

**CITY OF SACRAMENTO**

**1231 I Street, Sacramento, CA 95814**

**Permit No: 9807951**

**Insp Area: 2**

**Site Address: 8415 PINE RIVER WY SAC**

**Parcel No: 1170880052**

**Sub-Type: RES**

**Housing (Y/N):**

CONTRACTOR

SWAN POOLS  
1810 FIELD AV  
STOCKTON CA

95203

OWNER

ESPIRITU EDWIN G/ANTONIO C  
8415 PINE RIVER WY  
SACRAMENTO CA

95823

ARCHITECT

**Nature of Work: GUNITE POOL AND SPA**

**CONSTRUCTION LENDING AGENCY :** I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name

*NA*

Lender's Address

**LICENSED CONTRACTORS DECLARATION:** I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class *C-53* License Number *639641* Date *9-2-98* Contractor Signature *[Signature]*

**OWNER-BUILDER DECLARATION:** I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: \_\_\_\_\_

Date

Owner Signature

**IN ISSUING THIS BUILDING PERMIT,** the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the above mentioned property for inspection purposes.

Date

*9-2-98*

Applicant/Agent Signature

*[Signature]*

**WORKER'S COMPENSATION DECLARATION:** I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier

*Superior NAT'L Insurance*

Policy Number

*WON 55512A*

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date

*9-2-98*

Applicant Signature

*[Signature]*

**WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION. DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.**

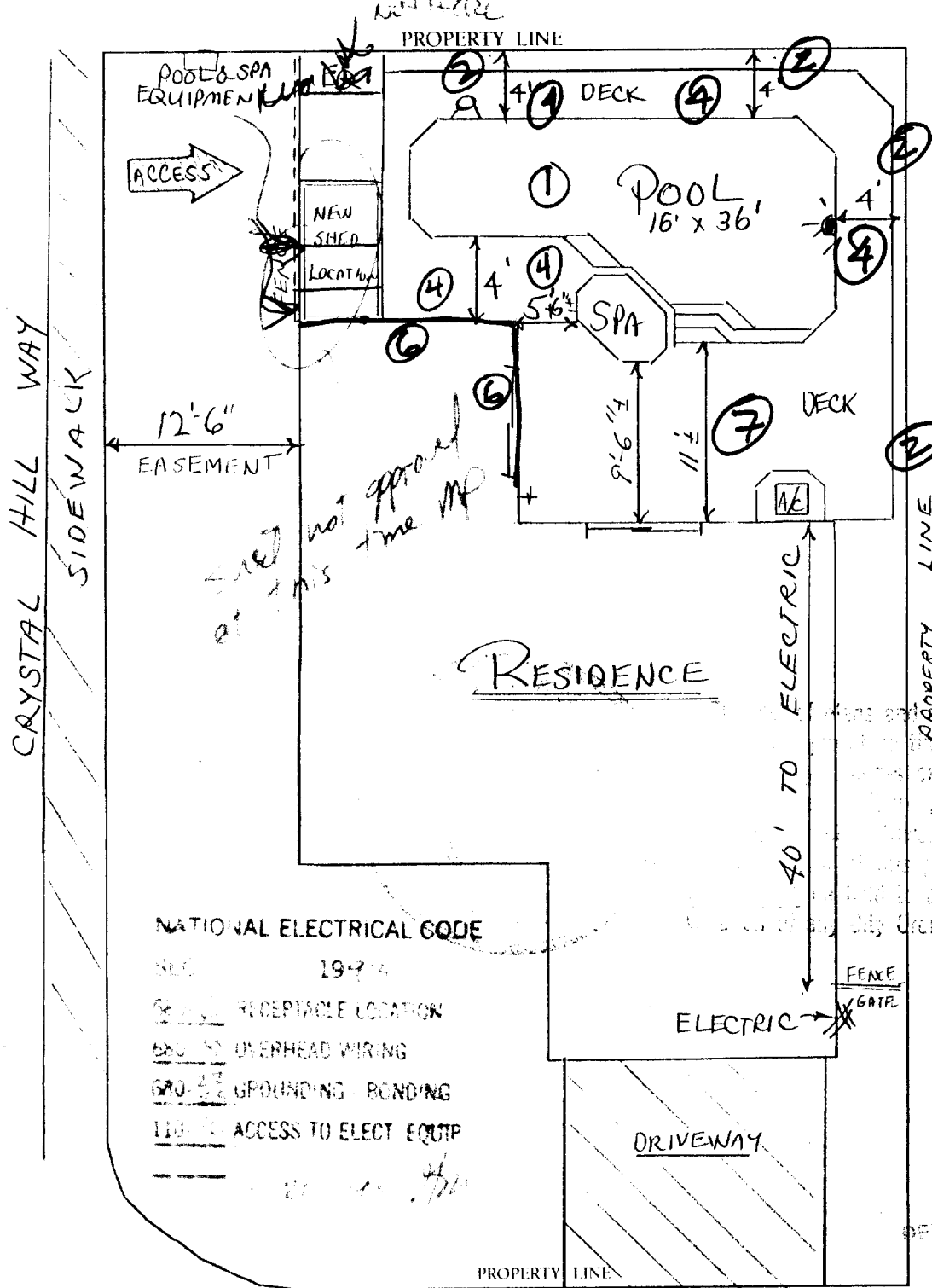
**THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.**

#476-179512

# CITY OF SACRAMENTO

SUBMIT TWO COPIES

CONTRACTOR/OWNER		JOB ADDRESS:		LOAD CALCULATION - N.E.C. 220.30	
NUMBER	ITEM	WATTS	TOTAL SQ. FT.	TOTAL SQ. FT. <u>1600</u>	
1600	Sq. ft @ 3 watts per sq. ft.	4800		Air conditioning example (Not heat pump)	
2	20 Amp. Appliance circuits @ 1,500 watts each	3000		Compressor 20 amps	
GAS	Range (Nameplate Rating = N.P.R.)			Fan 5 amps	
GAS	Oven (N.P.R.)			Unit Total Load - 25 amps x 240V	
GAS	Cooking Units (N.P.R.)			Electric Furnace @ N.P.R. - 6,000 watts X 65% = 3900 Watts	
GAS	Water Heater (N.P.R.)			Use 6000W., since it is larger.	
1	Dishwasher (N.P.R.)	2000		Heat Pump Note:	
1	Disposal (N.P.R.)	3500		Be careful when doing load calculations where heat pumps are installed. The load for most heat pumps that are equipped with auxiliary heat strips will be larger under the demand for heat. For the purposes of load calculations only, on heat pumps, use 100% of the heat pump compressor and fans and 65% of auxiliary heat load to show total heat pump load.	
1	Washer [1500 watts min. (N.E.C. 220-16(b))]	3500		Heat Pump Example	
1	Dryer [5000 watts min. or N.P.R. if larger] N.E.C. 220-18]	6500		Compressor 20 Amps	
	Meters (N.P.R.)			Fans 5 amps	
1	Other (N.P.R.) 2 HP	3000		Heat Pump Load = 25A X 240V = 6,000	
2	Other (N.P.R.) 5000 watt heaters	1000		Aux. Heat Strip = 6,000W X 65% = 3,900W	
	Air Conditioning Equipment			Total Heat Pump Load = 9,900W	
	Air Conditioning [cooling @ (N.P.R. X 100%)] =			Sub-Total = 23,800	
	Electrical Heating @ (N.P.R.) X 65% =			(Less 1st 10KW) - 10,000 @ 100% =	
NOTE: USE THE LARGEST LOAD - HEAT OR COOL =				Remainder @ 40% @ 40%	
Heat pump (compressor & fans) X 100% =				Total Air Cond. and/or heat pump load =	
Aux. heat strips (or elect. furnace) X 65% =				Total Service Load = 22,920	
Total Heat Pump Load =				Total Service Load = 22,920	
NOTE = AMPS X CIRCUIT VOLTAGE = WATTS				Total Service Load = 95.88 Amps	



- UTILITIES
- ELECTRICAL
- STANDARD
- PUBLIC WATER ✓
- PUBLIC SEWER ✓
- WATER
- CH...
- FENCE
- (PER CODE)

① See attached  
 Mot P. 8/28/93

NATIONAL ELECTRICAL CODE  
 SEC. 197.4  
 RECEPTACLE LOCATION  
 OVERHEAD WIRING  
 GROUNDING - BONDING  
 ACCESS TO ELECT. EQTIP

Specifications must be  
 Street  
 Crystal Hill Way  
 Calvine Road  
 Major Street  
 Franklin Blvd.  
 Calvine Road

**ISSUED**  
 12.5' P.U.E. Street  
 City Lines  
 SEP 02 1998  
 CITY OF SACRAMENTO  
 DEVELOPMENT SERVICES DIV

**SITE PLAN**  
 N.T.S.

8415 PINE RIVER WAY

APN: 081-41-10

R. M. BK. - 203 PG. 10

916-393-4220

95823

LOT - 57 TRACT -  
 CITY OF SACRAMENTO

98-079578

SPA

6' x 8'

PERIMETER - 24'

AREA 40 SQ. FT.

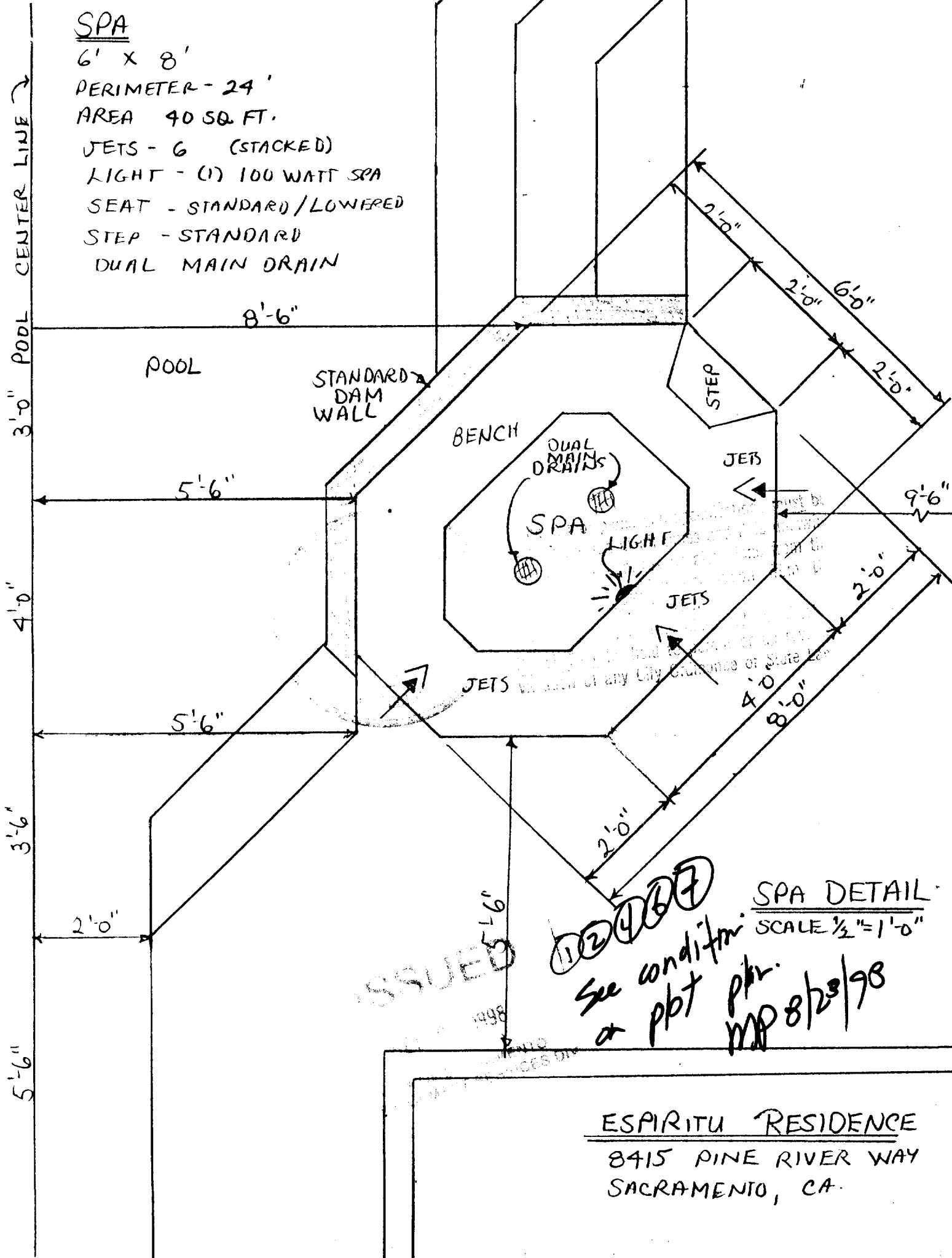
JETS - 6 (STACKED)

LIGHT - (1) 100 WATT SPA

SEAT - STANDARD/LOWERED

STEP - STANDARD

DUAL MAIN DRAIN



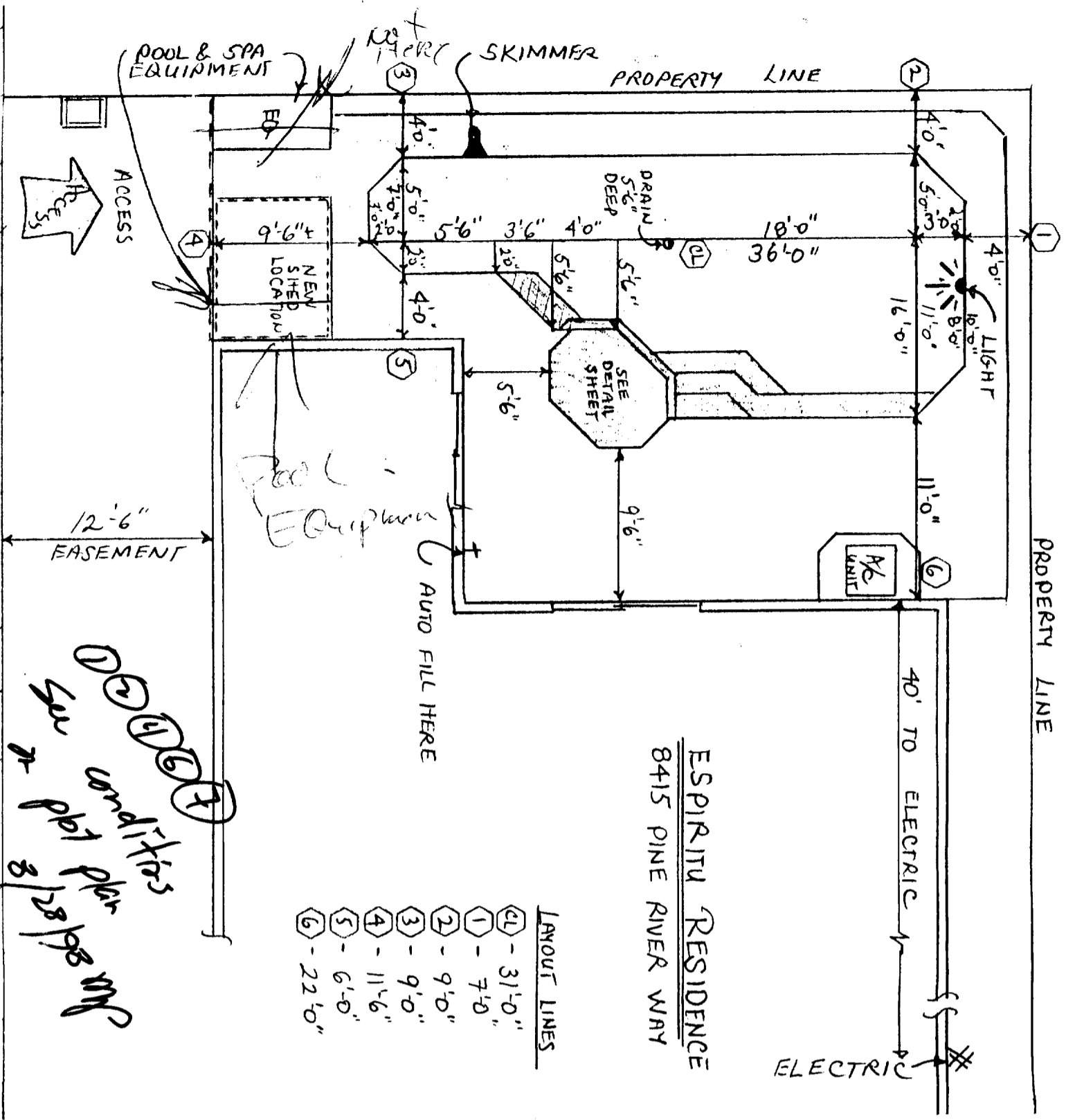
ISSUED 1998

①②④⑥⑦

See conditions  
or ppt pbr.  
MP 8/23/98

SPA DETAIL  
SCALE 1/2" = 1'-0"

ESPIRITU RESIDENCE  
8415 PINE RIVER WAY  
SACRAMENTO, CA.



ESPIRITU RESIDENCE  
8415 PINE RIVER WAY

- LAYOUT LINES**
- ④L - 31'-0"
  - ① - 7'-0"
  - ② - 9'-0"
  - ③ - 9'-0"
  - ④ - 11'-6"
  - ⑤ - 6'-0"
  - ⑥ - 22'-0"

CRYSTAL HILL WAY  
1998

See conditions per pp 8-12 of plans

**POOL SPECIFICATIONS**

size	16'-0" x 36'-0"	per.	* 95 ft.	area	* 480 sq. ft.
depth	3'-6" to 5'-6" to 4'-6"	vol	* 16,200	gallons.	
<b>CONSTRUCTION SPECIFICATIONS</b>					
excavation	BOBCAT	access	from side street - left side		
ramp	SHALLOW END	bench	(1) 1'-6" x 4'-0"		
walkout/steps	SHALLOW END	extended 2nd step	8 ft.		
fences: down by	SWAN POOLS	up by	SWAN POOLS		
concrete removal by:	SWAN POOLS		300 SQ. FT.		
stumps removed by:	NONE				
<b>STEEL / GUNITE / TILE / INTERIOR</b>					
raised bond beam	0 ft. of 0	0 ft. of 0			
tile	6" BAND	choice	CHOICE OF STANDARD		
interior: type	PLASTER	color	WHITE		
cap for bond beam	CANTILEVER				
<b>PLUMBING SPECIFICATIONS</b>					
pool: returns	5 total	3 +	2 deep heat		
main drain size	8" ANTI-VORTEX	fill line	AUTOMATIC		
size of suction line from skimmer	2"	number	1		
pool cleaner	RAY VAC with back up	slide	NONE		
<b>UTILITIES</b>					
electric by:	SWAN POOLS (COMPLETE)				
gas by:	G.F.I., J-BOXES, LIGHTS, AND 220V TIME CLOCK				
<b>DECKING</b>					
* 704	sq. ft.	type of finish	PLUM CREEK - Exp. Agg.		
footing	NONE	drains	NONE		
deck-o-drain	* 60 ft.	dividers: type	DECO-JOINTS		
mastic	NONE	misc.	STEEL IN DECK		
<b>BY SWAN POOLS - PER PLAN</b>					
<b>POOL EQUIPMENT: PAD SIZE - standard</b>					
filter: type	AMERICAN	size	D.E.	* 60	sq. ft.
pump: type	AMERICAN	size	ULTRA	* 2	H.P.
heater: type	Teledyne Laars	size	* 400,000		BTU'S
pool cleaner	RAY VAC	WITH	BACK-UP		
separation tank	NONE				
<b>POOL ACCESSORIES</b>					
lights	(1) 500 WATT POOL LIGHT	& (1) 100 watt spa			
board	NONE	board standards	NONE		
slide	NONE	color	NONE		
grabrails/steps	NONE	ladder	NONE		
handrails at steps	NONE				
vacuum head and	0	feet of hose			
maintenance kit and pole	BY SWAN POOLS, INCL.				
<b>SPA SPECIFICATIONS</b>					
size	6'-0" x 8'-0" = 40 SQ. FT.	perimeter	* 24 ft.		
length of dam wall	* 10 ft.	cap for dam wall	STANDARD		
spillway	STANDARD	valve type	JANDY / ORTEGA		
number of jets	6	light	(1) 100 WATT SPA		
booster pump: type	NONE	size	0	H.P.	
bench / seat	STANDARD - LOWERED	step	STANDARD		
<b>LEGAL INFORMATION</b>					
Permit office	CITY OF SACRAMENTO	area	SACRAMENTO		
A.P.N.	117 - 1060 - 052	map bk.	337 / J - 7		
subdivision		unit no.			
lot	tract no.	bk. no.	pg. no.		

**NOTES:**

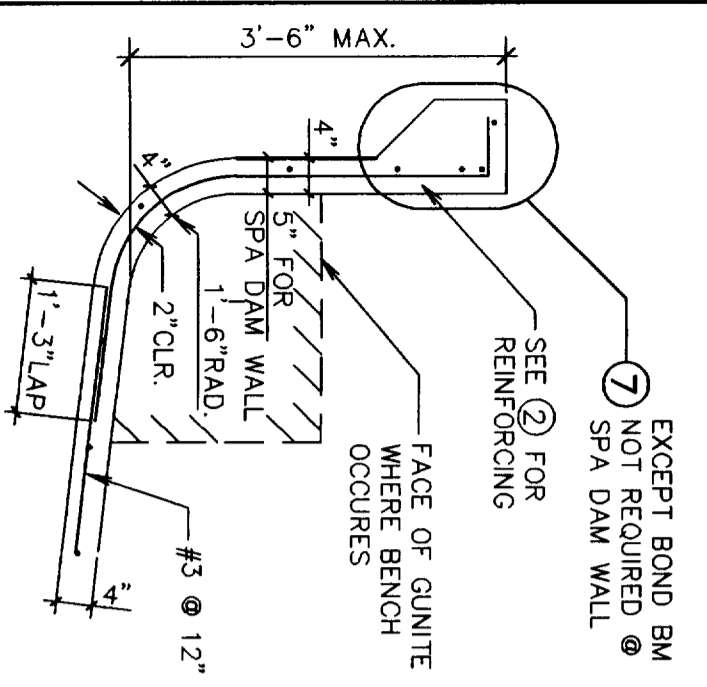
1. FENCES AND ALARMS - PER STATE OF CALIFORNIA, HEALTH AND SAFETY CODE SECTION 115920-115927, KNOWN AS THE "SWIMMING POOL SAFETY ACT".
2. FENCES - PER CODE BY OWNER.
3. ALARMS - PER CODE BY OWNER.
4. TILE CHOICE - CHOICE OF STANDARD
5. INTERIOR - WHITE PLASTER
6. MEP - CONTROLLER FOR POOL AND SPA LIGHTS WITH DIMMER.
7. FILL LINE - AUTOMATIC FILL WITH BRASS ARM ASSEMBLY. (ANTI-SIPHON VALVE)
8. DECK - \* 704 SQ. FT. OF PLUM CREEK EXPOSED AGGREGATE DECKING, WITH STEEL.
9. 95 FT. OF CANTILEVER EDGE.
10. CONCRETE REMOVAL - BY SWAN POOLS (APPROX. 300 SQ. FT.)
11. POOL AND SPA COVER - SOLAR TYPE.
12. SPARKLE PURE IONIZATION - INCL.

SPA ---  
A. 6'-0" x 8'-0" = 40 SQ. FT.  
B. PERIMETER = 24 FT.  
C. JETS - 6 (STACKED)  
D. LIGHT - (1) 100 WATT SPA  
E. SEAT - STANDARD - LOWERED  
F. STEP - STANDARD  
G. DUAL MAIN DRAIN

SALESPERSON: BOB MCGREEVY  
SCALE - 1/8" = 1'-0" DATE 08-10-98

owner:  
EDWIN G. ESPIRITU  
8415 PINE RIVER WAY  
SACRAMENTO, CALIFORNIA 95823  
phone # res. 916-393-4220 bus. 510-833-7500  
Ext. - 476

**SWAN POOLS**  
1810 FIELD AVENUE SUITE - 5  
STOCKTON, CALIFORNIA 95203  
C - 53 639641 1-800-994-7926



EXCEPT BOND BM NOT REQUIRED @ SPA DAM WALL

SEE ② FOR REINFORCING

FACE OF GUNITE WHERE BENCH OCCURES

5" FOR SPA DAM WALL

1'-6" RAD.

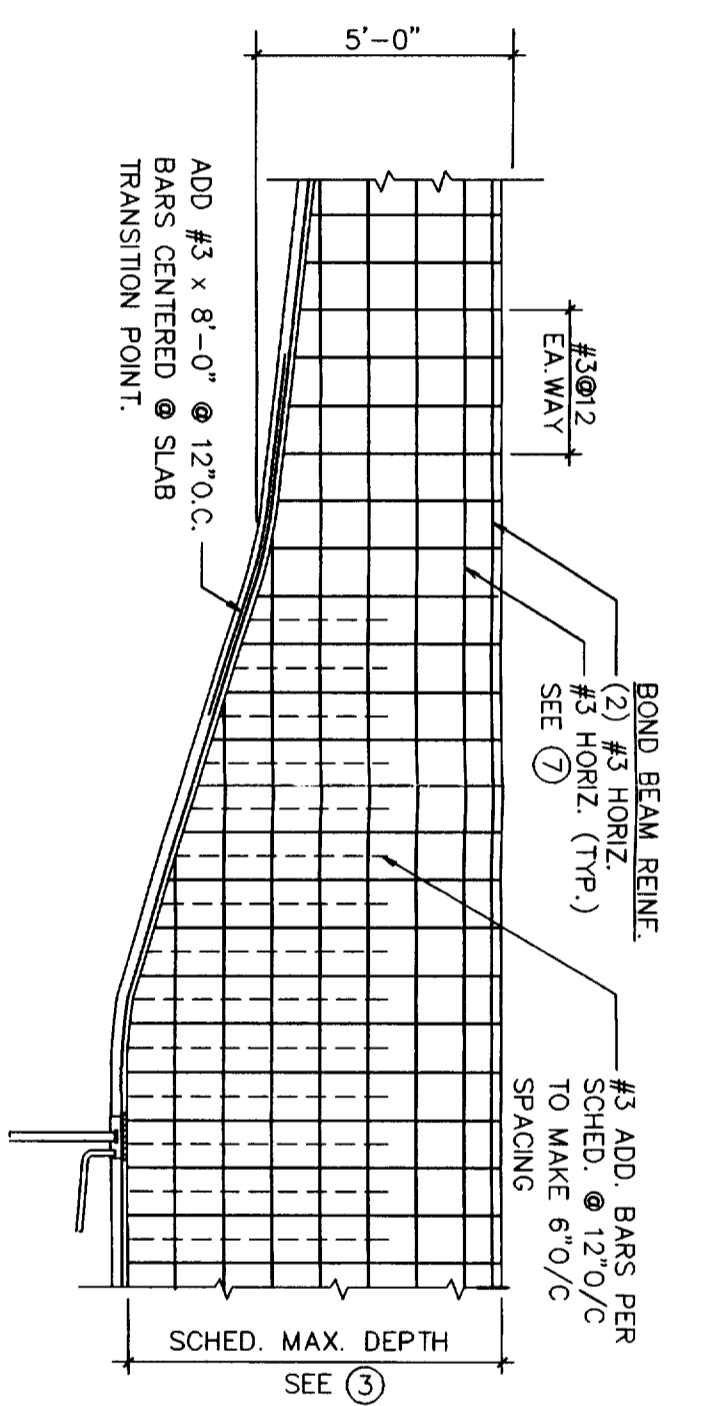
2" CLR.

#3 @ 12"

1'-3" LAP

4"

THIS SECTION ALSO APPLIES TO CONSTRUCTION OF SPA.



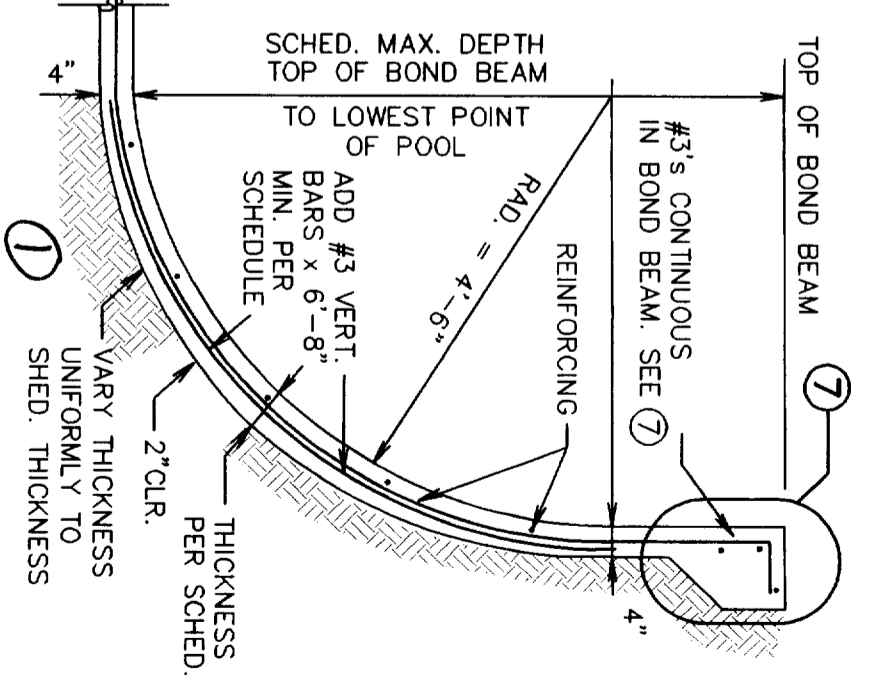
BOND BEAM REINF. (2) #3 HORIZ. (TYP.) SEE ⑦

#3 ADD. BARS PER SCHED. @ 12" O/C TO MAKE 6" O/C SPACING

ADD #3 x 8'-0" @ 12" O.C. BARS CENTERED @ SLAB TRANSITION POINT.

#3 @ 12" EA. WAY

SCHED. MAX. DEPTH SEE ③



TOP OF BOND BEAM ⑦

SCHED. MAX. DEPTH TOP OF BOND BEAM TO LOWEST POINT OF POOL

ADD #3 VERT. BARS x 6'-8" MIN. PER SCHEDULE

REINFORCING

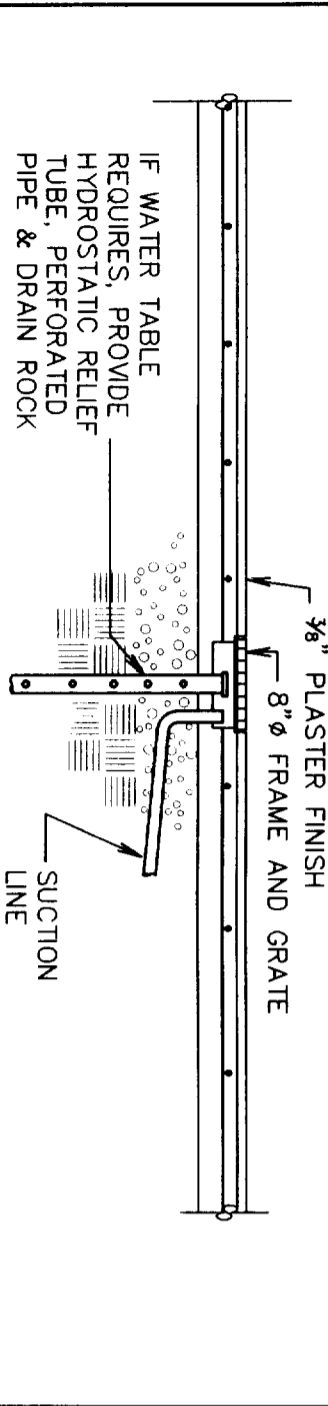
#3's CONTINUOUS IN BOND BEAM. SEE ⑦

4"

THICKNESS PER SCHED.

2" CLR.

VARY THICKNESS UNIFORMLY TO SCHED. THICKNESS

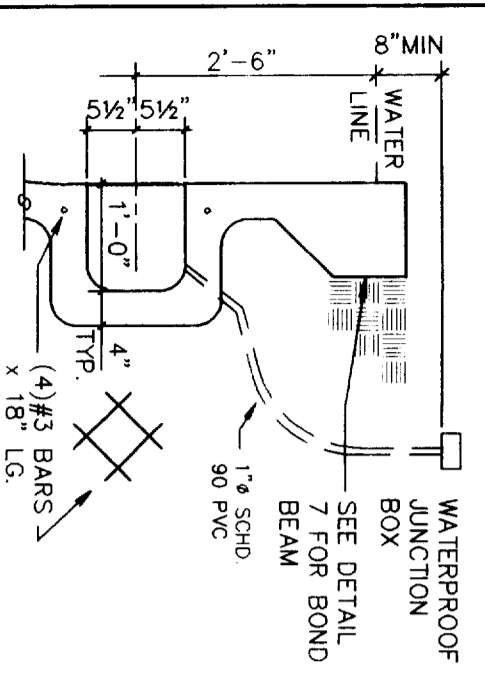


IF WATER TABLE REQUIRES, PROVIDE HYDROSTATIC RELIEF TUBE, PERFORATED PIPE & DRAIN ROCK

3/8" PLASTER FINISH

8" Ø FRAME AND GRATE

SUCTION LINE



WATERPROOF JUNCTION BOX

SEE DETAIL 7 FOR BOND BEAM

1" Ø SCHD. 90 PVC

4"

1'-0"

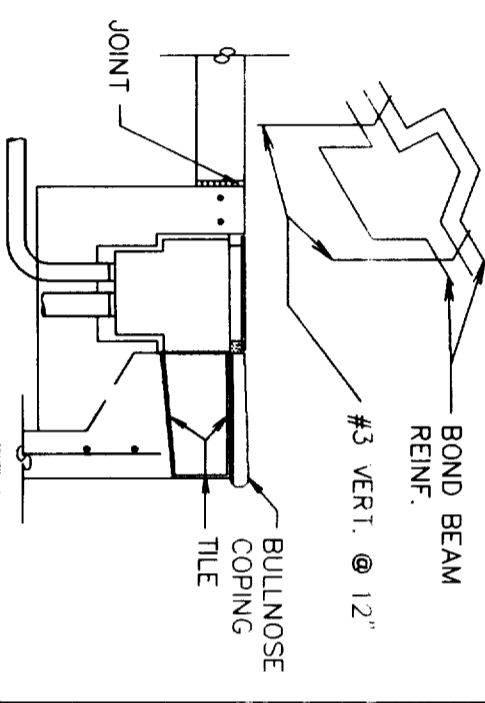
5 1/2" 5 1/2"

WATER LINE

8" MIN

4"

(4) #3 BARS x 18" LG.



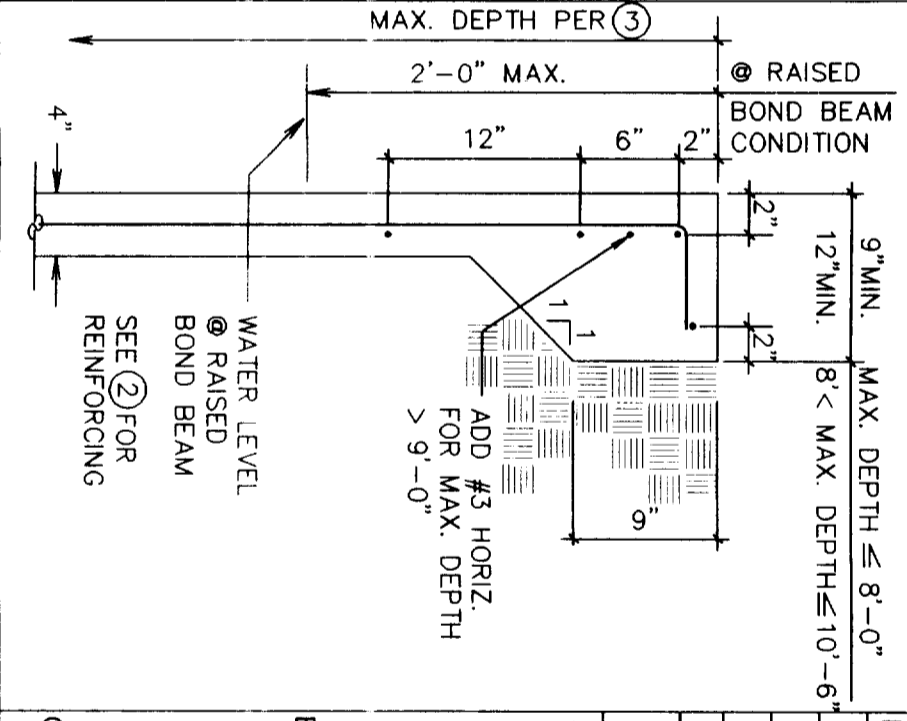
BOND BEAM REINF.

#3 VERT. @ 12"

BULLNOSE COPING

TILE

JOINT



MAX. DEPTH PER ③

2'-0" MAX.

9" MIN. MAX. DEPTH ≤ 8'-0"

12" MIN. 8' < MAX. DEPTH ≤ 10'-6"

12"

6"

2"

12"

1"

1"

4"

WATER LEVEL @ RAISED BOND BEAM

SEE ② FOR REINFORCING

ADD #3 HORIZ. FOR MAX. DEPTH > 9'-0"

③ SECTION AT DEEP END

MAX. DEPTH	THICKNESS	ADD VERT BARS PER ③
6'-0"	6"	NONE REQUIRED
8'-0"	6"	#3 @ 12" TO MAKE 6"
9'-0"	8"	#3 @ 12" TO MAKE 6"
10'-6"	10"	#3 @ 12" TO MAKE 6"

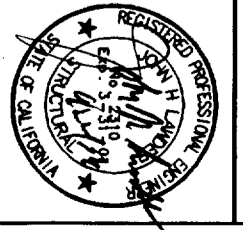
STEEL and WALL THICKNESS SCHEDULE

- A. POOL DESIGN CRITERIA: (1994 UBC)
1. EXPANSIVE SOILS MAY BE PRESENT.
  2. EQUIVALENT FLUID PRESSURE 45 PSF.
  3. NO BLDG. WITHIN 2'-6" OF EDGE OF WATER.
  4. IF FROST OR FREEZING CONDITIONS ARE NOT PRESENT POOL IS TO REMAIN, CONTINUOUSLY FULL.
- B. GUNITE CONCRETE SPECIFICATIONS:
1. 28 DAY STRENGTH SHALL BE 2,000 PSI MINIMUM.
  2. MIX SHALL BE 1/4" MAX. PEA GRAVEL AND SAND MIXTURE PROPORTIONED BY VOLUME. 4 1/2 CU.FT. PER SACK OF TYPE I CEMENT.
- C. REINFORCING BARS SHALL BE INTERMEDIATE GRADE (ASTM A-615).

NOTES

**jh lawder, inc.**  
structural engineers

621 14TH STREET, MODESTO, CA 95354  
(209) 521-1143 FAX (209) 521-1166



BUILDING DEPARTMENT - ONLY ISSUE PERMIT IF SIGNATURE IS IN RED INK.

**SWAN POOLS**

Contractor License #639641