

CITY OF SACRAMENTO

Permit No: 9804460

1231 I Street, Sacramento, CA 95814

Insp Area: 2

Site Address: 6570 CHESTERBROOK DR SAC

Sub-Type: NSFR

Parcel No: 1171220032

Housing (Y/N): N

CONTRACTOR

PRODIGY HOMES
8908 BOULDER WY
SACRAMENTO CA

95829

OWNER

BOULDER GLEN INVESTORS
1390 WILLOW PASS RD 410
CONCORD CA

94520

ARCHITECT

Nature of Work: (n)sfr w/att. garage MP 2452 W/OFFICE OPTIONS

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name: none Lender's Address:

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class: B License Number: 691732 Date: 5-27-98 Contractor Signature: Debbie McKelvey

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. B & PC for this reason:

Date: Owner Signature:

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and herby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date: 5-27-98 Applicant/Agent Signature: Debbie McKelvey

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations: I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: Policy Number:

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: 5-27-98 Applicant Signature: Debbie McKelvey

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

CITY OF SACRAMENTO

Permit No: ~~9801598~~

1231 I Street, Sacramento, CA 95814

Insp Area: 2

6570 CHESTERBROOK DRIVE, SAC

Site Address: ~~8766 LAGUNA STAR DR SAC~~

Sub-Type: NSFR

Parcel No: 117122001

LOT # 32

Housing (Y/N): N

32

CONTRACTOR

PRODIGY HOMES
8908 BOULDER WY
SACRAMENTO CA
Phone: 916-689-9333

95829

OWNER

STONEGATE II ASSOCIATES
1390 WILLOW PASS RD 410
CONCORD CA 94520
Phone:

ARCHITECT

Phone:

Nature of Work: NEW SFD MP 2452 W/ BEDROOM & OFFICE OPTION ✓

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name NONE Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 691732 Date JULY 1998 Contractor Signature [Signature]

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

Date 5-26-98 Applicant/Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 5-26-98 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

Plans in microfilm

INSULATION CERTIFICATE

THIS IS TO CERTIFY THAT INSULATION HAS BEEN INSTALLED IN CONFORMANCE WITH THE CURRENT ENERGY REGULATIONS, CALIFORNIA ADMINISTRATION CODE, TITLE 24, STATE OF CALIFORNIA, IN THE BUILDING LOCATED AT:

SITE ADDRESS: LOT 32 Arlington Park Sacramento CA
NUMBER STREET CITY STATE

CEILINGS:

BLOW: Manufacturer Greenstone Thickness 8.1 R/Value 30

Square Feet _____ # Bags/Lbs. per bags _____

BATTS: Manufacturer Johns Manville Thickness 10.25 R/Value 30

EXTERIOR WALLS:

Manufacturer Johns Manville Thickness 3.5 R/Value 13

FLOOR INSULATION:

Manufacturer Johns Manville Thickness 6.25 R/Value 19

AIR INFILTRATION: (TITLE 24)

Yes XX No _____

OTHER: _____

GENERAL CONTRACTOR: Prodigy Homes LIC. # _____

BY: _____ TITLE _____ DATE _____

INSULATION CONTRACTOR: Western Insulation, Inc. LIC. # 481278

BY: Jamie Blair TITLE Auth. Agent DATE _____

OMEGA PRODUCTS CORP.

DIAMOND WALL INSULATING STUCCO SYSTEM

JOB ADDRESS:

ICBO Report #4004

Date of Job Completion _____

PLASTERING CONTRACTOR:

Name: STUCCO WORKS INC.

Address: 5900 WAREHOUSE WAY, SACRAMENTO, CALIFORNIA 95826

Telephone No: (916) 383-6699

Contractor Number of Diamond Wall System 2175

This is to certify that the exterior coating system on the building exterior at the above address has been installed in accordance with the evaluation report specified above and the manufacturer's instructions.

Date _____

Signature of authorized representative of
Plastering Contractor

This installation card must be presented to the building inspector after completion of work and before final inspection.



WALLACE • KUHL & ASSOCIATES INC.
 3050 Industrial Blvd. • West Sacramento, CA 95691 • 916-372-1434 • FAX 916-372-2565

Job No.
2399-11
 Page

DAILY FIELD REPORT

PROJECT NAME: Arlington Park	CLIENT OR OWNER: Prodigy Homes	REPORT SEQUENCE NO.	
GENERAL LOCATION OF WORK: Laguna Star Dr.	OWNER OR CLIENT'S REPRESENTATIVE:	DATE: 10-2-98	DAY OF WEEK: Fri.
GENERAL CONTRACTOR:	GRADING CONTRACTOR: Kent B.	PROJECT ENGR. SF	
TYPE OF WORK: Trench Backfill	GRADING CONTRACTOR SUPERINTENDENT OR FOREMAN: Greg Nickless	SUPERVISOR: DFS	
SOURCE AND DESCRIPTION OF FILL MATERIAL: Native on site soils	WEATHER: Clear	TECHNICIAN: BHH	
KEY PERSONS CONTACTED: (Civil Engr., Architect, Developer, etc.)			

TEST NUMBER	TEST LOCATION	ELEVATION	FIELD TESTING		REFERENCE CURVE			COMMENTS
			MOISTURE CONTENT %	% OF MAXIMUM DRY DENSITY	COMP. CURVE NO.	MAXIMUM DRY DENSITY LBS./CU. FT.	OPTIMUM MOISTURE CONTENT %	
	Lot 22 Utilities Trench	SG	14.5	90	2	114	10.5	
	Lot 32 " "	SG	11	91	1	117.5	10	
	Lot 13 Utilities Trench	SG	8.0	94	1	117.5	10	
	14	1	8.0	95	1	117.5	10	
	15	1	13.6	90	1	117.5	10	

Describe equipment used for hauling, spreading, watering, conditioning and compacting

NOTES (Describe work completed during the day, any problems and their solution):

10-2 On site this A.M. tested utilities trench for compaction, results noted above.

Continued

WHITE COPY TO OUR FIELD FOLDER CANARY COPY TO PROJECT ENGINEER PINK COPY TO CLIENT (IF REQUESTED)	COPY GIVEN TO <u>Office</u> Kent B. Feander	Report By Bill H.
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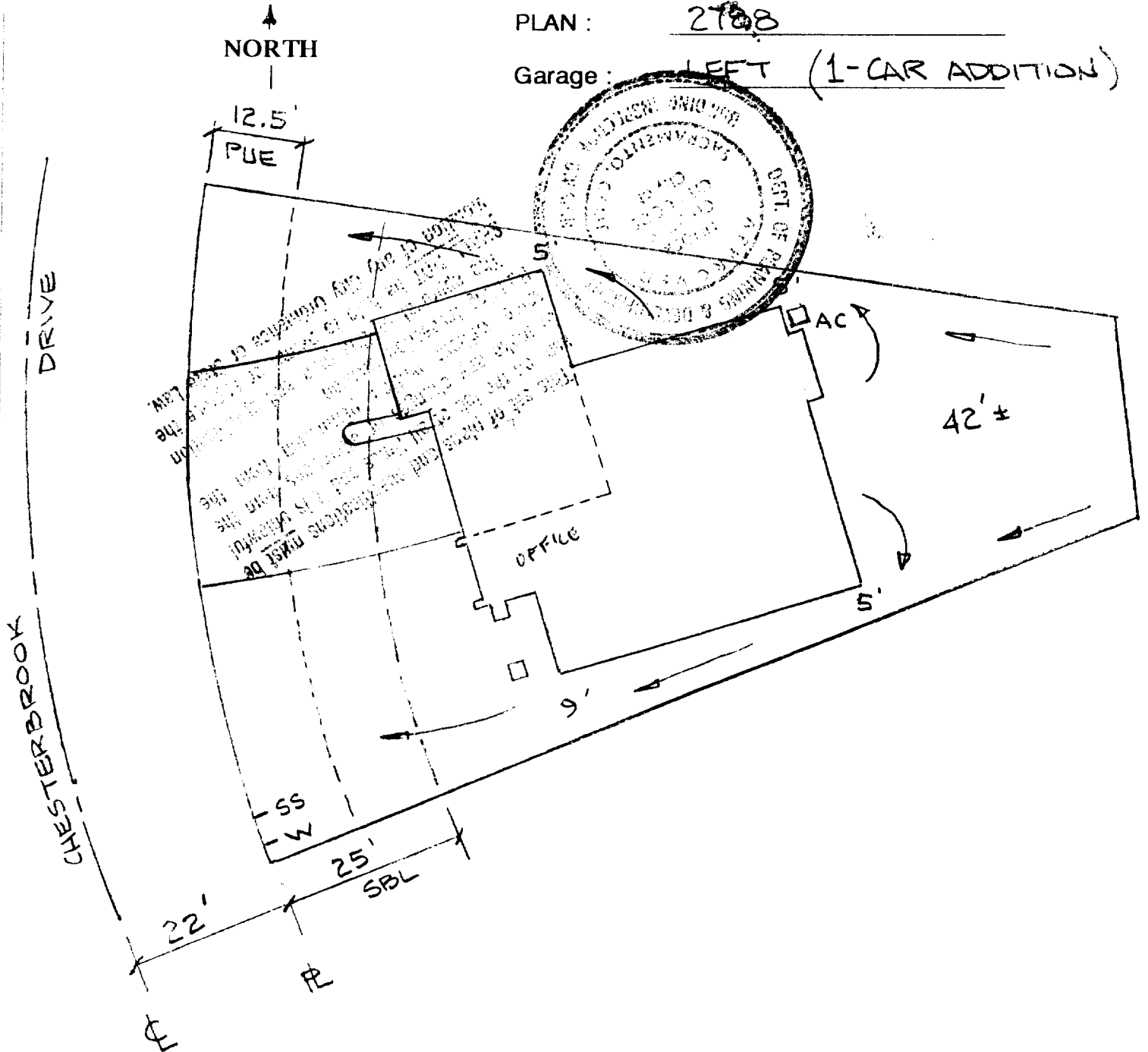
PRODIGY HOMES

Prodigy Homes, Inc., A California Corporation, 8908 Boulder Glen Way, Sacramento, CA 95829 (916) 689-9333

NOTE: This Plot plan is for the purpose of showing the house to be constructed on the lot and may not represent the final as-built configuration of the property or improvements thereon. Setbacks, other than minimum ordinance, are approximate only and must not be assumed to be precise.

PLAN : 2708

Garage : LEFT (1-CAR ADDITION)



Scale : 1" = 20'

PE = Pad Elevation

TS = Top of Slab Elevation

AC = Air Conditioner Location

W = Water Service Location

SS = Sanitary Sewer Location

-- = Foot P.U.E. Line

-> = Direction of Drainage Flow

■ = Drainage Inlet

Arlington Park / Laguna Creek

LOT # 32

DATE : 4-29-98

Certification of Compliance
School District Development Fees

Part I—To be completed by the APPLICANT

Owner's Name/Address Boulder Glen Investors/8908 Boulder Glen Way
Project Address 6570 Chesterbrook Drive
Parcel Number 117-1220-032 Lot No. 32
Subdivision Name Arlington Park #5, Phase 1 No. of Units 1
Applicant's Signature [Signature] Title V.P.
Phone No. 689-9333 Date _____

Notice to Applicant: Pursuant to Government Code Section 66020(d), this will serve to notify you that the 90-day approval period in which you may protest the fees or other payment identified above will begin to run on the date in which the building or installation permit for this project is issued or on which they are paid to the district(s) or to another public entity authorized to collect them on behalf of the district(s), whichever is earlier.

Part II—To be completed by the BUILDING DEPARTMENT

Plan Identification Number _____
Building Type (check one) Residential Apartment/Condominium Commercial/Industrial
Square Feet of Chargeable Building Area 2903
Signature/Title [Signature] Date 5/26/98

Part III—To be completed by the SCHOOL DISTRICT

School District EGUSD Certificate No. 61042

Exempt Comments _____

Residential/Apartment/etc. 113 Square ft. x \$ 120 = \$ 13560

Commercial/Industrial _____ Square ft. x \$ 130 = \$ _____

Total fees collected = \$ 13560

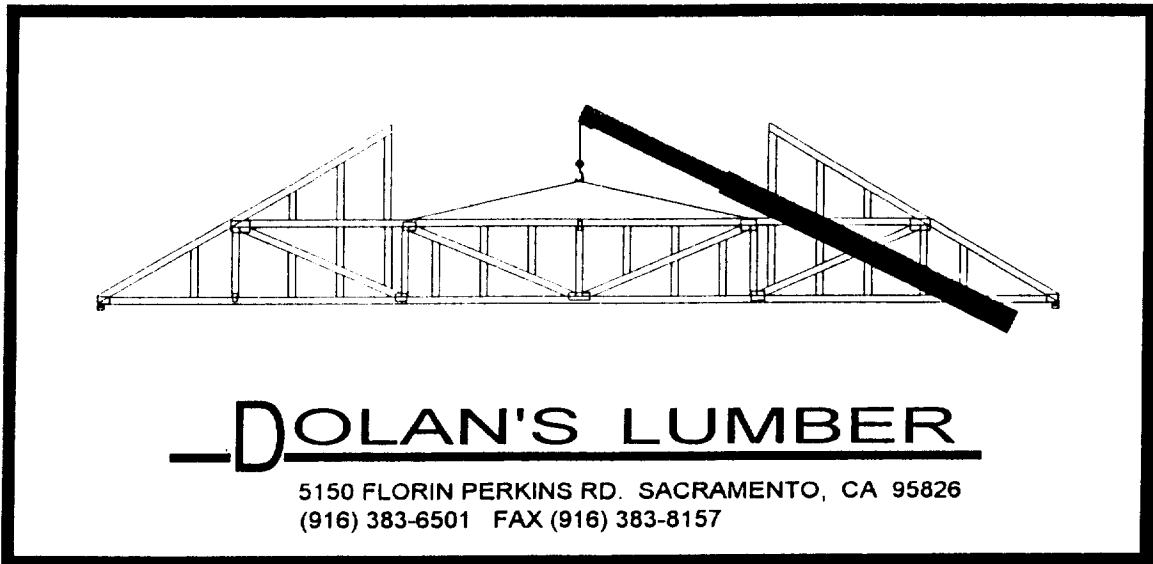
This certification covers only the amount of square footage indicated above. Any additions or corrections to the square footage for this project will require an amendment to the Certificate of Compliance.

As the authorized school official, I hereby certify that the requirements of Government Code Section 65995 and any other authorized requirements have been complied with by the above signed applicant.

Signature _____ Date _____

White & Canary—School District • Pink—Building Department • Goldenrod—Applicant **MAY 27 1998**

LOT 32
1-CAR



ROOF AND FLOOR TRUSS ENGINEERING CALCULATIONS

CUSTOMER: PRODIGY HOMES

PROJECT: BOULDER GLEN/GARAGE OPTIONS

PLAN: ALL PLANS

ELEV: ALL

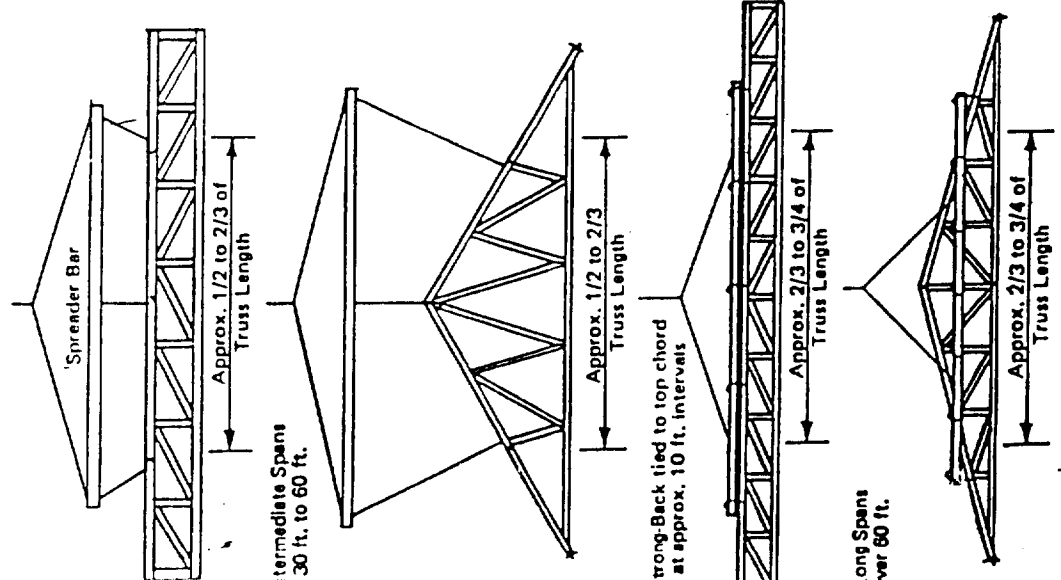
DESIGNER: MIKE HUNSAKER

DATE: FEB.12, 1996

CHAINS, LINKS OR OTHERS, ADEQUATE STRIPS, SMOOTH SURFACE
 reader bars must be used to prevent lateral strain. When large
 jesses require a boom, the lines from the boom to the truss
 must be vertical or "toe-in," not "toe-out" as toeing out will
 lead to cause buckling of the truss. This is especially important
 on long trusses or flat trusses are lifted by cranes.
 Trusses may be erected singly or in groups of four or five banded
 together. This will be largely dependent on the length and slope
 of the trusses.

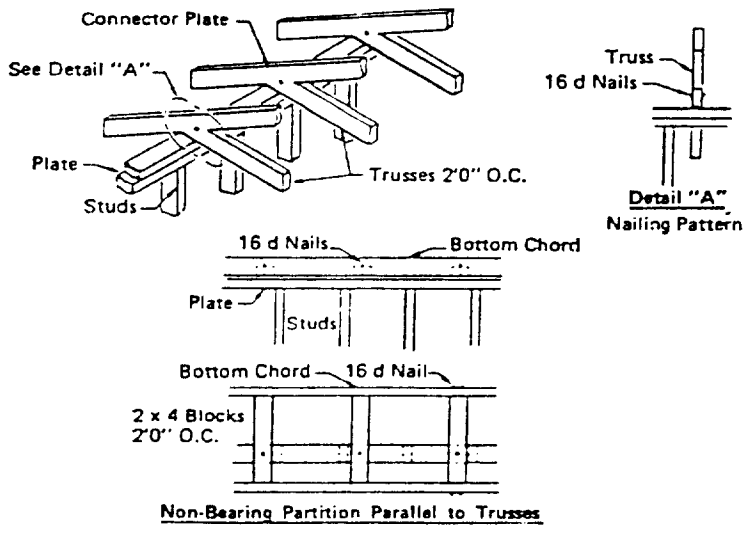
It is extremely important that a rope be tied to the truss or
 cup of trusses so it can be guided to the proper position on the
 plate or wall.

*Use common sense and caution
 and your truss erection job
 will be relatively simple and safe.*



HYDRO-AIR ENGINEERING, INC.
 P.O. Box 7359, St. Louis, Mo. 63177
 © 1986, Hydro-Air Engineering, Inc.

MISCELLANEOUS INSTALLATION DETAILS



Non-Bearing Partition Parallel to Trusses

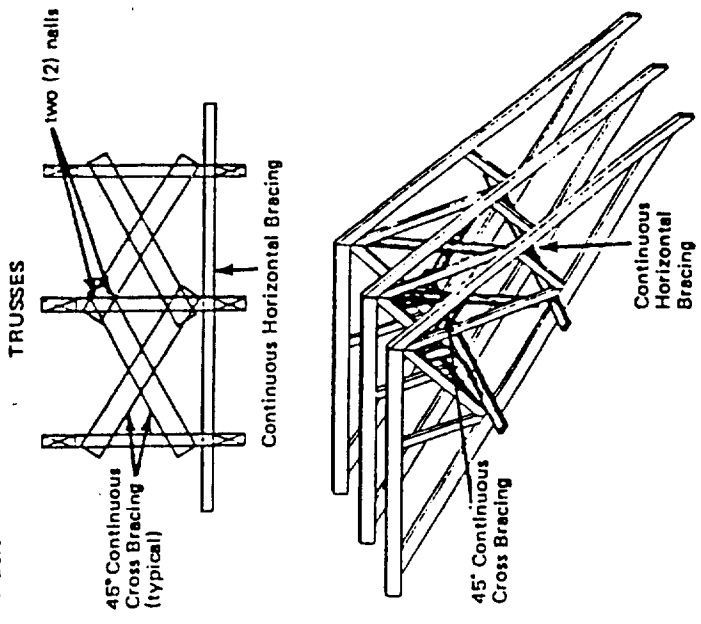
HYDRO-AIR®
 P.O. Box 7359 St. Louis, Missouri 63177 (800) 375-8075 or (314) 567-1927
 Authorized Fabricator

DOLAN'S
 5150 Florin-Perkins Rd., Sacramento, Calif.
 Phone 383-6501

**IMPORTANT
 NOTICE**

During erection and before any application of plywood
 or roofing, etc., is applied; all trusses must be well
 braced. If you have any questions, be sure to consult
 with your architect or engineer for further bracing
 details.

Special care should be used in lifting all trusses. Protect
 both the trusses and erection personnel by using either a
 spread bar or strong back support as described in this
 folder.



Bracing is an important and necessary part
 of your roof system.

How to Erect Trussed Rafters:

These recommendations are presented only as a guide! In all cases, the erection agent - whether the fabricator or building contractor - is responsible for field handling, erection, temporary and permanent bracing since he is most familiar with local climate conditions and the special job site problems.

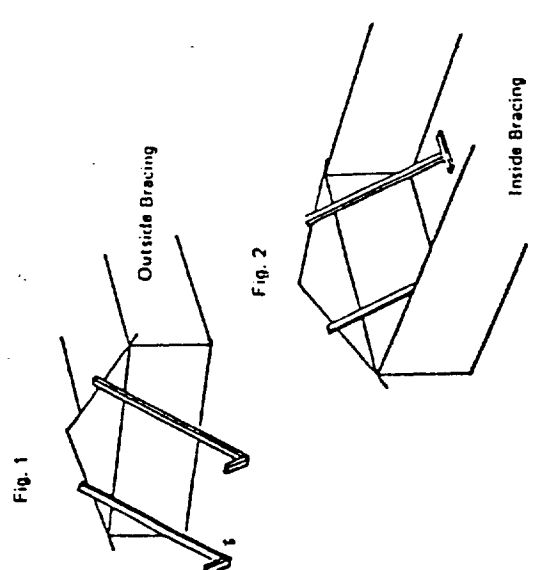
Unloading Trussed Rafters: Trusses should be unloaded onto relatively smooth ground. They should not be unloaded onto rough ground as this could cause undue lateral strains... and possibly distort or otherwise damage the trusses. Dumping is possible providing the trusses are banded into bundles. Banding them into bundles is necessary to safeguard their structural integrity as much as possible.

How To Brace Trusses: During erection temporary bracing shall be installed to hold the truss true and plumb and in good condition until permanent bracing can be applied. After all bracing has been applied, then the application of plywood and roofing materials will contribute to the rigidity of the complete roof structure. All components must be permanently fastened into place before the application of any loads except erection weights. There are two distinct types of bracing. "Temporary" and "permanent." Each type is important and plays a major role in the structural integrity of the total roof system.

Temporary Bracing: The most common cause of dominoing is inadequate temporary bracing. Three types of temporary bracing are important.

1. **Gable End (or first truss) Bracing:** The gable end or first truss must be adequately anchored to serve as the starter. Note figure 2 which shows the inside and outside bracing of the gable end.

Gable end bracing and positioning to the existing wall of the building may be used during erection in lieu of bracing to the ground providing high winds are not experienced.



2. **Truss Spacers:** Figure 3 shows short pieces of 1 x 4 or 2 x 4 used not only as a lateral bracing of the top chord back to the gable end, but also as a truss spacer to maintain the 2'-0" o.c. increment of spacing throughout the roof structure.

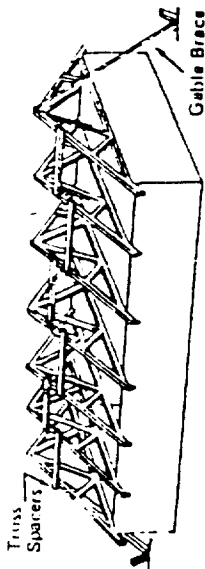


Fig. 3

3. **Cross Bracing:** As shown in figure 4, cross bracing is applied to one or more of the long diagonals within the attic space to prevent dominoing. It is important to start the cross bracing at or near the peak of one gable end and continue across the building to the base of the opposite gable end. 1 x 4's or 2 x 4's should be used for cross bracing.

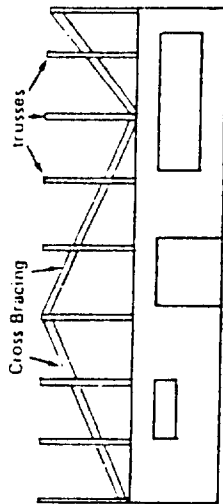


Fig. 4

Permanent Bracing: Top chords may be considered sufficiently internally braced if properly nailed plywood sheathing is used. However, if other sheathing, such as spaced sheathing for slungles, metal roofing, etc., is used, additional lateral bracing may be required.

Wide spaced trusses or trusses with no ceiling materials applied direct to bottom chord require permanent bottom chord bracing. Two rows of bracing, at the third points or maximum 10'-0" o.c. tying the bottom chord to the end wall is required.

Long diagonals may require lateral bracing depending on the truss design. This bracing should start at a wall and be tied into all trusses and the opposite wall as per the truss design.

Special bracing as indicated on the roof design should be provided where required. Remember, bracing is simple if you start at a point of stability, such as a wall, and tie in all points that require bracing.

Erection Procedure:

1. Start with one gable end truss and fasten it to the top plate with the nails or anchors as conditions require. Be sure to brace the gable end as shown in figure 2.
2. Next position the first common truss and fasten it to the top plate. Brace the first common truss as in figure 3.
3. Continue positioning, fastening and bracing trusses until all trusses are in place. Some erectors will follow up with a sheathing crew after about half the trusses are erected. Sheathing adds stability to the trusses when it is tied into a braced gable end.

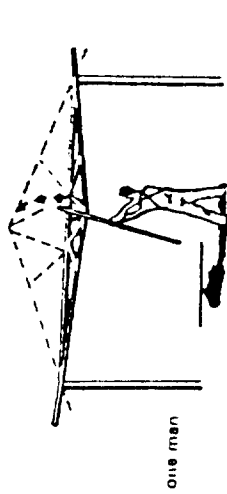


Fig. 5

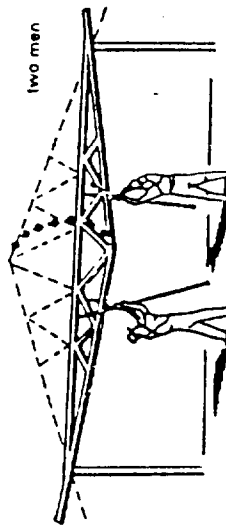
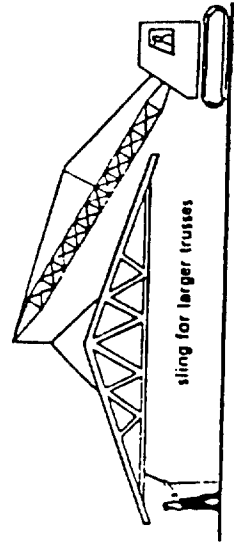


Fig. 6



PLAN DIAGRAM

DOLAN'S

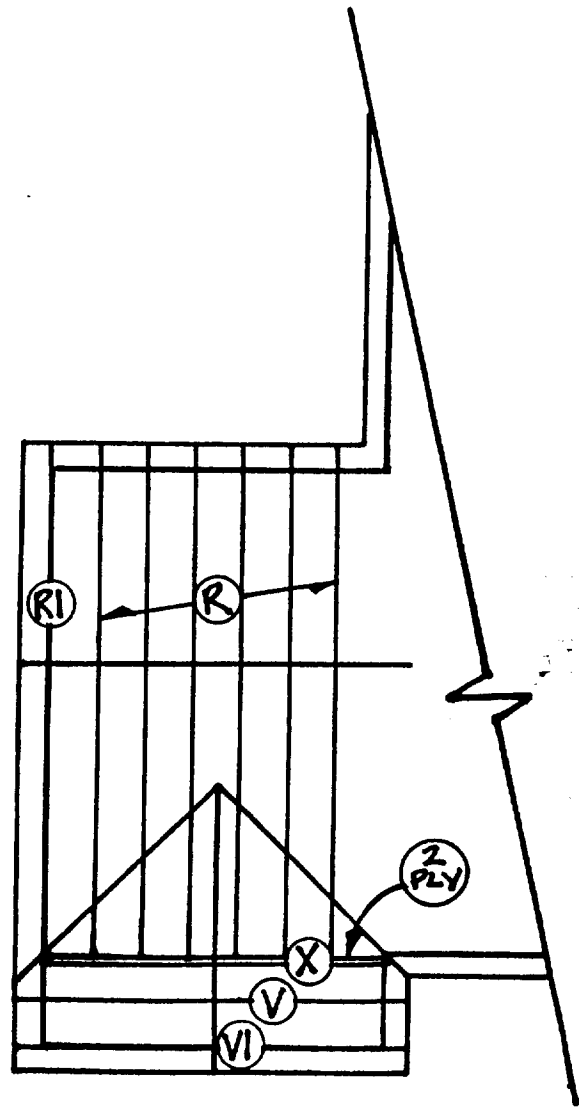
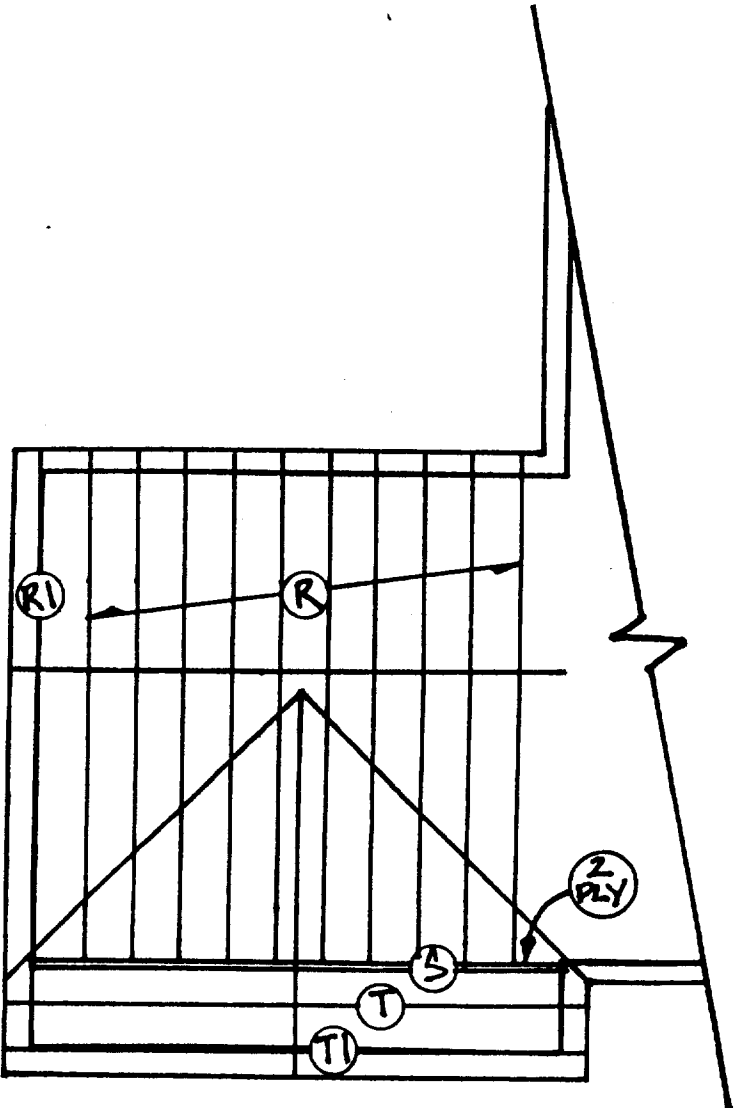
P. O. BOX 277700
SACRAMENTO, CALIFORNIA 95827
5150 FLORIN-PERKINS ROAD
SACRAMENTO, CALIFORNIA 95826
(916) 383-6501

Date 6/17/97 Invoice No. _____ Salesman M.V.H.
Name PRODIGY HOMES Phone _____
Address _____ City _____
Load _____ Page _____ of _____
Job BOULDER GLEN Plan ALL Elev. ALL Lot _____

SLOPE 6:12 SEAT CUT _____ T/C SIZE 2x4 B/C SIZE 2x4
DEPTH _____ SHAKE COMP TILE TAILS: PLUMB SQUARE

2 CAR GARAGE OPTION

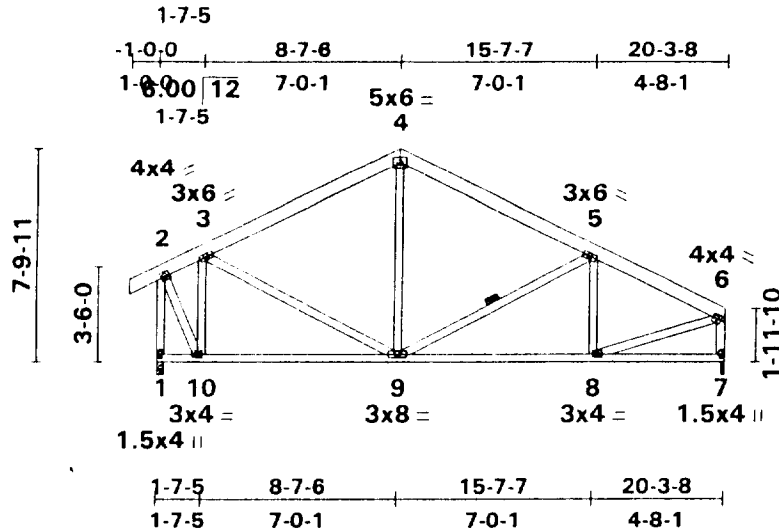
1 CAR GARAGE OPTION



Job	Truss	Truss Type	Qty	Ply	
H6-011	R-R1	HOWE	1	1	BOULDER GLEN/GARAGE OPTIONS/ALL PLANS

DOLAN TRUSS CO., Inc.

3.300 s Sep 20 1995 MiTek Industries, Inc. Tue Jun 17 07:16:52 1997 Page 1



LOADING (psf)	SPACING	2-0-0	CSI	DEFL (in)	(loc)	l/defl	PLATES	GRIP
TCLL 16.0	Plates Increase	1.00	TC 0.24	Vert(LL) 0.05	9/8	999	M20(20ga)	186/148
TCDL 14.0	Lumber Increase	1.25	BC 0.53	Vert(TL) 0.13	9/8	999		
BCLL 0.0	Rep Stress Incr	YES	WB 0.29	Horz(TL) 0.01	7	n/a		
BCDL 7.0	Code	UBC-94		Min Length / LL defl = 240			Weight: 141 (lbs)	

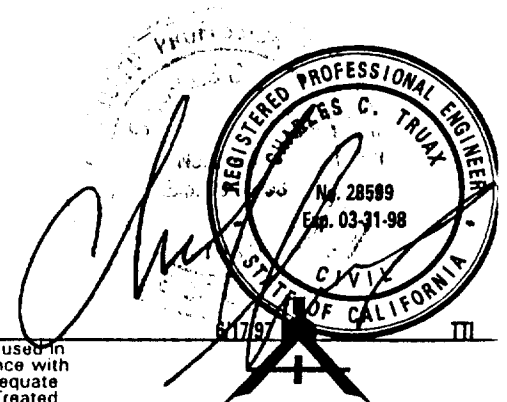
LUMBER	BRACING
TOP CHORD 2 X 6 DF No.2	TOP CHORD Sheathed or 6-0-0 on center purlin spacing, except end verticals.
BOT CHORD 2 X 4 DF No.2	BOT CHORD Rigid ceiling directly applied, or 10-00-00 on center bracing.
WEBS 2 X 4 DF Std	WEBS 1 Row at midpt 9-5

REACTIONS (lbs/size) 1 = 800/0-3-8, 7 = 740/0-1-12

FORCES
 TOP CHORD 1-2 = -790, 2-3 = -288, 3-4 = -546, 4-5 = -546, 5-6 = -742, 6-7 = -708
 BOT CHORD 7-8 = 0, 8-9 = 664, 9-10 = 257, 1-10 = 0
 WEBS 2-10 = 614, 3-10 = -498, 3-9 = 264, 4-9 = 68, 5-9 = -202, 5-8 = -160, 6-8 = 706

NOTES
 1) This truss has been designed for a 10.0 p.s.f. bottom chord live load nonconcurrent with any other live loads per Table No. 16-B, UBC-94.
 + Alternate condition: (R1) is a structural truss with 2X3 studs let in at 16" on center, attached with staples in lieu of plates. At (R) omit studs.

LOAD CASE(S) Standard



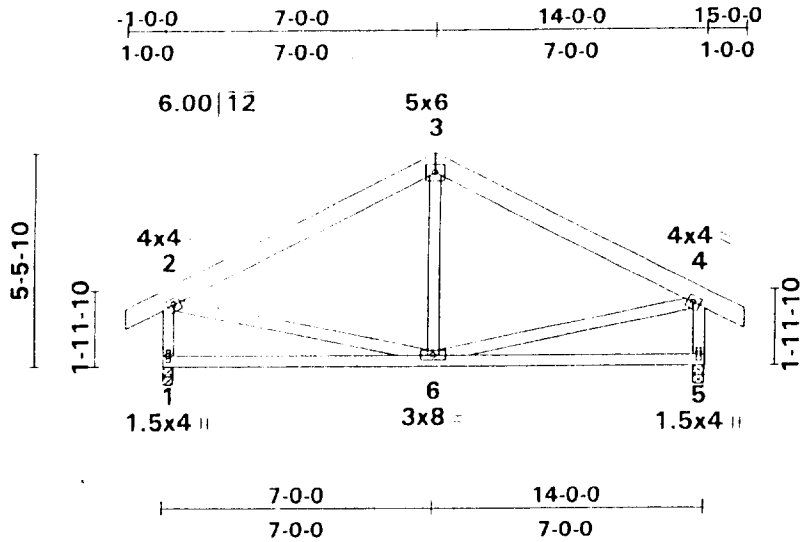
GENERAL NOTES: This individual building component is designed in accordance with IPI specifications and is to be used in a building system designed by others. Metal connectors are to be of prime quality galvanized sheet steel in accordance with Building Code Standards and must be fully embedded into each truss face centered on the joint. Design assumes adequate drainage and a Dry-Condition use in a Non-Corrosive environment without the use of Fire-Retardant or Preservative-Treated lumber. Shim or wedge if necessary to provide full bearing area required. Cut all members to bear tightly against each other. Installation is entirely the responsibility of the contractor. All bracing, temporary and permanent, is the responsibility of others. For additional information contact the TRUSS PLATE INSTITUTE, Madison, WI

TRU-TRUSS ENGINEERING
 El Dorado Hills, CA 95762

Job	Truss	Truss Type	Qty	Ply	
H6-011	V-V1	KINGPOST	1	1	BOULDER GLEN/GARAGE OPTIONS/ALL PLANS

DOLAN TRUSS CO., Inc.

3.300 s Sep 20 1995 MITek Industries, Inc. Tue Jun 17 07:17:34 1997 Page 1



LOADING (psf)	SPACING	2-0-0	CSI	DEFL (in)	(loc)	l/defl	PLATES	GRIP
TCLL 16.0	Plates Increase	1.00	TC 0.28	Vert(LL) 0.04	6/5	999	M20(20ga)	186/148
TCDL 14.0	Lumber Increase	1.25	BC 0.42	Vert(TL) 0.10	6/5	999		
BCLL 0.0	Rep Stress Incr	YES	WB 0.14	Horz(TL) -0.00	5	n/a		
BCDL 7.0	Code	UBC-94		Min Length / LL defl =	240		Weight: 89 (lbs)	

LUMBER
 TOP CHORD 2 X 6 DF No.2
 BOT CHORD 2 X 4 DF No.2
 WEBS 2 X 4 DF Std

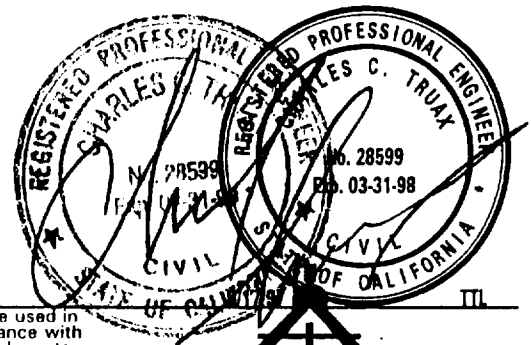
BRACING
 TOP CHORD Sheathed or 6-0-0 on center purlin spacing, except end verticals.
 BOT CHORD 1-6:6-3-0, 5-6:6-3-0.

REACTIONS (lbs/size) 1 = 567/0-3-8, 5 = 567/0-3-8

FORCES
 TOP CHORD 1-2 = -519, 2-3 = -384, 3-4 = -384, 4-5 = -519
 BOT CHORD 5-6 = 0, 1-6 = 0
 WEBS 2-6 = 353, 3-6 = -68, 4-6 = 353

NOTES
 1) This truss has been designed for a 10.0 p.s.f. bottom chord live load nonconcurrent with any other live loads per Table No. 16-B, UBC-94.
 + Alternate condition: (V1) is a structural truss with 2X3 studs let in at 16" on center, attached with staples in lieu of plates. At (V) omit studs.

LOAD CASE(S) Standard



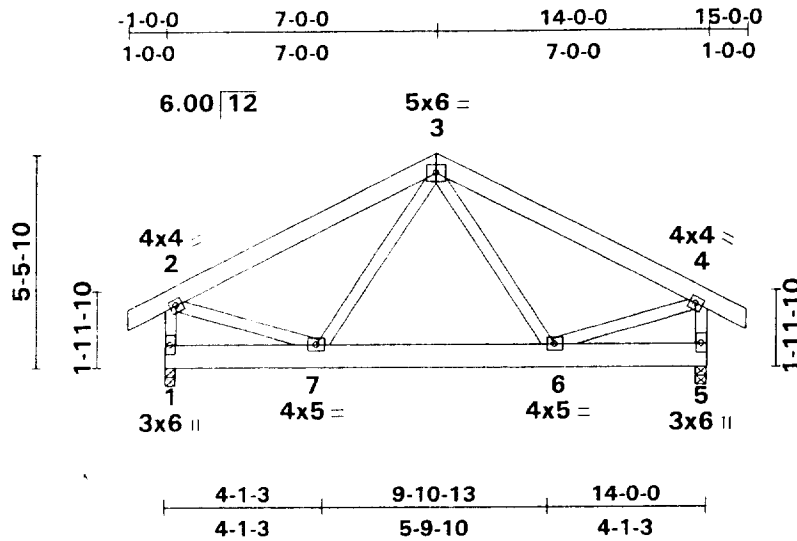
GENERAL NOTES: This individual building component is designed in accordance with TPI specifications and is to be used in a building system designed by others. Metal connectors are to be of prime quality galvanized sheet steel in accordance with Building Code Standards and must be fully embedded into each truss face centered on the joint. Design assumes adequate drainage and a Dry-Condition use in a Non-Corrosive environment without the use of Fire-Retardant or Preservative-Treated lumber. Shim or wedge if necessary to provide full bearing area required. Cut all members to bear tightly against each other. Installation is entirely the responsibility of the contractor. All bracing, temporary and permanent, is the responsibility of others. For additional information contact the TRUSS PLATE INSTITUTE, Madison, WI

TRU-TRUSS ENGINEERING
 El Dorado Hills, CA 95762

Job	Truss	Truss Type	Qty	Ply	
H6-011	X	GIRDER	1	2	BOULDER GLEN/GARAGE OPTIONS/ALL PLANS

DOLAN TRUSS CO., Inc.

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LOADING (psf)	SPACING	2-0-0	CSI	DEFL (in)	(loc)	l/defl	PLATES	GRIP
TCLL 16.0	Plates Increase	1.00	TC 0.19	Vert(LL) 0.03	7/6	999	M20(20ga)	186/148
TCDL 14.0	Lumber Increase	1.25	BC 0.38	Vert(TL) 0.07	7/6	999		
BCLL 0.0	Rep Stress Incr	NO	WB 0.51	Horz(TL) 0.00	5	n/a		
BCDL 7.0	Code	UBC-94		Min Length / LL defl =	240			Weight: 106 (lbs)

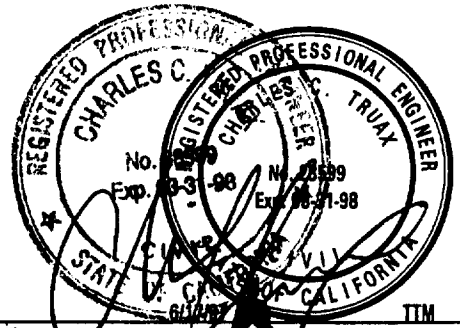
LUMBER	BRACING
TOP CHORD 2 X 6 DF No.2	TOP CHORD Sheathed or 6-0-0 on center purlin spacing, except end verticals.
BOT CHORD 2 X 8 DF SS	BOT CHORD Rigid ceiling directly applied, or 10-00-00 on center bracing.
WEBS 2 X 4 DF Std	

REACTIONS (lbs/size) 1 = 3069/0-3-8, 5 = 3069/0-3-8

FORCES
 TOP CHORD 1-2 = -2372, 2-3 = -2607, 3-4 = -2607, 4-5 = -2372
 BOT CHORD 5-6 = 0, 6-7 = 1711, 1-7 = 0
 WEBS 2-7 = 2514, 3-7 = 1144, 3-6 = 1144, 4-6 = 2514

NOTES
 1) 2-ply truss to be connected together with 10d nails as follows: Top chords connected with 1 row(s) at 12 inches on center. Bottom chords connected with 1 row(s) at 7 inches on center. Webs connected with 1 row at 6 inches on center.
 2) This truss has been designed for a 10.0 p.s.f. bottom chord live load nonconcurrent with any other live loads per Table No. 16-B, UBC-94.
 + Alternate condition: (V1) is a structural truss with 2X3 studs let in at 16" on center, attached with staples in lieu of plates. At (V) omit studs.

LOAD CASE(S)
 1) Lumber Increase = 1.25, Plate Increase = 1.00
 Uniform Loads (lbs per ft)
 Vert: 2-3 = -60.0, 3-4 = -60.0, 5-6 = -379.0, 6-7 = -379.0, 1-7 = -379.0
 Concentrated Loads (lbs)
 Vert: 2 = -60.0, 4 = -60.0



GENERAL NOTES: This individual building component is designed in accordance with TPI specifications and is to be used in a building system designed by others. Metal connectors are to be of prime quality galvanized sheet steel in accordance with Building Code Standards and must be fully embedded into each truss face centered on the joint. Design assumes adequate drainage and a Dry-Condition use in a Non-Corrosive environment without the use of Fire-Retardant or Preservative-Treated lumber. Shim or wedge if necessary to provide full bearing area required. Cut all members to bear tightly against each other. Installation is entirely the responsibility of the contractor. All bracing, temporary and permanent, is the responsibility of others. For additional information contact the TRUSS PLATE INSTITUTE, Madison, WI

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5-27-98

CONNECTION PERMIT

TYPE OF STRUCTURE - SEE BELOW		BLDG. PERMIT NO.
RESIDENTIAL <input checked="" type="checkbox"/>	NO. OF UNITS <u>1</u>	
COMMERCIAL <input type="checkbox"/>	TYPE <u>CITY</u>	
INDUSTRIAL <input type="checkbox"/>	TYPE <u>REPAIR</u>	
DISTRICT	ITEM	AMOUNT
	PERMIT	
	TRUNK	<u>208</u>
	CONST	<u>2334</u>
	C.I.E.	<u>-</u>
	IN LIEU	
	OTHER	
TOTAL FEE	\$ <u>2542</u>	THIS PERMIT EXPIRES 1 YEAR FROM DATE OF ISSUANCE
FOR APPLICANT TO FILL IN: (PLEASE PRINT)		
PARCEL NUMBER	<u>117-1720-032</u>	
LEGAL DESCRIPTION	<u>ARAJI GIGI PARK #5, PH5 1ST NO. 32</u>	
PROPERTY ADDRESS	<u>6570 CHESTERBROOK DRIVE</u>	
NEAREST CROSS STREET	<u>LAGUDA STARZ DRIVE</u>	
OWNER	<u>BOULDER GLEN INVESTORS</u>	
MAIL ADDRESS	<u>8908 BOULDER GLEN WAY</u>	
CITY	TEL. NO.	<u>689-9333</u>
PLUMBING CONTRACTOR	<u>BIJOU PLUMBING</u>	
MAIL ADDRESS		
CITY	TEL. NO.	

FOR TAPS & SERVICE LINE CONSTRUCTION, CALL WATER QUALITY MAINTENANCE & OPERATIONS AT 856-8330.
I CERTIFY THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL COUNTY ORDINANCES AND STATE LAWS REGULATING THIS WORK.

SIGNATURE OF PERMITTEE: [Signature]

CONSOLIDATED UTILITY BILLING

STATUS _____ TYPE _____ CLASS _____

PARCEL NO. _____ ACCT. NO. _____ DATE _____