



DEPARTMENT OF  
PLANNING AND DEVELOPMENT

CITY OF SACRAMENTO  
CALIFORNIA

1231 I STREET  
ROOM 200  
SACRAMENTO, CA  
95814-2998

BUILDING INSPECTIONS  
916-449-5716

PLANNING  
916-449-5604

**PLANNING DIRECTOR'S SPECIAL PERMIT MODIFICATION  
(P92-265)**

**APPLICATION:** Planning Director's Special Permit Modification to allow a playland to be constructed for an existing McDonald's restaurant with a drive through window on 0.75± developed acres in the General Commercial (C-2) zone.

**LOCATION:** 6370 Mack Road  
APN: 117-0012-020  
(District 8)

**APPLICANT/OWNER:** McDonald's Corporation, c/o Lori Anderson  
1750 Howe Ave., Suite #550, Sacramento, CA 95825

**BACKGROUND INFORMATION:** The drive through was established on this site prior to the special permit requirement for drive throughs. Therefore, staff has determined that a Planning Director's Special Permit Modification is required to in order to expand the use with a playland.

**APPLICANT'S REQUEST:** The applicant is requesting a special permit modification for an existing McDonald's Restaurant in order to construct an outside playland with 16 seats. The proposed playland is to be located on the north side of the restaurant fronting Mack Road.

**ANALYSIS:** The proposed playland will be approximately 1100± square feet in area and is to be constructed on the north side of the existing McDonald's Restaurant, which fronts Mack Road. The playland will be setback 50 feet from the front property line. A 25 foot driveway will be adjacent to the playland. The playland will be enclosed with a six foot high wrought iron fence with access to the playland through the restaurant or from the walkway adjacent to the playland. Staff sees no conflict with the location of the playland. Upon site inspection, staff noted that there is an existing 25 foot landscaped berm fronting on Mack Road. The existing landscaping should provide a buffer

APPL. NO. P92-265

1010

for the playland from the street. The plans also indicate that landscaping shall be retained to the east of the playland adjacent to the walkway for the restaurant.

In addition to the proposed playland and increase of seats is proposed. An additional 16 seats will be located in the playland area. The existing restaurant has a seating capacity of 74 seats which requires 25 parking spaces a total of 30 parking spaces will be required with the addition of 16 seats. The subject site currently has 41 parking spaces on site. No additional parking spaces will be required for the additional seating since adequate parking is available on the subject site.

The plans do not indicate any additional signage for the restaurant. However, staff did note that an existing sign is located where the proposed playland will be constructed. All signage (existing or proposed) shall comply with the Sign Ordinance.

During the site visit staff noted a recycling dumpster located in a parking space to the west of the restaurant. Several pieces of cardboard were scattered around the bottom of the bin (Exhibit C). Section 34 of the Zoning Ordinance requires recycling receptacles to be placed in the trash enclosure or adjacent to the trash enclosure. Adequate area is provided adjacent to the trash enclosure to allow expansion of the enclosure to accommodate the recycling bin if necessary. Staff recommends that the recycling bin be placed inside the enclosure or the enclosure expanded to accommodate the recycling bin.

**RECOMMENDATION:** Staff recommends the Planning Director approve the special permit modification to allow an outdoor playland and additional seats subject to conditions and based upon findings of fact which follow.

**Conditions**

1. The applicant shall relocate the recycling bin to the trash enclosure area or enlarge the trash enclosure area to accommodate the recycling bin.
2. The maximum seating capacity, indoor and outdoor, of the restaurant shall be 123 seats, based on the 41 parking spaces located on the site.
3. The landscaping east of the playland adjacent to the walkway shall be retained.
4. The landscaping west of the playland adjacent to the trash enclosure shall be retained.
5. A decorative wrought iron fence shall be installed around the playland area.

**Findings of Fact**

1. The project, as conditioned, is based upon sound principles of land use in that an outside playland is compatible with the existing restaurant use.
2. The project, as conditioned, will not be detrimental to the public health, safety or welfare nor result in the creation of a nuisance in that adequate setbacks, on-site

parking, driveway widths and landscaping is provided.

3. The project is consistent with the General Plan which designate the site as Community/Neighborhood Commercial and Offices and the 1986 South Sacramento Community Plan which designates the site as General Commercial.

REPORT PREPARED BY:

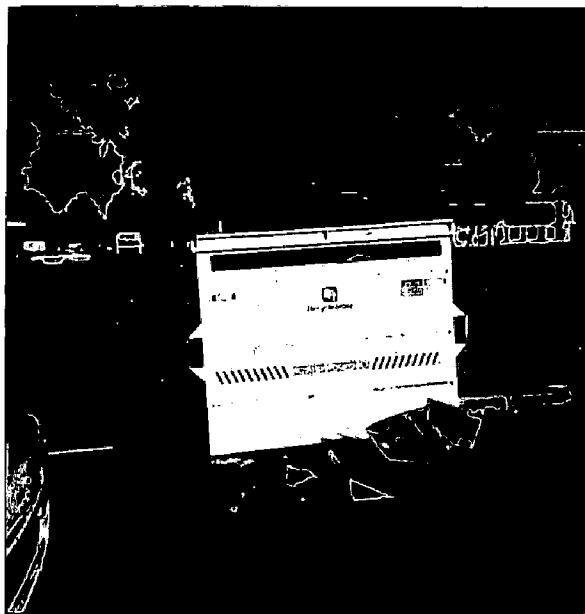
Jeanne Corcoran  
Jeanne Corcoran, Assistant Planner

10/13/92  
Date

REPORT APPROVED BY:

Gary Stonehouse  
Gary Stonehouse, Planning Director

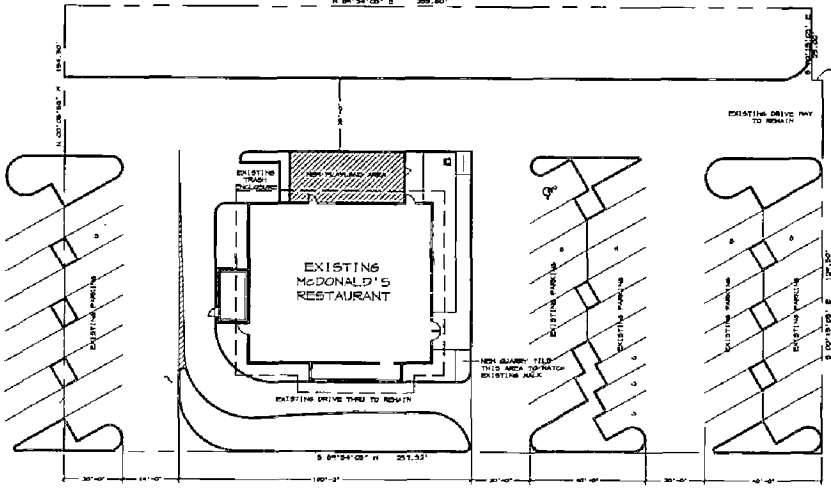
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Date



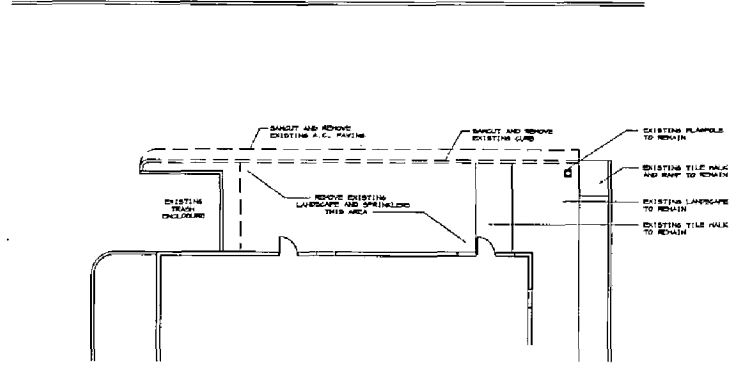




PA2-2105



SITE PLAN  
1"=20'-0"



DEMOLITION PLAN  
1"=10'-0"

GENERAL NOTES

- 1) In cases of discrepancy concerning dimensions, quantities and location, the contractor shall, in writing, call to the attention of the architect any discrepancies between specifications, plans, details, or schedules. The architect will then inform the contractor in writing, which document takes precedence. There shall be no adjustment to the cost of the work resulting from such clarification of discrepancies.
- 2) Failure to report a conflict in the contract documents shall be deemed evidence that the contractor has elected to proceed in the more expensive manner.
- 3) The contractor shall investigate, verify and be responsible for all conditions and dimensions of the project and shall notify the architect about conditions requiring modification before proceeding with work.
- 4) Dimensions:
  - A) It shall be the contractor's responsibility to verify all dimensions and conditions at the job site and to crosscheck outside and dimensions shown on the architectural drawings with related requirements on the structural, mechanical, electrical and/or plumbing drawings. Notify architect of any discrepancies before proceeding with the work.
  - B) Use dimensions shown rather than scaling drawings.
  - C) All dimensions shown are F.F.S. (Face of Stud) unless (Centerline) as shown.
  - D) All dimensions are to the rough unless otherwise shown.
  - E) Ceiling height dimensions are from finished concrete floor to finished face of ceiling.
  - F) All dimensions shall be verified in the field before proceeding with the work.
- 5) Provide all necessary encroachment blocking, backing and framing required for the work not necessarily limited to the installation of light fixtures, fire extinguishers, toilet accessories, brackets, handiicap equipment, and toilet partitions.
- 6) All doors not located by dimensions on plan or detail, shall be 5" (five inches) from face of stud to face of nearest door buck, or centered on room.
- 7) Door size indicated on drawings are opening dimensions. Allowances for thresholds, etc. shall be taken for net door sizes.
- 8) Details marked typical (typ.) shall apply in all cases unless specifically indicated otherwise.
- 9) Where no specific detail is shown, the framing or construction shall be identical or similar to that indicated for like cases of construction on this project.
- 10) Required draftstays to be constructed during the tenant improvement phase.

MATERIAL SPECIFICATIONS

MASONRY	FW - 120 PS
WOTAR	TYPE S 1800 PSE MK
GROUT	21000 PSI MK AT 28 DAYS
CONCRETE	FC - 3000 PSI AT 28 DAYS
REINFORCING	ASTM A615 - GR 40
STRUCTURAL STEEL	A-36
TUBE STEEL	FT - 46 KS

SYMBOLS

(A)	DOOR NUMBER	(O)	OFFICE	(R)	ROOM NAME
(R)	REVISION	(R)	ROOM NUMBER	(R)	REFERENCE POINT
(W)	WINDOW NUMBER	(F)	FINISH ELEVATION	(K)	KEY NOTE NUMBER
(D)	DETAIL NUMBER	(E)	EXISTING ELEVATION		
(S)	SHEET NUMBER				
(S)	SECTION NUMBER				
(S)	SHEET NUMBER				

PROJECT DATA

OWNER	MCDONALD'S CORPORATION 1750 HOWE AVE. STE. 500 SACRAMENTO, CA 95825 (916) 543-3782
PROJECT ADDRESS	6370 Mack Road Sacramento, CA 95823 (916) 423-1140
LOCATION CODE	004-1093
PARKING EXISTING	41
NEW PARKING (TOTAL)	41
NEW PLAYLAND AREA	675 S.F.
EXISTING RESTAURANT SEATING	74
NEW OUTDOOR SEATING	18
TOTAL SEATING	90

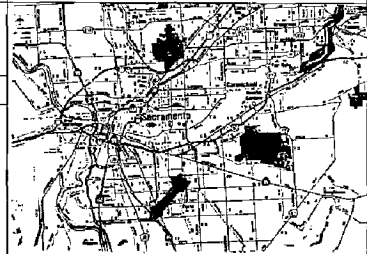
INDEX OF DRAWINGS

A-1	SITE PLAN/DEMOLITION PLAN/DATA
A-2	FLOOR PLAN/ELEVATIONS/DETAILS
E-1	ELECTRICAL PLAN

CONSULTANTS

ARCHITECT:	GABRIEL CARRILLO ARCHITECTURAL 1225 HOWE AVENUE SUITE 202 SACRAMENTO, CALIFORNIA 95825 (916)-422-0550
ELECTRICAL ENGINEER:	MORRISON ENGINEERING 707 COSMANS DRIVE SUITE 200 SACRAMENTO, CALIFORNIA 95825 (916)-287-3700
FIELD REPRESENTATIVE:	MCDONALD'S CORPORATION Project Manager: Lou Anderson Site Planner: Jessica McCher

VICINITY MAP



REVISIONS  
 NO. DATE ITEMS  
 MCDONALD'S CORPORATION  
 MCDONALD'S PLAZA  
 OAK BROOK, ILLINOIS 60521  
 GABRIEL CARRILLO ARCHITECTURAL  
 1225 HOWE AVE. SUITE 202  
 SACRAMENTO, CALIFORNIA 95825  
 (916) 422-0550

BUILDING  
 CHECKED: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 ISSUE DATE: \_\_\_\_\_

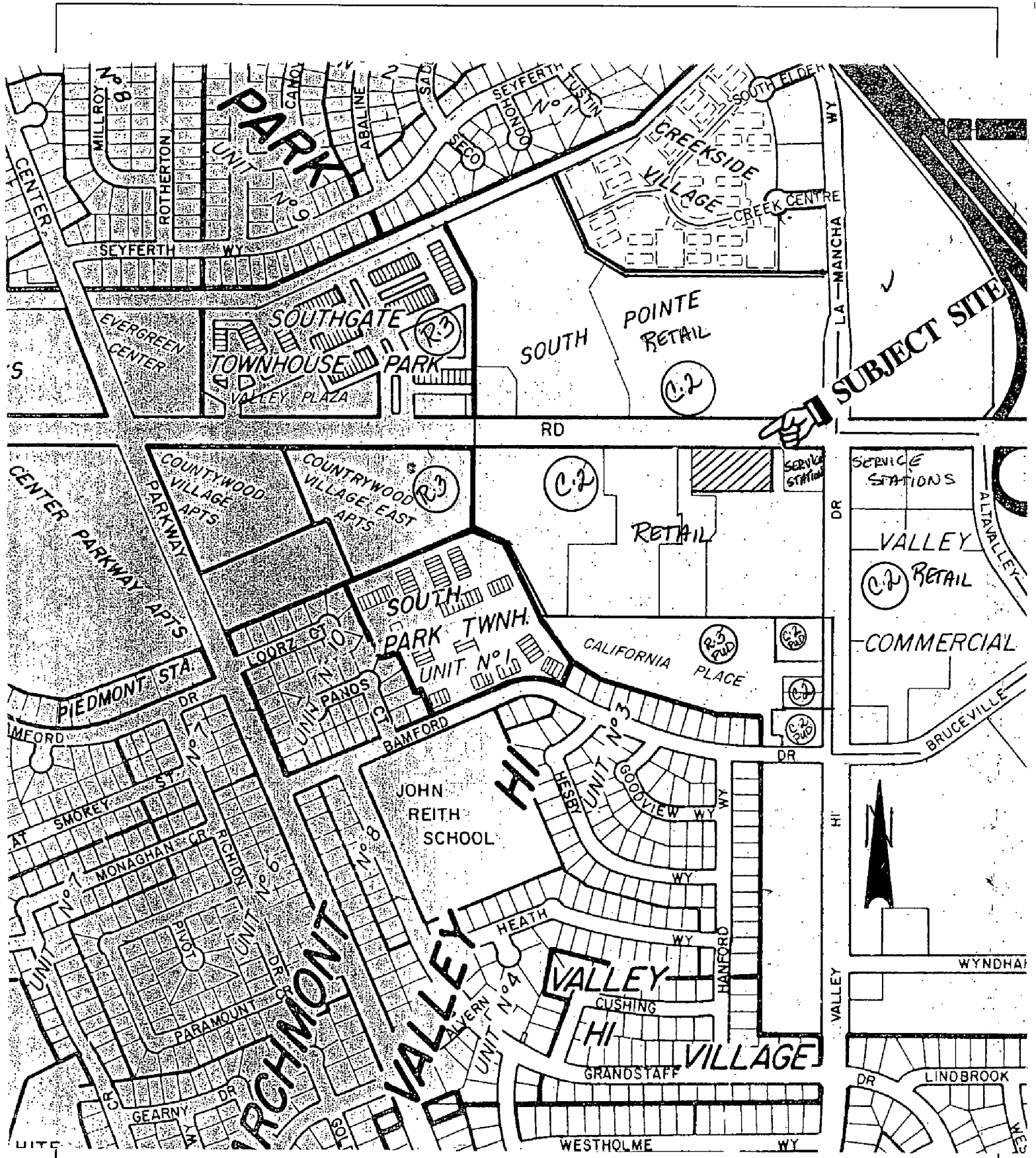
GABRIEL CARRILLO ARCHITECTURAL  
 1225 HOWE AVENUE SUITE 202  
 SACRAMENTO, CALIFORNIA 95825  
 (916) 422-0550

6370 MACK ROAD SACRAMENTO, CALIFORNIA  
 06/16/92  
 9201041.2

S P I N O U C  
 SITE PLAN

EXHIBIT - A

1014



VICINITY, LAND USE AND ZONING MAP

1013