

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 9907067
Insp Area: 2

Site Address: 7024 AMHERST ST SAC
Parcel No: 035-0343-003

Sub-Type: NOTHR
Housing (Y/N): N

CONTRACTOR
PIFKUS BROS.
3068 SUNRISE BL
RANCHO CORDOVA CA 95782

OWNER
MORRIS JAMES M JR/DOROTHY M
7024 AMHERST ST
SACRAMENTO CA 95822

ARCHITECT

Nature of Work: PATIO ROOM ENCLOSURE-- 275 SQ FT

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

Y License Class B License Number 670242 Date 7-1-99 Contractor Signature [Signature]

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

____ I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

____ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

____ I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the above mentioned property for inspection purposes.

Y Date 7-1-99 Applicant/Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

____ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

→ Y I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier STATE FUND Policy Number 713 U 502 Exp Date 10/01/1999 [Signature]

____ (This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Y Date 7-1-99 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

City of Sacramento Development Services Division Planning and Zoning Information Request

Project Address: 7024 Am Heist ST

Assessor's Parcel Number: 035-0343-003

PREVIOUS USE _____

Current Land Use: _____

Description of Request/Proposed Use: ~~Proposed~~ Covered Patio

IS THIS A CHANGE OF USE? _____

Zoning Designation: R-1 EAI

Prior Applications for Project Site(P#,Z#,DRPB#): _____

Comments: Checked lot coverage

Setbacks

NOT DR Area

1400
275
1675

Are There Any Planning Issues?: (Circle One) YES NO

Staff Site Plan Check Required? (Circle One) YES NO

FIELD INSPECTION REQUIRED (Circle one) YES NO

Design Review/ Preservation Required?: (Circle One) YES NO

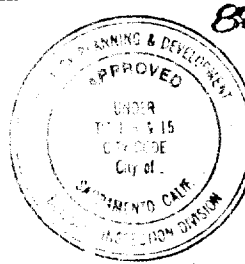
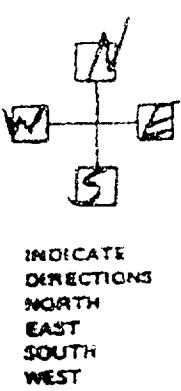
Planning Review by/Date: [Signature]

7-1-99

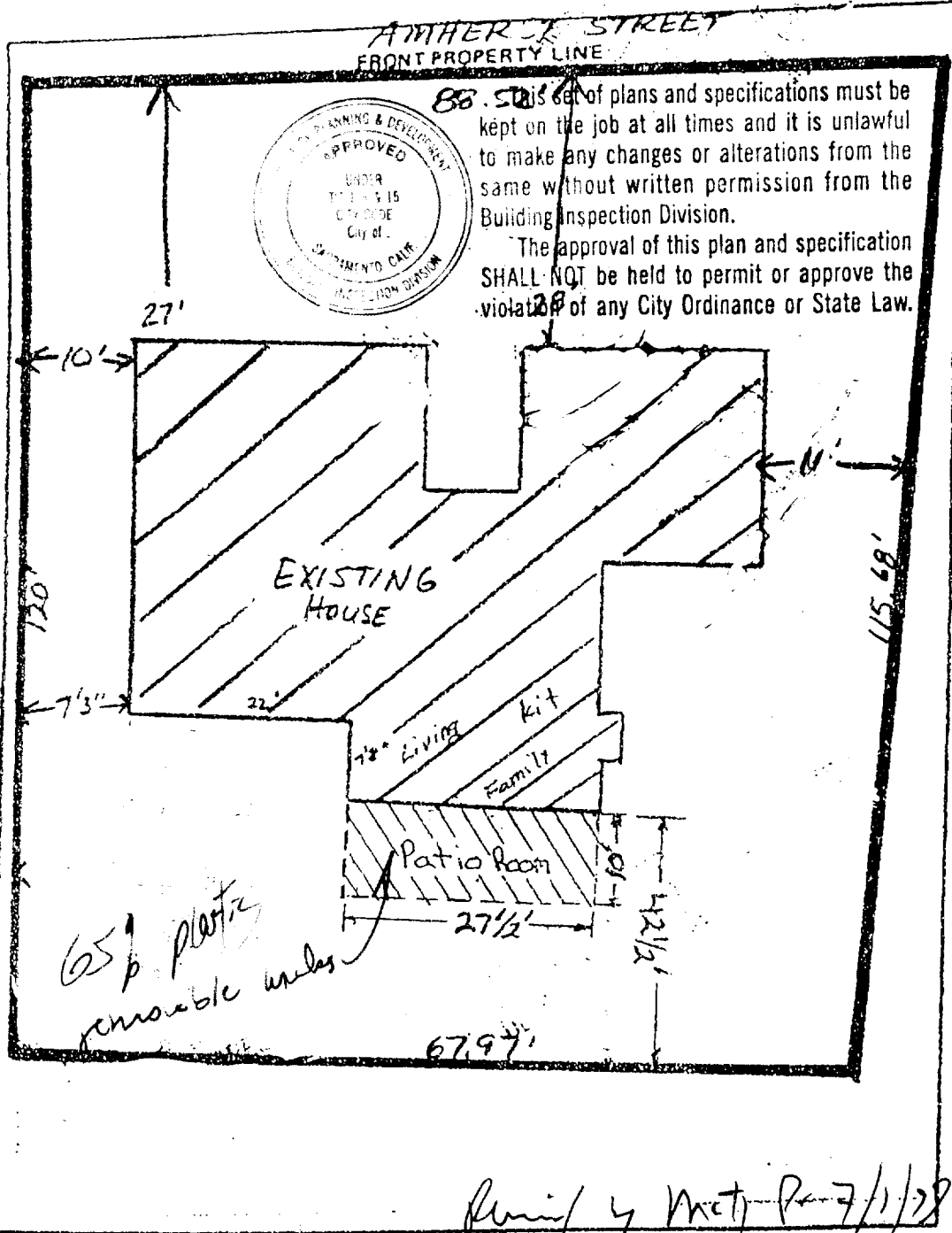
ISSUED

PLOT PLAN

CUSTOMER'S NAME MORRIS JAMES HOME PHONE 421-8885 BUSINESS PHONE _____
 ADDRESS 722 AMHERST STREET CITY SACTO COUNTY SACTO
 ZIP 95822
 LOT _____ BLOCK _____ TRACT _____



88.50' of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.
 The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.



SIDE PROPERTY LINE

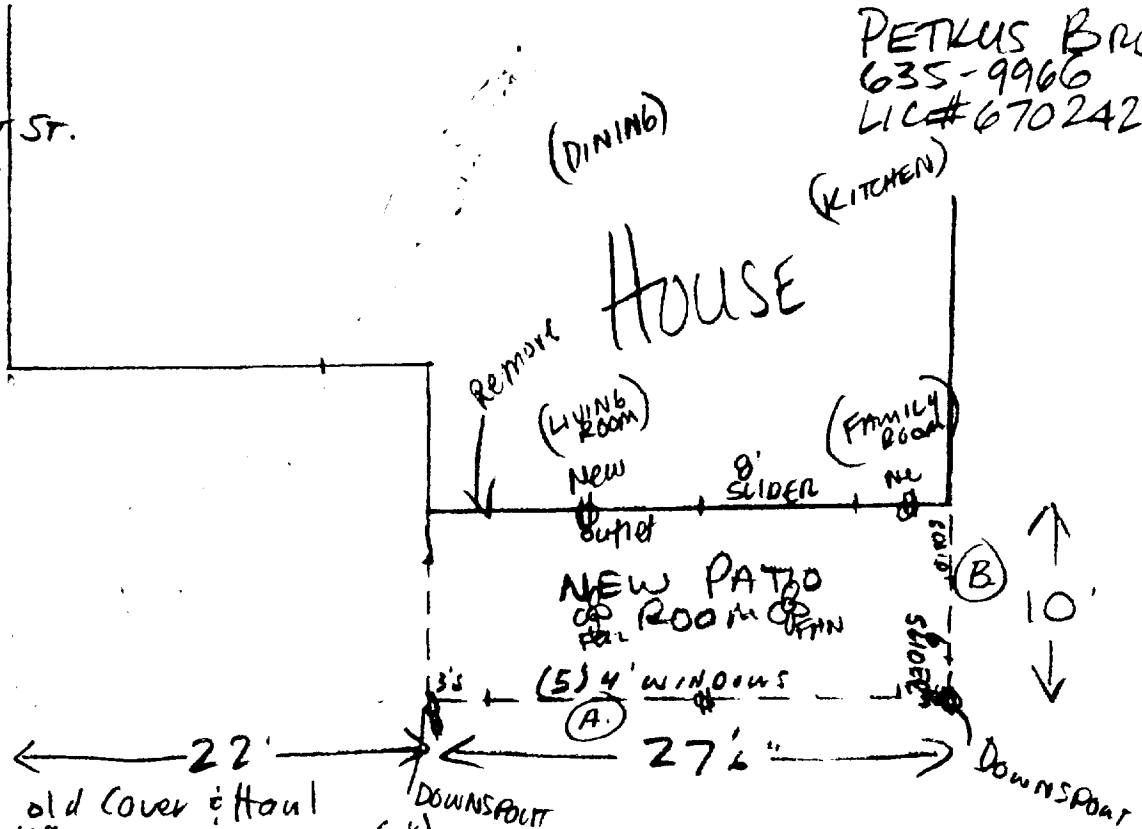
SIDE PROPERTY LINE

REAR PROPERTY LINE

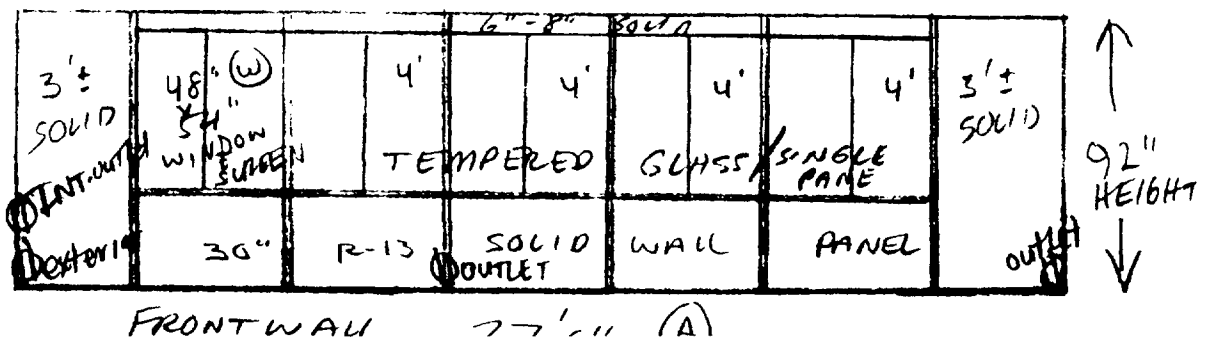
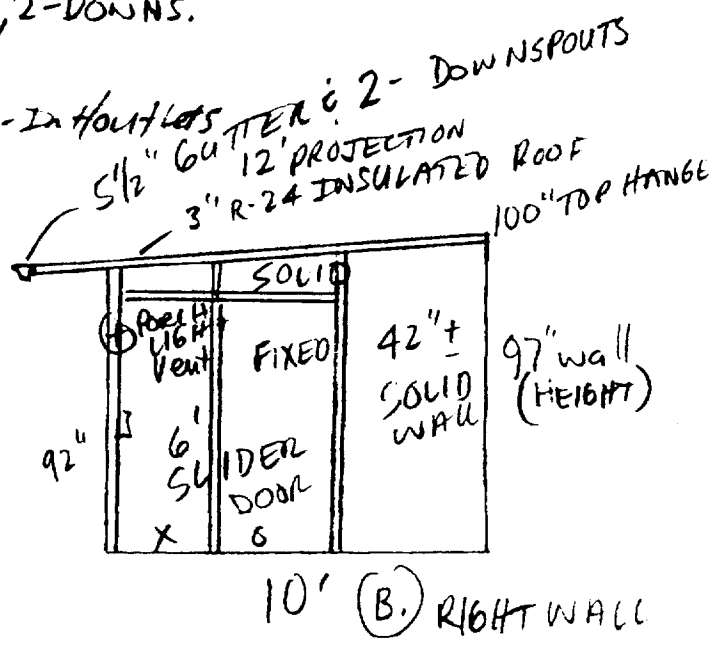
Review by Mett P-7/1/28

MD-RIS
 JAMES & DOROTHY
 7024 AMHERST ST.
 SACTO, CA. 95822
 421-8885

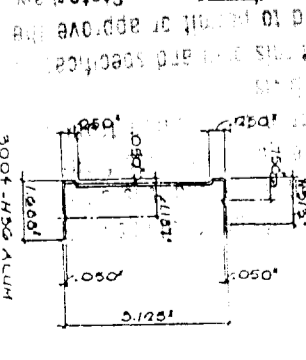
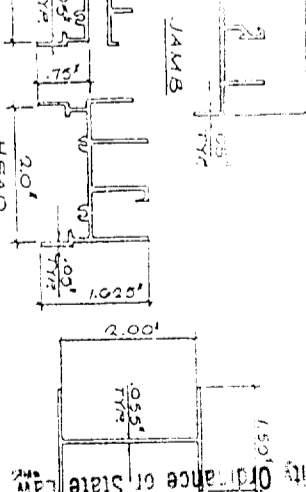
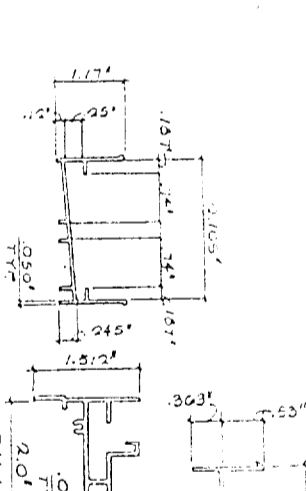
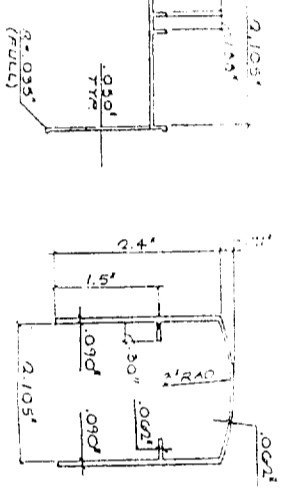
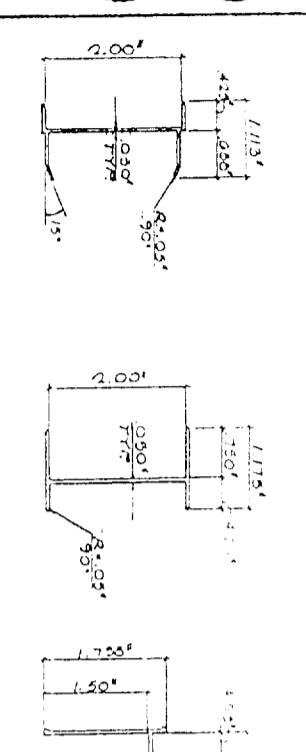
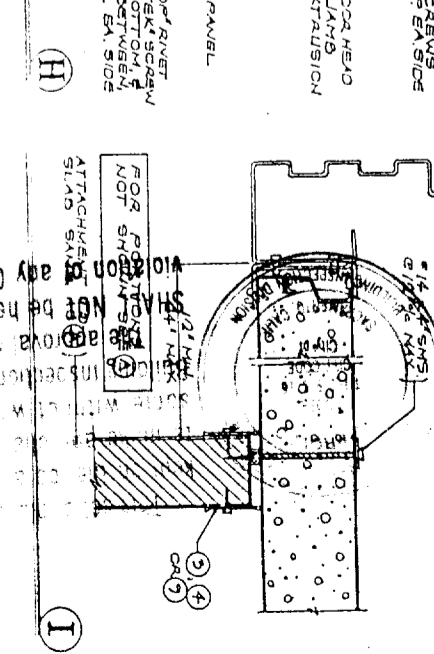
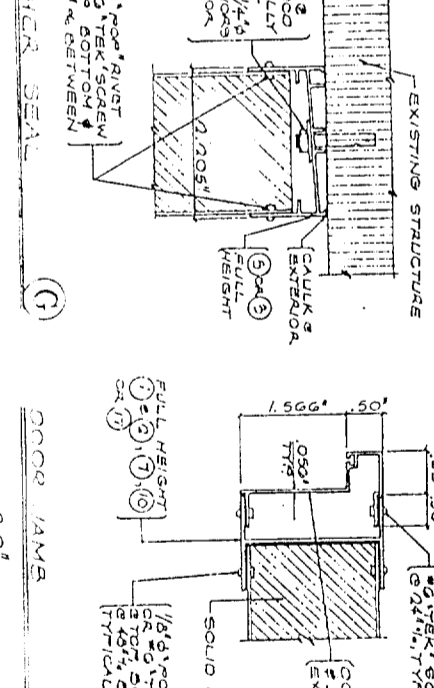
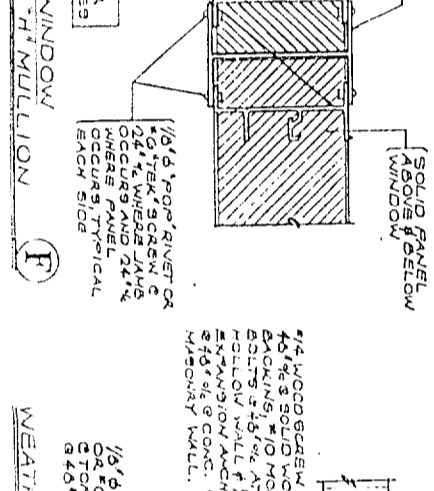
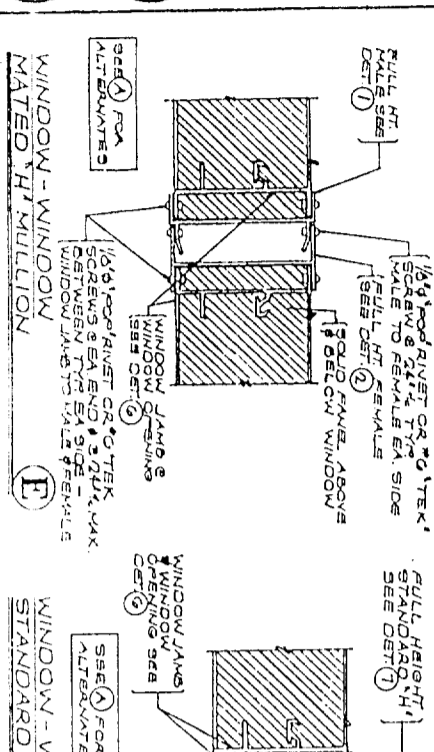
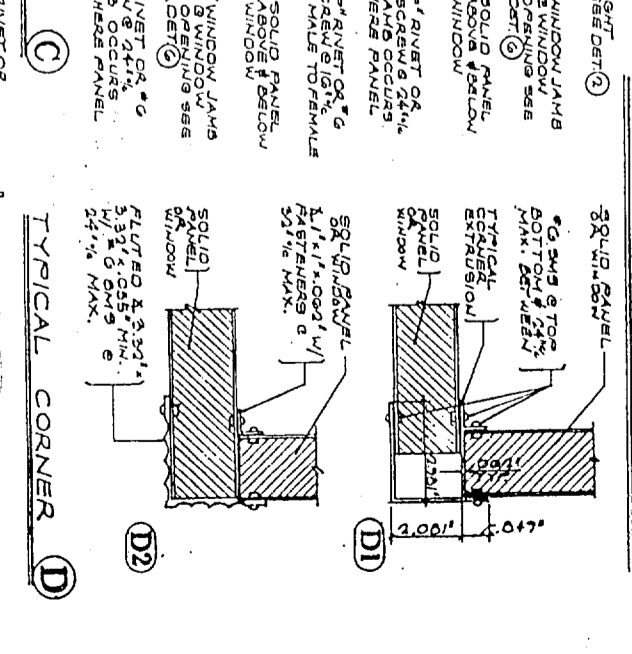
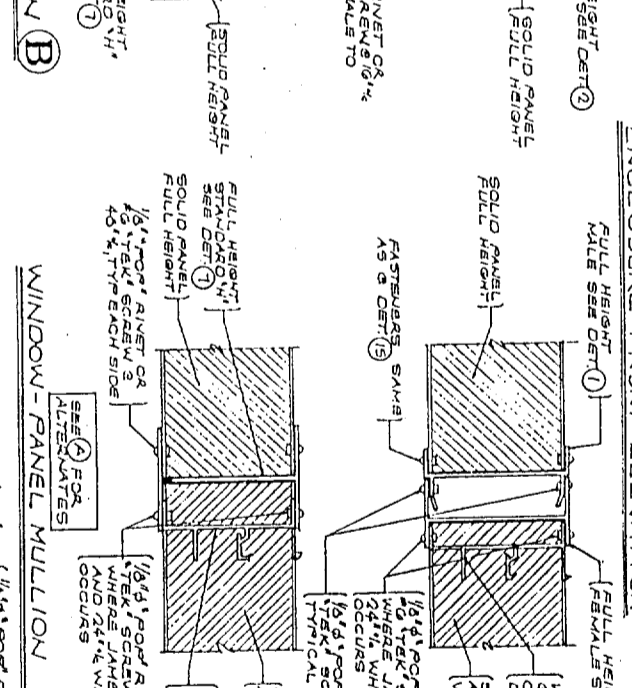
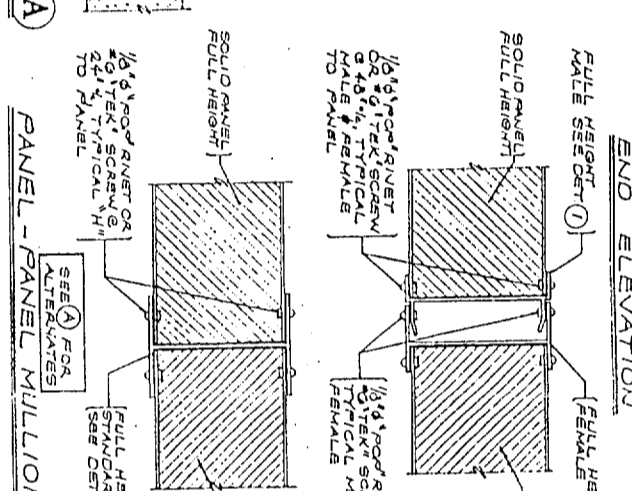
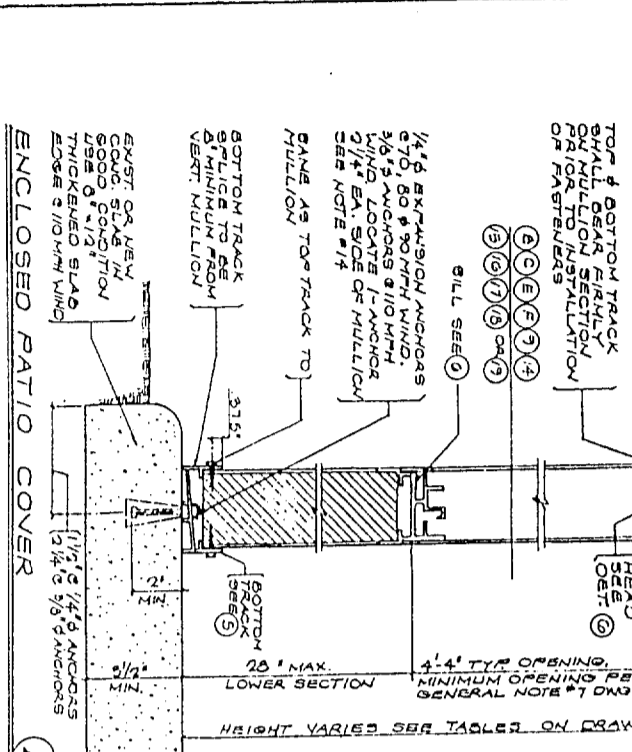
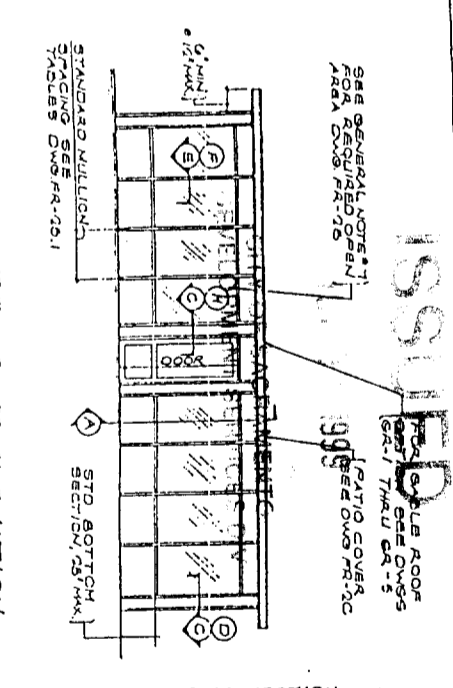
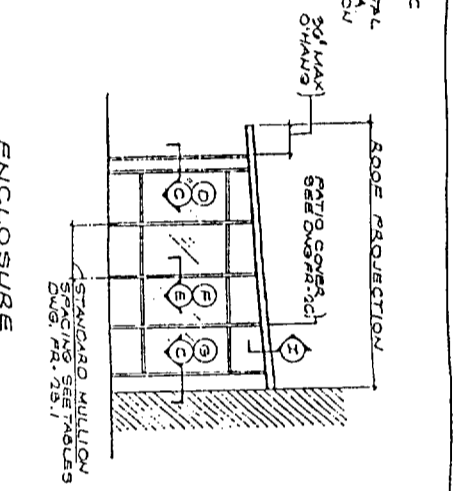
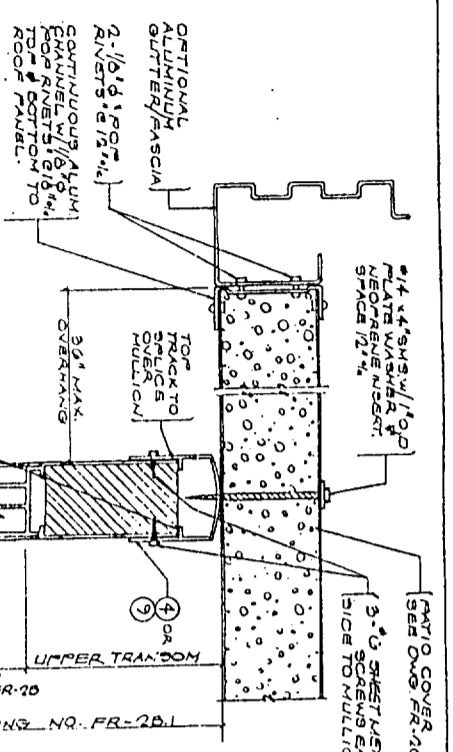
PETKUS BROS.
 635-9966
 LIC # 670242



- 1.) Teardown old cover & haul
- 2.) Pour 16' x 27' 6" CAPOVER SLAB (4")
Level to EXISTING SUNROOM / REMOVE STEP.
- 3.) PATIO ROOM ADDITION
 • ROOF / 12' x 30' - 3" R-24 ROOF, 5 1/2" GUTTER, 2-DOWNS.
 • WALLS / SOLID KICK, SINGLE PANE TEMP FULL SCREENS, 1-6" SLIDER DOOR
- 4.) ELECT. 2-CIRCUIT, 1-EXT. OUT, 5-IN/OUT LOTS
 2-OVERHEAD, 1-PORCH, (ON 2ND CIRCUIT)
 3-EXT. SENS. LIGHTS
- 5.) COMPLETE INSTALL



These details are for the use of the manufacturer of the product and are not to be used for any other purpose without the written consent of the manufacturer.



- 1 MATING MALE SECTION
- 2 MATING FEMALE SECTION
- 3 NON BEARING TOP TRACK
- 4 BEARING SYSTEM TOP TRACK
- 5 BOTTOM TRACK
- 6 WINDOW PARTS
- 7 STANDARD 'H' WINDOW CHANNEL
- 8 WINDOW PARTS

ENCLOSURE SYSTEM DETAILS

ALMET BUILDING PRODUCTS INC.
 227 S. Town East Blvd. Mesquite, TX 75149
 P.O. Box 850163 Mesquite, TX 75185-0163
 Telephone: 214-285-8811 Fax: 214-842-8943

ICBO EVALUATION SERVICE INC. REPORT NO. 3190-P

ALUMINUM CHANNEL
 3004-H30 ALUM

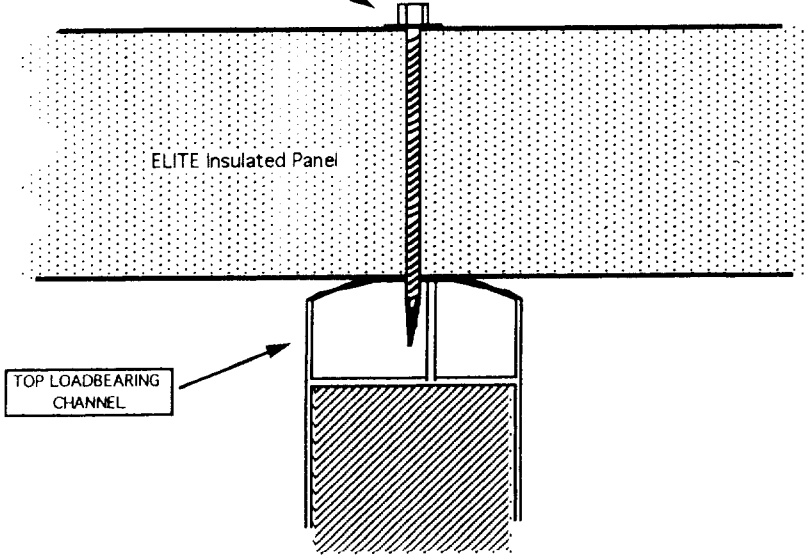
DATE: JULY 97
 JOB NO.: F-77
 DRAWING: T.D.W.M.
 DWS: NO.

FR-2A
 10/95

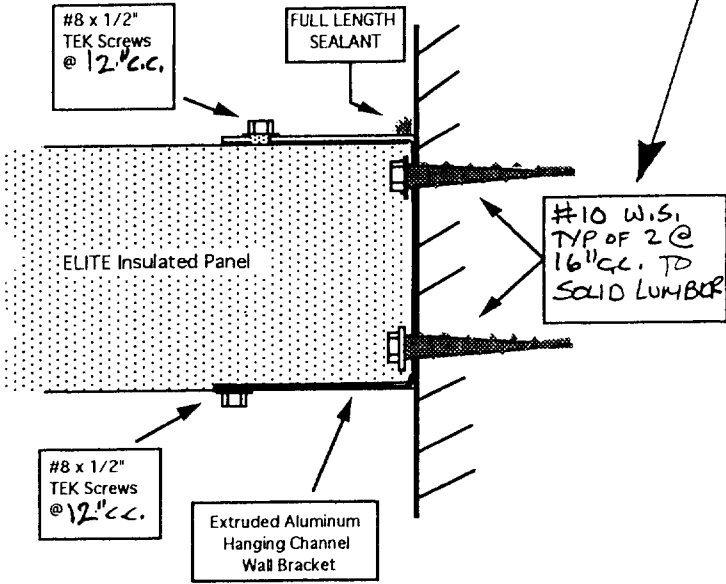
#14 X 4" SMS W/1" O.D.
PLATE WASHER & NEOPRENE
INSERT - SPACE 12" ±

NOTE: SCREW IS TO BE A
MINIMUM OF 3/4" LONGER THAN
THE THICKNESS OF THE
INSULATED ROOF PANEL

NOTE: WOODSCREWS MUST
BE LONG ENOUGH
SUCH THAT THEY PENETRATE
SOLID LUMBER A
MINIMUM OF 1 1/2"



ROOF TO ROOM WALL ATTACHMENT



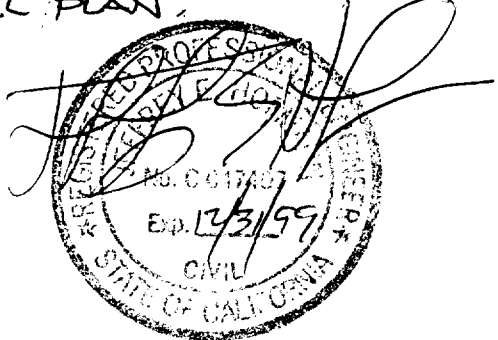
WALL ATTACHMENT

- NOTES:
- 1) THESE CONNECTIONS DESIGNED FOR LOADS NOT EXCEED 20 PSF (SNOW) LOAD + 80 mph Exp B PER 1994.
 - 2) THESE DETAILS MAY BE USED FOR THE ATTACHMENT OF THE "ELITE" INSULATED ROOF PANEL (ICBO # NER 501) AND SPANS ARE TO BE AS SHOWN ON DRWG # 951010.
 - 3) THIS SHEET IS INTENDED FOR USE IN CONJUNCTION WITH ANY APPROVED WALL PANEL PLAN.

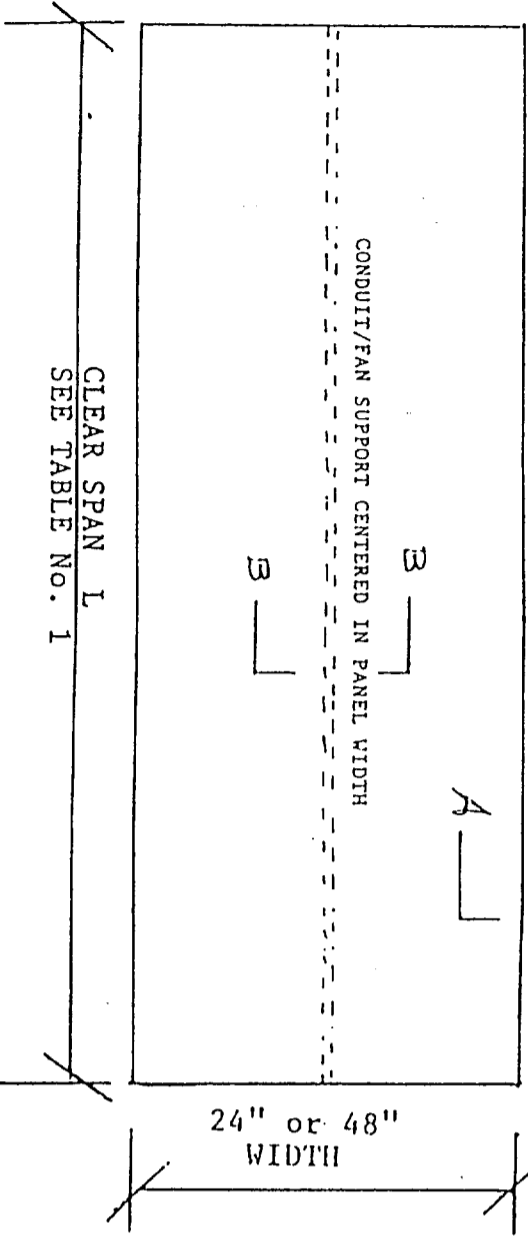
ROOF PANEL ATTACHMENT DETAILS

JOB# 98-1243 | 10/30/98
 DURALUM PRODUCTS FNC
 8269 ALPINE AVE
 SACRAMENTO, CA 95826 (916) 452-7021

PE PACIFIC CONSULTING ENGINEERS
 2150 Bell Avenue #145 Ph. 916-564-6028
 Sacramento, CA. 95838 Fax. 916-564-6029



ROOF PANEL



GENERAL SPECIFICATIONS

A. PANELS:

Panels are fabricated with aluminum facings structurally bonded to a polystyrene core. The resulting building panel varies in thickness from three to six inches and in lengths up to 30 feet.

B. FACINGS:

1. Thickness: Minimum .024 Maximum .032
Standard panel facing is .024
Panels having .032 facings will be labeled accordingly
2. Alloy: 3105-H154 or 3003-H16
3. Grade: Fy=18 KSI. Min.
4. Wash Coat: (Bending Surface) wax free polyester 10 mil. dry film
5. Surface Coat: Acrylic enamel - baked on
Temperature - 435/450 F.
Pencil Hardness F-2H

C. CORE:

Expanded polystyrene (EPS) having a density of 2 lbs maximum thickness of three to six inches full size of panel. Normally walls require 2 lb and roofs require 2 lb density foam.

The flame spread index is 25 or less and the smoke density rating is no greater than 450.

D. ADHESIVE:

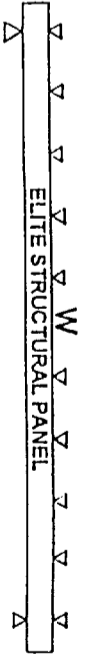
The adhesive is ISOGRIP SP 2020D produced by Ashland Chemical Company Division of Ashland Inc.

E. BONDING:

Final bonding (curing of adhesive is performed in "vacuum bags" for three to four hours under constant and even pressure over the entire panel surface).

Panel/Facing thickness and Core density are determined from Table 1.

The support and attachment of the panels must be substantiated by calculations submitted to building department for approval.



SPAN - L

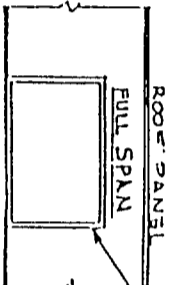
TABLE 1

SPAN LENGTHS OF SANDWICH PANELS IN FLATWISE BENDING. PANELS ARE SIMPLY SUPPORTED. W OR WL IS APPLIED DESIGN UNIFORM LOADING, PSF (POUNDS PER SQUARE FOOT)

DATE: 06/20/57

D INCH	W INCH	t SKIN INCH	L WL				L WL				L WL			
			10	20	30	40	10	20	30	40	10	20	30	40
3"	12"	.032	18"0"	12"9"	10"9"	9"3"	14"3"	11"4"	9"7"	8"6"	13"3"	10"0"	8"6"	7"8"
4"	14"	.032	22"0"	17"4"	14"3"	12"3"	19"6"	15"0"	12"10"	11"3"	17"4"	13"4"	11"3"	9"11"
5"	17"	.032	25"0"	18"6"	14"2"	13"1"	23"6"	18"7"	15"11"	14"1"	21"6"	16"9"	14"2"	12"6"
6"	17"	.032	25"0"	18"6"	14"2"	13"1"	24"0"	18"7"	15"11"	14"1"	22"6"	16"9"	14"2"	13"4"

SPAN LENGTH VALUES TO THE RIGHT OF THE BOLD VERTICAL LINE ARE GOVERNED BY DEFLECTION L/180 OR L/240. VALUES TO THE LEFT OF THE BOLD VERTICAL LINE ARE LIMITED BY ALLOWABLE BENDING STRESS Fb=6,000 PSI. THE VALUES GOVERNED BY DEFLECTION ARE CLEAR SPAN LENGTHS BASED ON THE APPLIED LIVE LOAD LISTED AS WL, PSF. ADD APPROXIMATELY 2 INCHES TO THESE VALUES TO OBTAIN SPAN LENGTHS C TO C OF BEARINGS. THE VALUES LIMITED BY STRESS (LISTED UNDER COLUMN L/120) ARE SPAN LENGTHS C TO C OF BEARINGS. THEY ARE BASED ON THE SUM OF LIVE LOAD WL AND PANEL WEIGHT WD. LISTED AS W (NEW WL) AND WD. SUBTRACT WD FROM W TO OBTAIN THE DESIGN LIVE LOAD WL. SPAN LENGTHS FOR W OR WL LOADINGS OTHER THAN LISTED ABOVE MAY BE OBTAINED BY STRAIGHT-LINE INTERPOLATION.



SECTION B-B

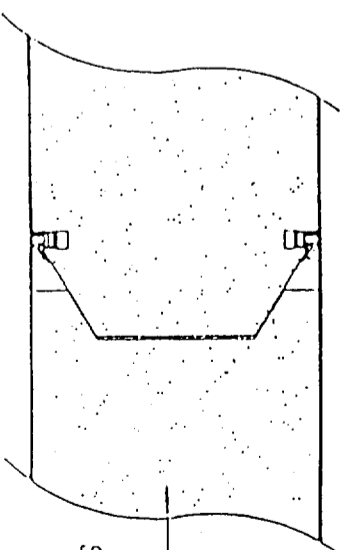
C.M.J. ENGINEERING, INC.
APPROVED FACTORY BUILT HOUSING

ALUMINUM FACINGS SEE TABLE NO. 1 FOR THICKNESS

These plans, specifications and installation requirements have been approved pursuant to Health and Safety Code, Division 13, Part 4 and regulations adopted thereto.
Approval herein does not authorize or approve any omissions or deviation from state laws or valid local ordinances.
This plan is approved as a building component and/or building systems, and is applicable only to the Design Conditions as shown on the plans.
Approval Not Applicable to Foundations
C.M.J.-E/LI

Plan Approval No. FBH-2 Model P-1
APR 27 2001

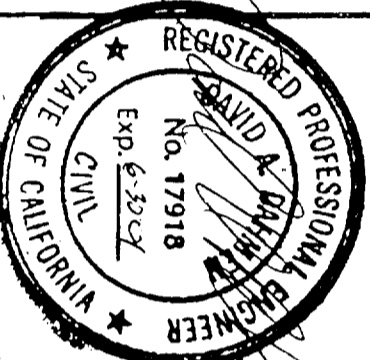
APR 27 2001



PANEL CROSS SECTION

SECTION A-A

SEE TABLE NO. 1
FOR THICKNESS



PACIFIC CONSULTING ENGINEERS
2150 Bell Avenue #145 Ph. 916-564-6028
Sacramento, Ca. 95838 Fax. 916-564-6029

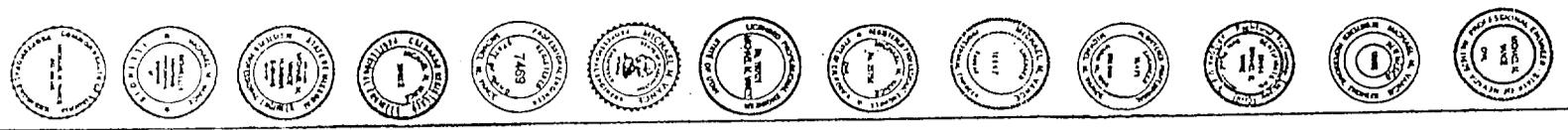
ELITE ALUMINUM CORP
1801 NW 64 St FT. LAUDERDALE, FL.

SCALE: N.T.S.
DATE: 4-2-98

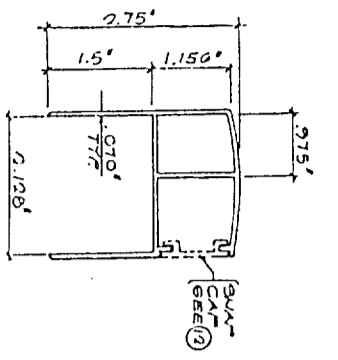
APPROVED BY: NER 501
DRAWN BY: JOD
REVISED: 3-27-98

ELITE ROOF PANEL MODEL R-1

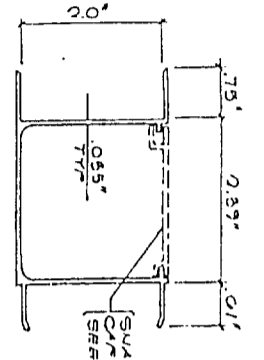
DRAWING NUMBER: 951010 1 of 1



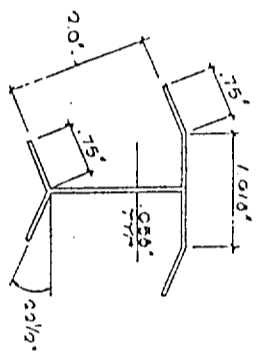
THIS DRAWING IS THE PROPERTY OF ALLMET BUILDING PRODUCTS INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF ALLMET BUILDING PRODUCTS INC. ANY VIOLATION OF THIS NOTICE SHALL BE SUBJECT TO LEGAL ACTION.



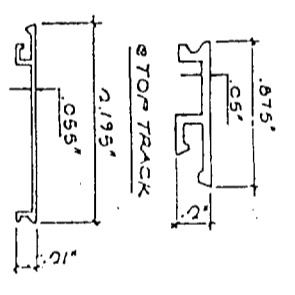
BEARING SYSTEM
TOP TRACK 9



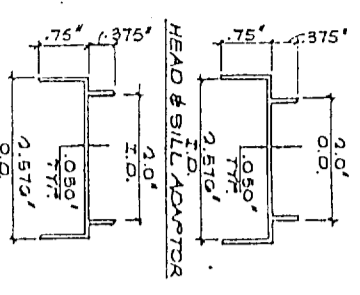
CHASE "H"
10



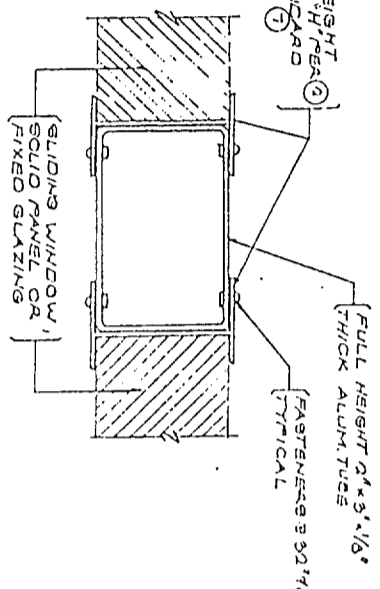
BAY "H"
11



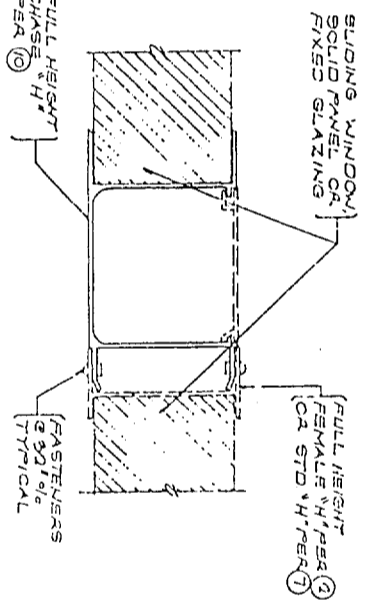
SNAP CAPS
12



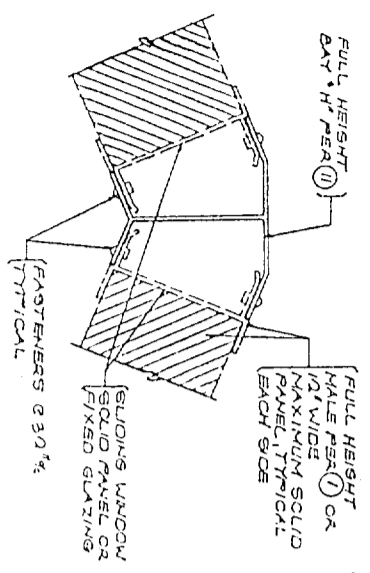
2300 SERIES
ADAPTORS 13



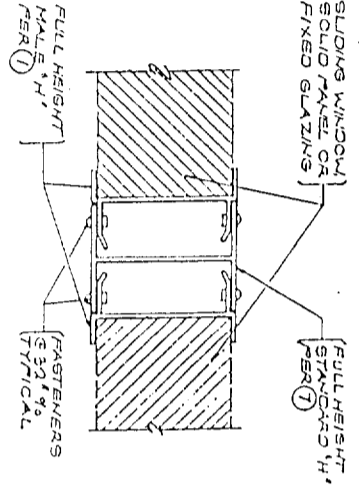
TUBE "H" MULLION
14



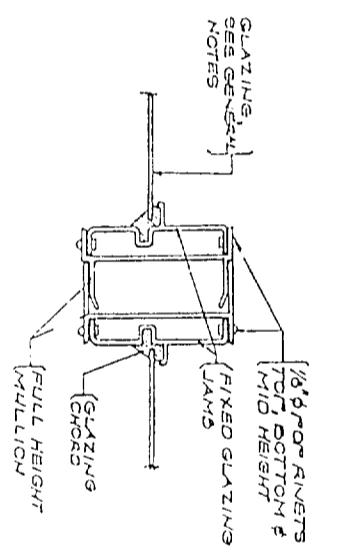
CHASE "H" MULLION
15



BAY "H" MULLION
16



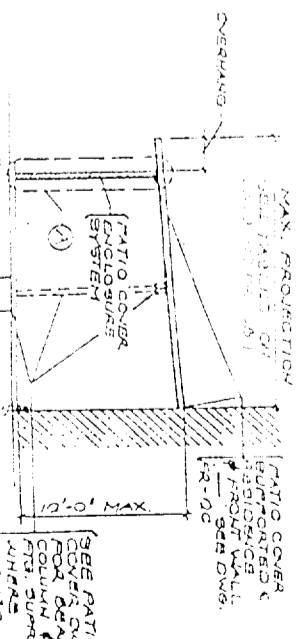
TRIPLE "H" MULLION
17



FIXED GLAZING MULLION
18

GENERAL NOTES & SPECIFICATIONS

1. THIS PATIO COVER & ENCLOSURE SYSTEM IS LIMITED TO RECREATION AND OUTDOOR LIVING PURPOSES AND IS NOT TO BE USED AS A CARPORT, GARAGE, OR HABITABLE ROOM.
2. THIS ENCLOSURE SYSTEM IS TO BE INSTALLED UNDER THE PATIO COVER, SHOWN ON SHEET RA-20. ICBO EVALUATION SERVICE INC. REPORT NO. 3190T
3. DESIGN LOADS: SEE TABLES FOR DESIGN LOADS. (DRAWING RA-20.1)
4. FASTENERS: 1/4" DIA. RIVETS WHERE SHOWN, SHALL BE 5052 ALUMINUM RIVET WITH CARBON STEEL PLATED HEADS AS MANUFACTURED BY THE URM COAT SHEET METAL SCREWS SHALL BE SIZES SHOWN AND SHALL BE STAINLESS STEEL, ZINC PLATED, GALVANIZED STEEL OR 2024-T4 ALUMINUM WHERE THE TERM "FASTENER" IS USED ON THE DRAWINGS THEY SHALL BE .125 INCH DIAMETER FOR RIVETS OR # 6 SHEET METAL SCREWS.
5. ALL STRUCTURAL COMPONENTS OF THIS ENCLOSURE SYSTEM (EXCEPT SOLID PANELS) ARE OF ALLOY & TEMPER 6063-T6 UNLESS SPECIFICALLY NOTED OTHERWISE.
6. THE SOLID WALL PANELS SHOWN SHALL COMPLY WITH A CURRENTLY RECOGNIZED ICBO EVALUATION SERVICE INC. REPORT ALL EXTERIOR PARTITIONS OF THE SOLID WALL PANEL, WHICH ARE SUBJECT TO WATER INTRUSION SHALL BE FULLY CALKED.
7. WHERE ENCLOSURE IS REQUIRED TO BE LEFT OPEN PER APPROX SECT. 3110, THE OPEN AREA OF THE LOWER WALL AND ONE ADDITIONAL WALL SHALL BE A MINIMUM OF 0.5 PERCENT OF THE AREA BELOW A MINIMUM OF 6 FEET 0 INCHES OF EACH WALL MEASURED FROM THE FLOOR. (OPEN IS DEFINED AS INSERT SCREENING AND/OR READY REMOVABLE TRANSPIRENT OR TRANSLUCENT PLASTIC NOT MORE THAN 1/8 OF AN INCH IN THICKNESS. SEE NOTE #8 BELOW FOR OPTIONAL GLAZING (SEE NOTE #9))
8. PORTIONS OF THE WALL NOT REQUIRED TO BE PLASTIC (SEE NOTE #7 ABOVE) MAY BE GLASS THAT COMPLIES WITH CHAPTER 24 OF THE UNIFORM BUILDING CODE, WHEN APPROVED BY THE BUILDING OFFICIAL, GLAZES COMPLYING WITH CHAPTER 24 OF THE CODE MAY BE SUBSTITUTED FOR THE PLASTIC INDICATED IN NOTE #7, AS PERMITTED BY SECTIONS OF THE CODE FOR EQUIVALENT MATERIALS OF CONSTRUCTION (SEE NOTE #9)
9. EACH PATIO COVER & ENCLOSURE SYSTEM SHALL HAVE PERMANENTLY APPLIED, AN IDENTIFICATION TAG GIVING THE MAKE & ADDRESS OF THE MANUFACTURER, DESIGN LOADS, AND I.C.D.O. E.S. REPORT NO.
10. THE BEARING SYSTEM MULLIONS HAVE BEEN DESIGNED FOR LOAD CONDITIONS REQUIRED BY CHAPTER 16 OF THE UNIFORM BUILDING CODE.
11. ALL ALUMINUM IN CONTACT WITH DISSIMILAR MATERIALS SHALL BE PROTECTED PER UBC SECTION 2011.6.2.
12. THIS NOTE HAS BEEN OMITTED
13. THIS NOTE HAS BEEN OMITTED
14. EXPANSION ANCHORS SHALL BE 1/4" DIA. STUD ANCHORS OR EQUIVALENT PER ICBO EVALUATION REPORT NO. 4317. 1/4" DIA ANCHORS SHALL HAVE A MINIMUM TENSION VALUE (IN CONCRETE) OF 300 POUNDS. THE 3/8" DIA ANCHORS SHALL HAVE A MINIMUM TENSION VALUE (IN CONCRETE) OF 400 POUNDS.
15. TEMPERED GLASS WITH A THICKNESS NOT EXCEEDING .125 INCHES IS A RECOMMENDED ALTERNATE TO PLASTIC AND IS REQUIRED IN NOTE #7, ALL TEMPERED GLASS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 24 OF THE UBC. SEE DWG. WIND FOR GLASS WINDOW ASSEMBLY.



TYPICAL CROSS SECTION

City of Sacramento Development Services Division Planning and Zoning Information Request

Project Address: 7024 Amherst ST

Assessor's Parcel Number: 035-0343-003

PREVIOUS USE _____

Current Land Use: _____

Description of Request/Proposed Use: ~~Room~~ Covered Patio

IS THIS A CHANGE OF USE? _____

Zoning Designation: R-1 EAI

Prior Applications for Project Site(P#,Z#,DRPB#): _____

Comments: Checked lot coverage

Setbacks

Not DR Area

1400
275
1675

Are There Any Planning Issues?: (Circle One) YES NO

STAFF Site Plan Check Required? (Circle One) YES NO

FIELD INSPECTION REQUIRED (CIRCLE ONE) YES NO

Design Review/ Preservation Required?: (Circle One) YES NO

Planning Review by/Date: [Signature]

7-1-99

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