodworking, metal fabrication, or assembly shops).
- 9) All lighting to be directed on site and not to reflect off-site into the residential area.
- 10) Restrict hours of operations from sunrise to sunset or 7 a.m. to 8 p.m. for all tenants.
- 11) Require all loading and receiving docks and doors to face away from residential area.
- 12) Install a 6 feet high wrought iron fence along Kelton Way to the north property line to prevent unauthorized access.
- 13) Install a 8 feet high block wall to act as a sound barrier.
- 14) No public address systems outdoors.
- 15) Residencies requirement of 50% of the total employees for the entire site.
- 16) Require the developer to work with a community committee in establishing landscaping and architectural designs.

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Sleazy development has been a negative aspect of poor planning in the past in Sacramento and we would like to prevent this activity from happening in our area. The points made in this letter have been presented in an attempt to blend the commercial/industrial development being brought to our residential neighborhood with the least intrusive effect. Our major concerns are that the construction design, size, and landscaping of this particular project exceed the inadequate standards of projects located along Main Avenue and Pell Drive, and that traffic control be implemented as requested and, as quickly as possible.

We thank the Planning Commission for their time and consideration of our presentation herein.

Respectfully submitted,

THE MEADOWS DEVELOPMENT ASSOCIATION