



DEPARTMENT OF
PLANNING AND DEVELOPMENT

CITY OF SACRAMENTO
CALIFORNIA

1231 I STREET
ROOM 200
SACRAMENTO, CA
95814-2998

BUILDING INSPECTIONS
916-449-5716

PLANNING
916-449-5604

**PLANNING DIRECTOR'S SPECIAL PERMIT MODIFICATION
(P92-265)**

APPLICATION: Planning Director's Special Permit Modification to allow a playland to be constructed for an existing McDonald's restaurant with a drive through window on 0.75± developed acres in the General Commercial (C-2) zone.

LOCATION: 6370 Mack Road
APN: 117-0012-020
(District 8)

APPLICANT/OWNER: McDonald's Corporation, c/o Lori Anderson
1750 Howe Ave., Suite #550, Sacramento, CA 95825

BACKGROUND INFORMATION: The drive through was established on this site prior to the special permit requirement for drive throughs. Therefore, staff has determined that a Planning Director's Special Permit Modification is required to in order to expand the use with a playland.

APPLICANT'S REQUEST: The applicant is requesting a special permit modification for an existing McDonald's Restaurant in order to construct an outside playland with 16 seats. The proposed playland is to be located on the north side of the restaurant fronting Mack Road.

ANALYSIS: The proposed playland will be approximately 1100± square feet in area and is to be constructed on the north side of the existing McDonald's Restaurant, which fronts Mack Road. The playland will be setback 50 feet from the front property line. A 25 foot driveway will be adjacent to the playland. The playland will be enclosed with a six foot high wrought iron fence with access to the playland through the restaurant or from the walkway adjacent to the playland. Staff sees no conflict with the location of the playland. Upon site inspection, staff noted that there is an existing 25 foot landscaped berm fronting on Mack Road. The existing landscaping should provide a buffer

APPL. NO. P92-265

1010

for the playland from the street. The plans also indicate that landscaping shall be retained to the east of the playland adjacent to the walkway for the restaurant.

In addition to the proposed playland and increase of seats is proposed. An additional 16 seats will be located in the playland area. The existing restaurant has a seating capacity of 74 seats which requires 25 parking spaces a total of 30 parking spaces will be required with the addition of 16 seats. The subject site currently has 41 parking spaces on site. No additional parking spaces will be required for the additional seating since adequate parking is available on the subject site.

The plans do not indicate any additional signage for the restaurant. However, staff did note that an existing sign is located where the proposed playland will be constructed. All signage (existing or proposed) shall comply with the Sign Ordinance.

During the site visit staff noted a recycling dumpster located in a parking space to the west of the restaurant. Several pieces of cardboard were scattered around the bottom of the bin (Exhibit C). Section 34 of the Zoning Ordinance requires recycling receptacles to be placed in the trash enclosure or adjacent to the trash enclosure. Adequate area is provided adjacent to the trash enclosure to allow expansion of the enclosure to accommodate the recycling bin if necessary. Staff recommends that the recycling bin be placed inside the enclosure or the enclosure expanded to accommodate the recycling bin.

RECOMMENDATION: Staff recommends the Planning Director approve the special permit modification to allow an outdoor playland and additional seats subject to conditions and based upon findings of fact which follow.

Conditions

1. The applicant shall relocate the recycling bin to the trash enclosure area or enlarge the trash enclosure area to accommodate the recycling bin.
2. The maximum seating capacity, indoor and outdoor, of the restaurant shall be 123 seats, based on the 41 parking spaces located on the site.
3. The landscaping east of the playland adjacent to the walkway shall be retained.
4. The landscaping west of the playland adjacent to the trash enclosure shall be retained.
5. A decorative wrought iron fence shall be installed around the playland area.

Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that an outside playland is compatible with the existing restaurant use.
2. The project, as conditioned, will not be detrimental to the public health, safety or welfare nor result in the creation of a nuisance in that adequate setbacks, on-site

parking, driveway widths and landscaping is provided.

3. The project is consistent with the General Plan which designate the site as Community/Neighborhood Commercial and Offices and the 1986 South Sacramento Community Plan which designates the site as General Commercial.

REPORT PREPARED BY:

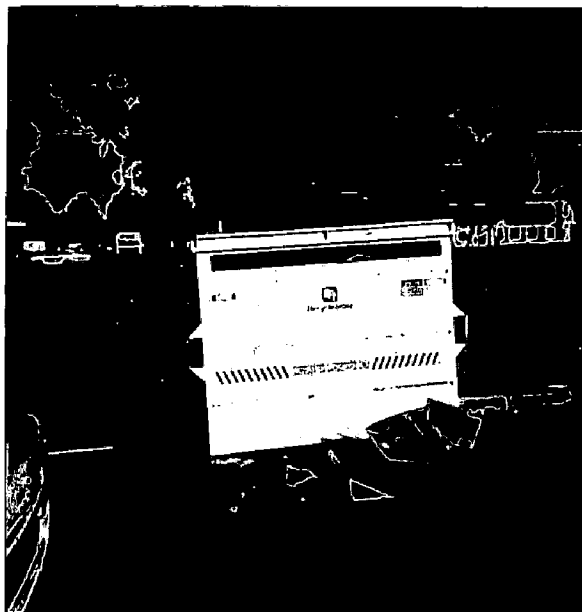
Jeanne Corcoran
Jeanne Corcoran, Assistant Planner

10/13/92
Date

REPORT APPROVED BY:

Gary Stonehouse
Gary Stonehouse, Planning Director

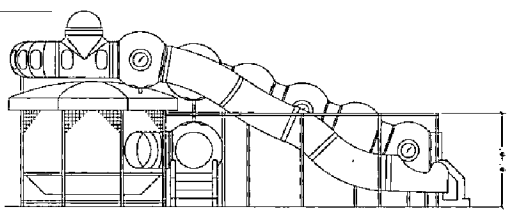
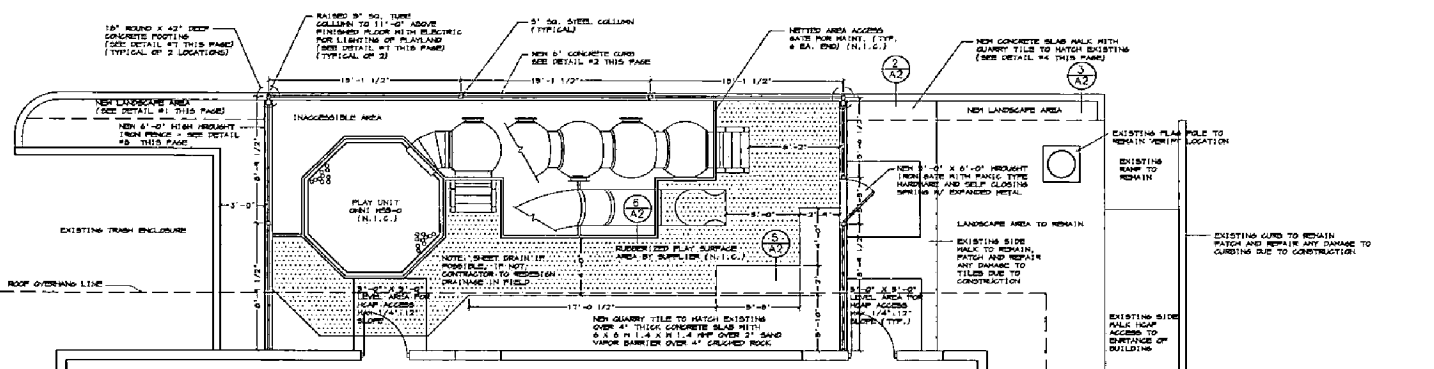
10-13-92
Date



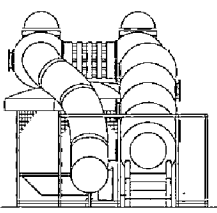
P99-265

EXISTING McDONALD'S BUILDING

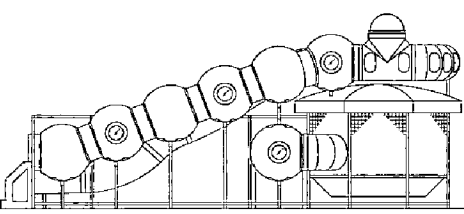
FLOOR PLAN
1/4"=1'-0"



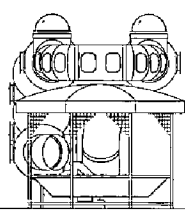
LEFT SIDE ELEVATION
1/4"=1'-0"



FRONT ELEVATION
1/4"=1'-0"

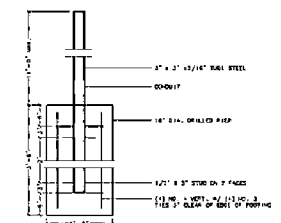


RIGHT SIDE ELEVATION
1/4"=1'-0"

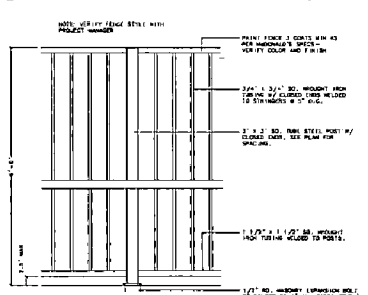


REAR ELEVATION
1/4"=1'-0"

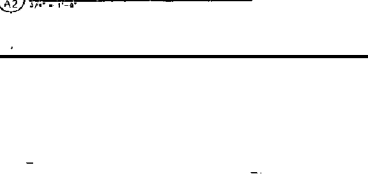
5. SLAB AT UNIT
3/4" = 1'-0"



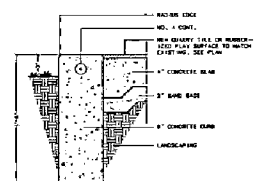
7. LIGHT POLE BASE
3/4" = 1'-0"



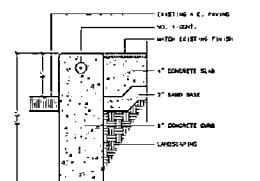
8. PARTIAL FENCE DETAIL
3/4" = 1'-0"



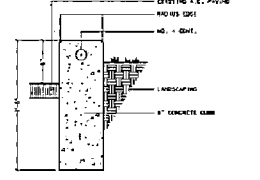
1. CURB AT WALK
1/2" = 1'-0"



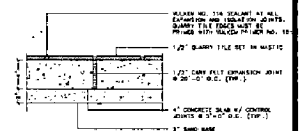
2. CURB AT WALK
1/2" = 1'-0"



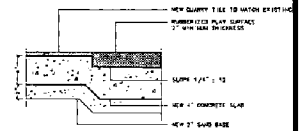
3. CURB AT PARKING
1/2" = 1'-0"



4. QUARRY TILE
1/2" = 1'-0"



6. SLAB DEPRESSION
1/2" = 1'-0"



NO.	DATE	REVISIONS	BY

GABRIEL CARRILLO ARCHITECTURE INC.
 6370 MARK ROAD, SACRAMENTO, CALIFORNIA
 TEL: 916.486.3800 FAX: 916.486.8900
 WWW.GABRIELCARRILLO.COM

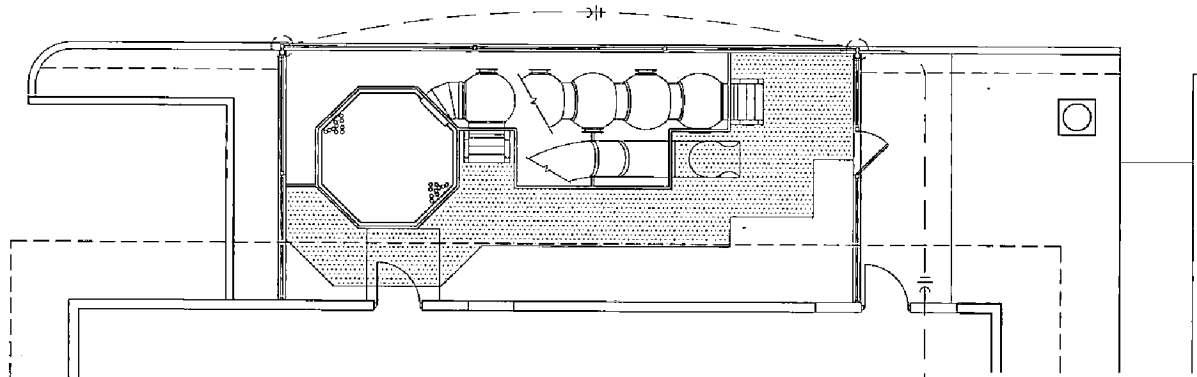
MCCONALD'S CORPORATION
 MCCONALD'S PLAZA
 OAK BROOK, ILLINOIS 60521
 GABRIEL CARRILLO ARCHITECTURE INC.
 1311 HOWARD AVE., SUITE 202
 SACRAMENTO, CA 95811
 TEL: 916.486.3800 FAX: 916.486.8900

S P I N N E R FLOOR PLANS
 ELEVATIONS
 EXHIBIT - B

1016

ELECTICAL NOTES

1. MINIMUM WIRE SIZE SHALL BE #12 AWG UNLESS OTHERWISE STATED.
2. THE USE OF "B" WIRE PERMITTED BY LOCAL CODES, WILL BE ALLOWED FOR FINAL CONNECTION FROM THE LAST JUNCTION BOX TO THE LIGHTING FIXTURE. "B" IS NOT ACCEPTABLE.
3. ALL CIRCUIT BREAKERS SHALL BE THE BOLT-ON TYPE.
4. CONDUCTOR INSULATION SHALL BE "TH" MOISTURE AND HEAT-RESISTANT TYPE THERMOPLASTIC, 75 DEGREE C. TEMPERATURE RATED EXCEPT WHERE NOTED. CONDUCTORS SHALL BE COVERED EXCEPT WHERE NOTED.
5. ALL CONDUIT TO BE 3/4" UNLESS OTHERWISE NOTED.
6. MAXIMUM LOAD FOR ALL CIRCUITS IS 80%.
7. BRANCH BREAKERS IN DISTRIBUTION PANELS LP, AP-1, AND AP-2 TO HAVE A MINIMUM NEMA SYMMETRICAL RMS RATING NOT LESS THAN AVAILABLE A. I.C. AND IN ANY CASE, NOT LESS THAN 10,000 A. I.C. BREAKERS IN RP PANEL TO HAVE A MINIMUM NEMA SYMMETRICAL RATING OF 15,000 AMPS.
8. ALL CIRCUIT BREAKERS USED TO SWITCH PULSED CURRENT LIGHT FIXTURES SHALL BE APPROVED FOR THE PURPOSES AND MARKED "DAP".
9. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE PROPER IDENTIFICATION AND LABELING OF ALL CIRCUIT BREAKERS. EACH PANEL SHALL BE PROVIDED WITH A PREWRITTEN CIRCUIT DIRECTORY.
10. ALL ELECTRICAL MATERIALS USED MUST BE "UL" LISTED AND LABELED.
11. ALL WORK SHALL BE IN ACCORDANCE WITH THE EDITION OF THE NEC PREVAILING AT THE JOB SITE.
12. LIGHTING FIXTURES AND LAMPS SHALL BE CHOSEN TO ACHIEVE MAXIMUM ENERGY CONSERVATION WHILE MAINTAINING ADEQUATE LEVEL OF ILLUMINATION. LAMP SPECIFICATIONS MUST BE STRICTLY FOLLOWED.
13. CONDUIT SHALL CONFORM TO THE FOLLOWING:
 - A. CONCEALED IN CEILING AND PARTITIONS - EMT CONDUIT
 - B. CONCEALED IN CONCRETE SLAB-OFF OR BRICK AND VANDER STEEL, WHERE CORROSIVE SOLID EXIST, THE CONDUIT MAY BE USED UNDERGROUND BY EMBEDDING CONDUIT.
14. VERIFY CIRCUIT AVAILABILITY IN THE FIELD AND MAKE ALLOWANCES AND ADJUSTMENTS OF CIRCUIT AND PANEL DESIGNATION AS MAY BE REQUIRED.
15. CONDUIT RUNS MAY BE COMBINED EXCEPT WHERE ISOLATED BRANDES ARE USED.
16. INSIDE OF CONDUIT TO BE FREE OF BURRS.
17. ALL BENDS ON CONDUIT TO BE 6" RADIUS (MIN.)
18. COORDINATE LOCATION OF ALL SUPPLY LIGHTS (FIXTURE NO. 10) WITH McDONALD'S PROJECT MANAGER TO AVOID INTERFERENCE WITH ANY CORBELS, BEAMS, OR OTHER SPECIAL EXTENSIVE TREATMENTS. INSTALL LIGHT FIXTURES WITH CORRECT ORIENTATION FOR INSTRUCTIONS PACKAGED WITH THE FIXTURES.
19. FIELD VERIFY ALL FIXTURE DIMENSIONS SHOWN ON THIS PLAN TO VERIFY THAT THESE FIXTURES DO NOT CONTRADICT OR CONFLICT WITH THE WORK OF THE OTHER TRADES. IMMEDIATELY NOTIFY THE GENERAL CONTRACTOR BEFORE THE INSTALLATION OF SUCH FIXTURES.
20. VERIFY THAT NO MORE THAN 30 VOLTAGE DROP EXISTS FROM LIGHTING PANEL TO ANY EXTERIOR LIGHTING FIXTURE LAMP OR SIGNAGE LAMP.



ROUTE TO (E) "LP"
 PROVIDE (1) 1/2" 20/1 BREAKER
 CIRCUIT 2 FIXTURES TO NEW BREAKER

ELECTRICAL FLOOR PLAN

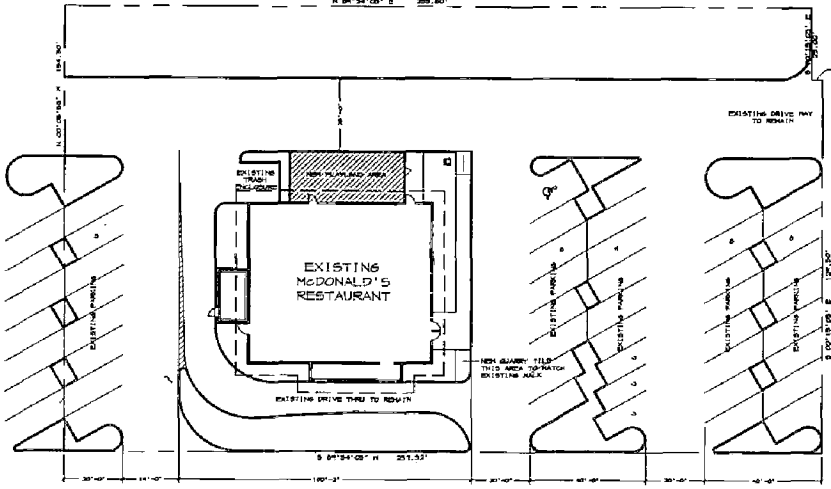
1/4"=1'-0"



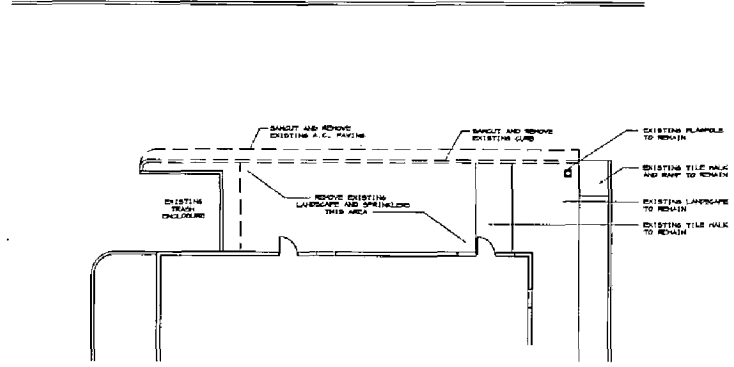
REVISIONS	NO	DATE	BY
	ITEMS	CHECKED	DRAWN
	ISSUE DATE	BUILDING	
McDONALD'S CORPORATION McDONALD'S PLAZA 60521 OAK BROOK, ILLINOIS 60521 CLIENT: CHARLES ADDRESS: 1311 PHONE: 708-421-1200 FAX: 708-421-1200			
6370 MACK ROAD, SACRAMENTO, CALIFORNIA McDonald's THE CORNER MAKING DECISIONS AND THE CHANGE. FOR SERVICE PEOPLE. THESE PHOTOS ARE SERVICE PHOTOS AND TRADemark OFFICE REGISTERED IN THE U.S. PATENT AND TRADEMARK OFFICE. © 1995 McDONALD'S CORPORATION			
08/12/92 10030			E-1
02/19/92 1/4			

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PA2-2105



SITE PLAN
1"=20'-0"



DEMOLITION PLAN
1"=10'-0"

GENERAL NOTES

- 1) In cases of discrepancy concerning dimensions, quantities and location, the contractor shall, in writing, call to the attention of the architect any discrepancies between specifications, plans, details, or schedules. The architect will then inform the contractor in writing, which document takes precedence. There shall be no adjustment to the cost of the work resulting from such clarification of discrepancies.
- 2) Failure to report a conflict in the contract documents shall be deemed evidence that the contractor has elected to proceed in the more expensive manner.
- 3) The contractor shall investigate, verify and be responsible for all conditions and dimensions of the project and shall notify the architect about conditions requiring modification before proceeding with work.
- 4) Dimensions:
 - A) It shall be the contractor's responsibility to verify all dimensions and conditions at the job site and to crosscheck outside and dimensions shown on the architectural drawings with related requirements on the structural, mechanical, electrical and/or plumbing drawings. Notify architect of any discrepancies before proceeding with the work.
 - B) Use dimensions shown rather than scaling drawings.
 - C) All dimensions shown are F.D.S. (Face of Stud) unless (Centerline) as shown.
 - D) All dimensions are to the rough unless otherwise shown.
 - E) Ceiling height dimensions are from finished concrete floor to finished face of ceiling.
 - F) All dimensions shall be verified in the field before proceeding with the work.
- 5) Provide all necessary encroachment blocking, backing and framing required for the work not necessarily limited to the installation of light fixtures, fire extinguishers, toilet accessories, brackets, handiicap equipment, and toilet partitions.
- 6) All doors not located by dimensions on plan or detail, shall be 5" (five inches) from face of stud to face of nearest door buck, or centered on room.
- 7) Door size indicated on drawings are opening dimensions. Allowances for thresholds, etc. shall be taken for net door sizes.
- 8) Details marked typical (typ.) shall apply in all cases unless specifically indicated otherwise.
- 9) Where no specific detail is shown, the framing or construction shall be identical or similar to that indicated for like cases of construction on this project.
- 10) Required draftstays to be constructed during the tenant improvement phase.

MATERIAL SPECIFICATIONS

MASONRY	FW - 120 PSL
WOKER	TYPE S 1800 PSE MK
GROUT	21000 PSI MK AT 28 DAYS
CONCRETE	FC - 3000 PSI AT 28 DAYS
REINFORCING	ASTM A615 - GR 40
STRUCTURAL STEEL	A-36
TUBE STEEL	TY - 46 KS

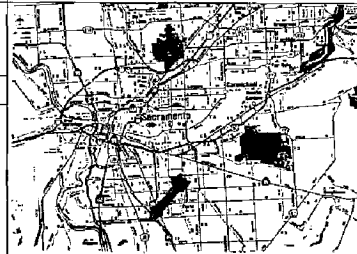
PROJECT DATA

OWNER	MCDONALD'S CORPORATION 1750 HOWE AVE. STE. 500 SACRAMENTO, CA 95825 (916) 643-3782
PROJECT ADDRESS	6370 Mack Road Sacramento, CA 95823 (916) 423-1140
LOCATION CODE	004-1093
PARKING EXISTING	41
NEW PARKING (TOTAL)	41
NEW PLAYLAND AREA	675 S.F.
EXISTING RESTAURANT SEATING	74
NEW OUTDOOR SEATING	18
TOTAL SEATING	90

INDEX OF DRAWINGS

A-1	SITE PLAN/DEMOLITION PLAN/DATA
A-2	FLOOR PLAN/ELEVATIONS/DETAILS
E-1	ELECTRICAL PLAN

VICINITY MAP



SYMBOLS

(A)	DOOR NUMBER	(O)	OFFICE	(R)	ROOM NAME
(R)	ROOM NUMBER	(P)	REFERENCE POINT	(F)	FINISH ELEVATION
(D)	DETAIL NUMBER	(E)	EXISTING ELEVATION	(K)	KEY NOTE NUMBER
(S)	SHEET NUMBER	(N)	NEW		

CONSULTANTS

ARCHITECT:	GABRIEL CARRILLO ARCHITECTURAL 1225 HOWE AVENUE SUITE 202 SACRAMENTO, CALIFORNIA 95825 (916)-422-0550
ELECTRICAL ENGINEER:	MORRISON ENGINEERING 707 COSMANS DRIVE SUITE 200 SACRAMENTO, CALIFORNIA 95825 (916)-287-3700
FIELD REPRESENTATIVE:	MCDONALD'S CORPORATION Project Manager: Lou Anderson Site Planner: Jessica McCher

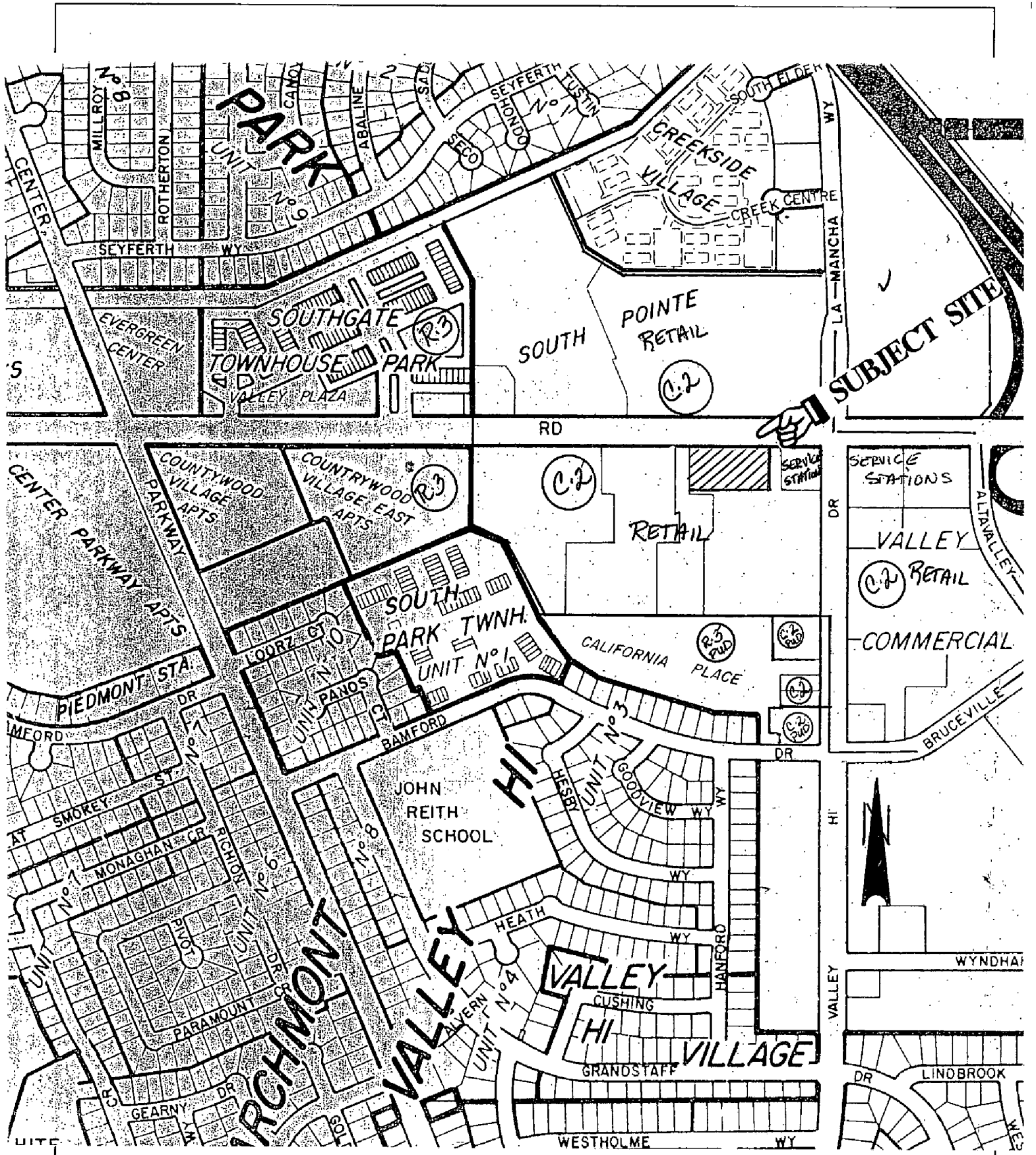
NO.	DATE	REVISIONS	BY

MCDONALD'S CORPORATION
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GABRIEL CARRILLO ARCHITECTURAL
1225 HOWE AVE. SUITE 202
SACRAMENTO, CALIFORNIA 95825
(916) 422-0550

GABRIEL CARRILLO ARCHITECTURAL
6370 MACK ROAD SACRAMENTO, CALIFORNIA
DATE: 06/16/92
SHEET NO. 2

EXHIBIT - A
SITE PLAN

1014



VICINITY, LAND USE AND ZONING MAP

1013