

CITY OF SACRAMENTO

Permit No: 0203814

1231 I Street, Sacramento, CA 95814

Insp Area: 2

Site Address: 6579 SUNNYFIELD WY SAC

Thos Bros:

Parcel No: 117-1330-030

LAGUNA CREEK #3 LOT 30

Sub-Type: NSFR

Housing (Y/N): N

CONTRACTOR

OWNER

ARCHITECT

RICHMOND AMERICAN HOMES
2001 CROW CANYON RD. STE. 100
SAN RAMON CA. 94583-5367

Nature of Work: MP 1593 1 STORY 7 ROOM SFR

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name Lender's Address

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 487535 Date 3/27/02 Contractor Signature [Signature]

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. B & PC for this reason:

Date March 27, 2002 Owner Signature [Signature]

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

PAID
CITY OF SACRAMENTO
MAR 27 2002
NORTH PERMIT CENTER

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date Applicant/Agent Signature

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier LIBERTY MUTUAL Policy Number WC2-415185-031 Exp Date 07/01/2002

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date March 27, 2002 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

RESIDENTIAL SUBDIVISION BUILDING PERMIT APPLICATION 0203814

Project Address: 6579 SUNNYFIELD WY Assessor Parcel # 117-1330-030
 Lot Number: 30 Subdivision Laguna Creek No. 3

OWNER INFORMATION:

Legal Property Owner: Richmond American Homes Phone# (916) 536-1272
 Owner Address: 7803 Madison Ave., 440 City Citrus Heights State CA Zip 95610

CONTRACTOR INFORMATION:

Contractor: Richmond American Lic. # 487535 Phone # 536-1272 Fax 536-1297

PROJECT INFORMATION:

Land Use Zone RIA Occupancy Group R3 Construction Type VN Fed Code 1A
 No. of Stories: 1 No. of Rooms: 3 Street Width: _____
 1st Floor Area 1124 2nd Floor Area N/A Basement N/A Roof Material _____

AREA IN SQUARE FOOT OF:

Dwelling/Living 1124 1593
 Garage/Storage 415 439
 Decks/Balconies 90
 Carports _____

SCOPE OF WORK: SFD PLAN 3 STD

- Information Above Complete
- Violation Files Checked
- Standard Setbacks
- County Sewer

- AR Flood Waiver Required
- Flood Elevation Certificate Required
- Water Development Infill Area

- Planning Approval
- Design Review Approval
- Special Fee Districts Apply:

~THE FOLLOWING MUST BE PROVIDED IN ORDER TO SUBMIT FOR PERMIT~

- 2 COMPLETE PLOT PLANS, LEGIBLE & DRAWN TO SCALE
- 11 X 17 COPY OF FLOOR PLAN WITH FOLLOWING INFORMATION
 - a) Assessor's Parcel Number
 - b) New Floor Area
 - c) Owners Name
 - d) Project Address

FOR OFFICE USE ONLY



F. RODGERS INSULATION RESIDENTIAL, INC.

® THERMAL INSULATION CONTRACTORS Residential

3566

7775 LAS POSITAS ROAD • LIVERMORE, CA 94550
(925) 294-9400 • FAX (925) 294-9475

1300 S. RIVER RD #125 • W. SACRAMENTO, CA 95691
(916) 386-9400 • FAX (916) 386-9446



RICHMOND AVE. LOT # 30 TRACT # _____

STREET _____ CITY _____

EXTERIOR WALLS:

MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE _____

CEILINGS:

BATTS:

MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE _____

BLOWN IN:

MANUFACTURER ADIAUFER MINIMUM THICKNESS 125 R-VALUE 30

SQUARE FOOTAGE COVERED 1554 NUMBER OF BAGS USED 23

FLOORS & OVERHANGS:

MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE 6 GEA

OTHER:

MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE _____

GENERAL CONTRACTOR _____

CALIFORNIA CONTRACTORS LICENSE # _____

DATE _____

SIGNATURE _____

TITLE _____

INSULATION CONTRACTOR F. RODGERS INSULATION RESIDENTIAL
CALIFORNIA CONTRACTORS LICENSE #771285

DATE 5/11/02

MW
SIGNATURE _____

*
TITLE _____



**F. RODGERS INSULATION
RESIDENTIAL, INC.**

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1300 S. RIVER RD #125 • W. SACRAMENTO, CA 95691
(916) 386-8400 • FAX (916) 386-9446

RICHMOND AVE. LOT # 30 TRACT # _____

STREET _____ CITY _____

EXTERIOR WALLS:

MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE _____

CEILINGS:

BATTS:

MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE _____

BLOWN IN:

MANUFACTURER ADVANCED I MINIMUM THICKNESS 12.5 R-VALUE 30

SQUARE FOOTAGE COVERED 1554 NUMBER OF BAGS USED 23

FLOORS & OVERHANGS:

MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE 10 OR A

OTHER:

MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE _____

GENERAL CONTRACTOR _____

CALIFORNIA CONTRACTORS LICENSE # _____

DATE _____

SIGNATURE _____

TITLE _____

INSULATION CONTRACTOR F. RODGERS INSULATION RESIDENTIAL
CALIFORNIA CONTRACTORS LICENSE #771265

DATE 5/11/02

MW
SIGNATURE _____

*
TITLE _____

**Model Conversion Detail sheet
Middlebook Model Complex**

Lot 32 Plan 2B

6587 Sunnyfield Way
Permit Number 0203813

Items to be converted prior to occupancy

1. Remove trap fence at front of home.
2. Install sideline fencing.
3. Convert all electrical to operational and remove all items associated with the lighting automation.
4. Remove security locks at all operable windows and doors.
5. Install secondary locks at patio doors.
6. Install all window screens.
7. Remove interconnection wiring for alarm to include removal of conduit.
8. Remove landscape lighting and all wire associated with the landscape lighting.
9. Remove all signage.
10. Recall for final inspection.
11. Extend box at E.T. center cabinet to be flush with cabinet frame.

Lot 31 Plan 5A

6583 Sunnyfield Way
Permit Number 0203812

1. Remove trap fence at front of home.
2. Install sideline fencing.
3. Convert all electrical to operational and remove all items associated with the lighting automation.
4. Remove security locks at all operable windows and doors.
5. Install secondary locks at patio doors.
6. Install all window screens.
7. Remove interconnection wiring for alarm to include removal of conduit.
8. Remove landscape lighting and all wire associated with the landscape lighting.
9. Remove all signage.
10. Replace single lite door with Rated fire door at garage entry to kitchen per plan
11. Recall for final inspection.
12. Extend box at E.T. center cabinet to be flush with cabinet frame.

Lot 30 Plan 3C

6579 Sunnyfield Way
Permit Number 0203814

1. Remove temporary sales office from garage, convert garage space back to garage per approved plans
2. Call for frame inspection on garage area
3. Sheetrock garage area per plan
4. Install Garage rollup door per plan
5. Remove trap fence at front of home.
5. Install sideline fencing.
6. Convert all electrical to operational and remove all items associated with the lighting automation.
7. Remove security locks at all operable windows and doors.
8. Install secondary locks at patio doors.
9. Install all window screens.
10. Remove interconnection wiring for alarm to include removal of conduit.
11. Remove landscape lighting and all wire associated with the landscape lighting.
12. Remove all signage.
13. Recall for final inspection.
14. Extend box at E.T. center cabinet to be flush with cabinet frame.





OBSERVATION REPORT FOR CONCRETE, REINFORCING, & POST-TENSIONING

Project Name: Laguna Classics
 Project Address: Jacinto and Center
 Type of Work: Concrete Slabs

Date 4/4/02 Project No. 9459.S
 Inspector: Brandon Franklin
 Sampling / Testing Observation

1. Observed pre-cast operations at:

2. Reported to _____ at job site.
3. Observed reinforcing steel placement for:

4. Observed placement of anchor bolts; hold-downs; tiedowns for:

5. Monitored loads arriving at job site for correct mix and proper slump.
6. Observed placing and vibrating of 247 cubic yards of concrete.
7. Performed _____ air entrainment test(s).
8. Performed _____ unit weight test(s).
9. Performed 3 slump test(s).
10. Cast 3 set(s) of cylinders representing concrete mix no. SB placed at the following location(s): lots 30-32

11. Returned to plant for duration of pour.
12. Checked ram and gauge calibration. (PT)
13. Observed stressing operation/elongations for:

14. Elongations were within specified limits.
 With the following exceptions: _____
15. Job cancelled due to _____
16. Work observed was in compliance with approved plans and specifications.
 Except as noted: _____
17. Per approved drawings dated. _____
18. Non-Compliance Report left at job site.
19. _____ hours spent performing re-inspection.

Unusual circumstances or problems? No Yes*
 *Describe below. Notified _____ at job site and _____ at TERRASEARCH, inc.

Notes/Comments: Continued on back of page.
Verified clearances of bolts and rebar to earth and clear coverage. Items listed in City of Sacramento Correction notice were corrected prior to concrete placement. Items 1-3 and 4 were corrected on 4/4/02.

Note: Take additional samples from any loads suspected as being out of specification due to high slump, overtime mixing, etc.

To the best of my knowledge, the work observed was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the UBC, except as noted above.

Signed: Brandon Franklin Date: 4-4-02



Environmental - Geotechnical - Special Inspections - Materials Testing

TERRASEARCH inc.

Epoxy Installations Proofload Testing

Project Name: LAGUNA CLASSICS Richardson Ave. Date: 4/11/02 Project No. 9459-50
Project Address: FLK GROVE - CA SANSPICK SUPP Inspector: Jim Spiller Start 7^{am} Stop

Reported to SAM SPILLER Richardson Ave. SUPP. MURKITT CONCRETE

- Observed Epoxy Installation of; Performed proofload tests on; Hold Down's MISSED lots # 30-31-32
for _____
installed at lots 30-31-32 See attached map & list + fix for SPL'S & locations
1- HIT - 22 lot 31 2- HIT - 22 lots # 30 & 32 ea 5 total
- Observations and testing performed per Structural Engineer's; Manufacturer's specifications. Except as noted.
Reference Number: _____ Dated: _____ Provided by: CLA Engineers
- All holes brushed and blown clean prior to installation.
Epoxy Manufacturer: Simpson Hilti Other; _____ Epoxy Name/Type: SIMPSON SET-22
ICBO# ER 5279 Model# SET-22 Expiration Date 7-03
- Loads were applied in direct tension by using a calibrated hydraulic ram to the specified load of _____ pounds.
Gauge ID. 22-5199 Ram ID. _____ Date Calibrated _____
- Loads were applied by use of a torque wrench to the specified load of _____ Ft Lbs.
- _____ % of the total installed were tested. Total Installed _____ Quantity Tested _____
- See attached data sheet(s) for location and quantity of anchors tested and the specified applied loads and results
- All specimens tested were found to be satisfactory with no visible evidence of distress or failure Except as noted.
- Unusual Circumstances or problems? Non-Compliance report left at Job site.

Notified _____ at job site and _____ at Terrasearch, Inc.

Notes/Sketch: See attached notes:

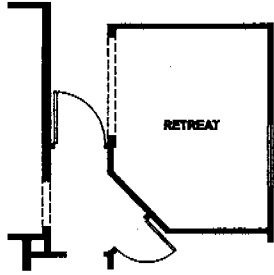
Not 30

To the best of my knowledge, work inspected was in accordance with the Building Department approved design drawings, specifications & applicable workmanship provisions of the UBC except as noted above.

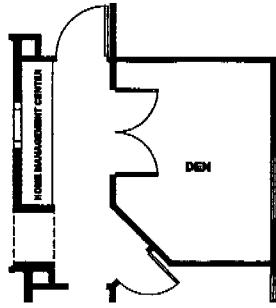
Inspector: _____ Date: 4-12-02
Received by: _____ Date: _____

LAGUNA CLASSICS

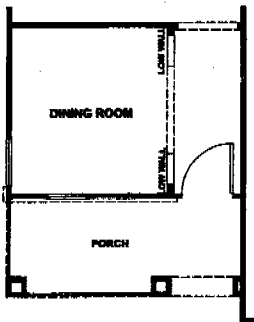
Preliminary Residence 3



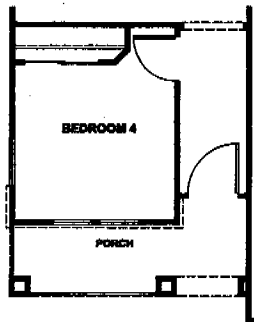
RETREAT OPTION



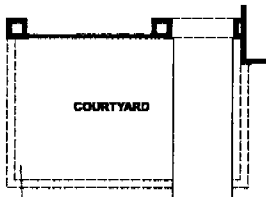
DEN OPTION



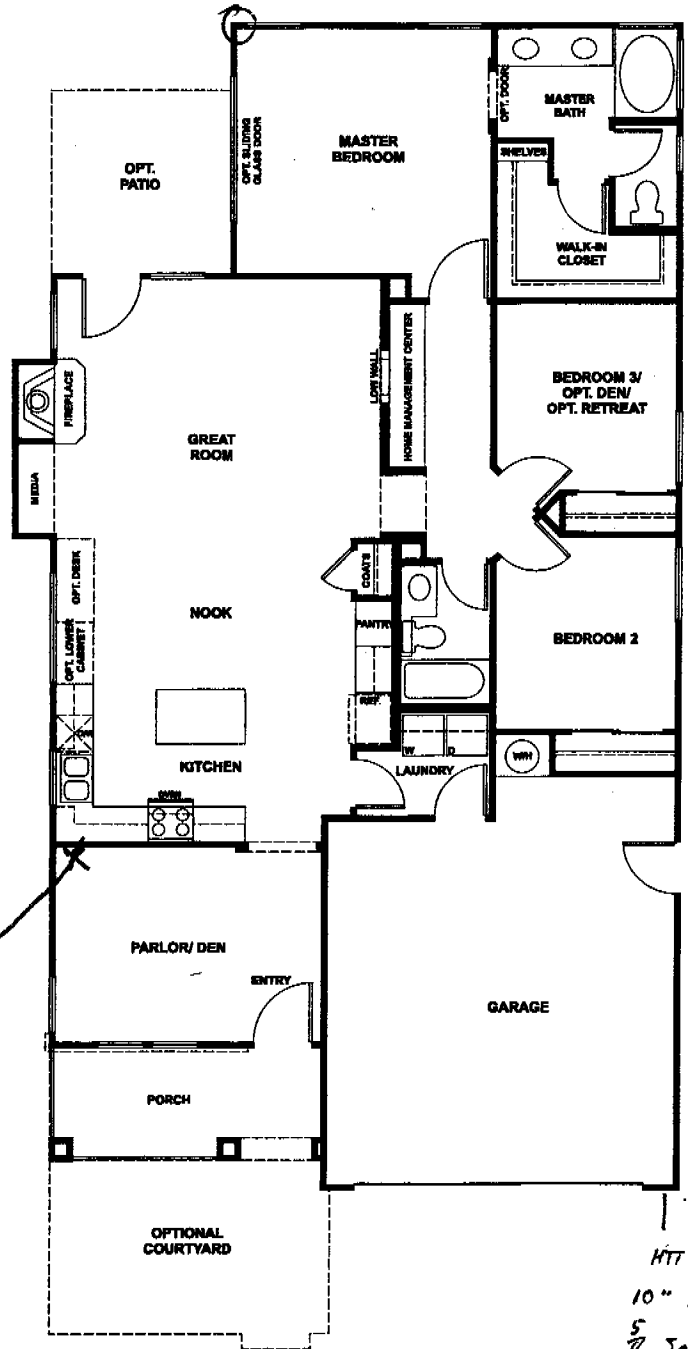
DINING ROOM OPTION



BEDROOM 4 OPTION



COURTYARD OPTION



HTT-22
10" Embed
5/8 307 ROD

HTT-22
10" Embed
5/8 307 ROD

1,593 square feet

3 bedrooms, 2 baths, 2-car garage Lot # 50 Plan 3-C

Kitchen, breakfast nook, great room, parlor/den,

Optional den 2, retreat, bedroom 4, dining room, patio, courtyard



APR. 10. 2002 7:09AM

NO. 877 P. 2

**Engineers, Inc.**

871 Coleman Ave., #200
 San Jose, CA 95110-1831
 Tel: (408) 293-0813
 Fax: (408) 293-0890

Page 1 of 2
 Proj No. 02205
 Tue 04-09-02

Sam
 Richmond Amer. Homes SanRamon
 2001 Crow Canyon Rd #100
 San Ramon, Calif 94583

Re: Richmond Laguna Creek
 Anchor Bolt Replacement
 V&E @ INTERIOR WALL

Dear Sam:

The following may be used to replace missing or incorrectly installed sill plate anchor bolts into existing concrete:

- I. The anchor bolts specified on the plans may be substituted with ITW Ramset/Red Head Carbon Steel or Stainless Steel Trubolt Wedge anchors (ICBO no. ER-1372). The minimum embedment depth into concrete shall be 5.125" for 5/8" diameter bolts or 6.625" for 3/4" diameter bolts. This anchoring system may be used with the following restrictions:
 - a) The anchor bolts on the plans may be substituted with an equal number and diameter of Wedge anchors provided the distance from the concrete edge to the anchor is greater than 7".
 - b) Where the concrete edge distance is at least 2" (5/8" diameter bolts only), equal diameter anchor bolts may be substituted. However, the number of anchor bolts must be doubled. The minimum center-to-center spacing of the anchors shall be 8". Minimum anchor edge distance from the mud sill plate for 5/8" anchors is 1".
 - c) Where the concrete edge distance is at least 2.5", all 5/8" diameter anchor bolts specified on plans may be substituted with 3/4" diameter wedge anchors of equal numbers. Minimum edge distance from the mud sill plate for 3/4" anchors is 1.25".

(Continued on Page 2)

Revised: 11.4.2002, Printed 04-09-02 8:02 AM, Proj No. 02205

APR. 10. 2002 7:09AM

NO.877 P.3

Page 2 of 2
Proj No. 02205
Tue 04-09-02
Richmond Laguna Creek

- II. As another alternative, anchor bolts on plans may be substituted with equal diameter and number if the following system is used:
- a) Simpson RFB anchors installed in hole size of anchor diameter plus 1/8". Install with Simpson SET (ICBO no. ER-5279). Minimum depth of anchor into concrete shall be 5" for 5/8" diameter anchor or 6.75" for 3/4" diameter anchor. Minimum concrete edge distance shall be 1.75". All installations of this type require special inspection.

If you have any further questions, Please don't hesitate to contact me.

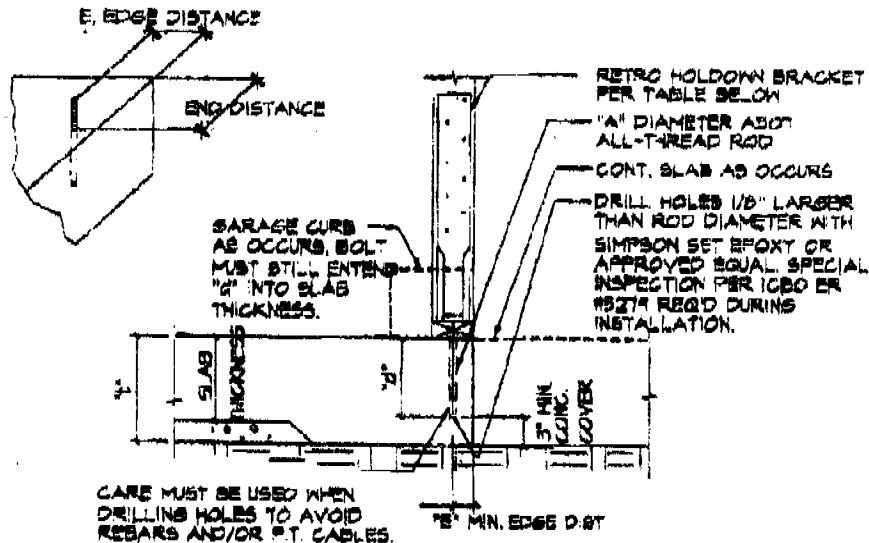
Sincerely yours,


Emily Lin Engineer

APR 10 2002 7:09AM

NO. 877 P. 5

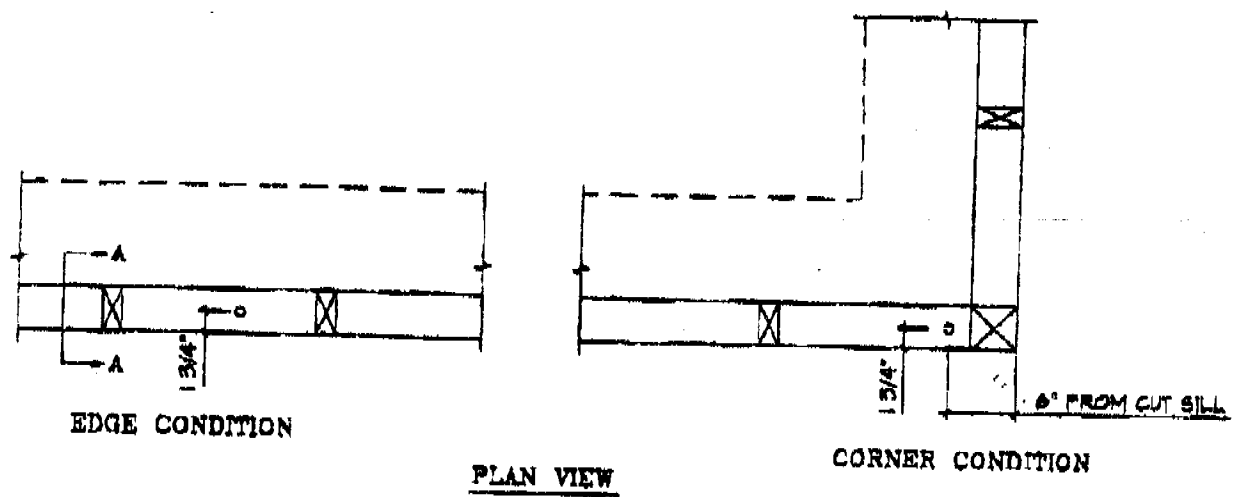
RETROFIT REPAIR DETAIL



HOLDOWN		"A"	"E"	"d"	ALLOWABLE UPLIFT	NOTES
SPECIFIED ON PLANS	RETRO					
PAHD42 HPAHD22 HTT22 STHDB	HTT22	5/8"	1.75" > 8" 1.75"	7" 5" 9"	5250#	END DISTANCE = 8" MIN. END DISTANCE = 3" MIN.
HDBA STHD14 PHDB	PHDB	7/8"	1.75" > 12" 1.75"	6 1/4" 5" 9"	5860#	END DISTANCE = 12" MIN. END DISTANCE = 5" MIN.
PHDB	PHDB	7/8"	1.75" > 12"	7" 5"	6730#	END DISTANCE = 12" MIN.
HDBA	HDBA	7/8"	1.75" > 12" 1.75"	7 5/4" 5" 9"	7460#	END DISTANCE = 12" MIN.
HD10A	HD10A	7/8"	1.75" > 12"	8" 6 1/4"	9540#	END DISTANCE = 12" MIN.

APR. 10. 2002 7:09AM

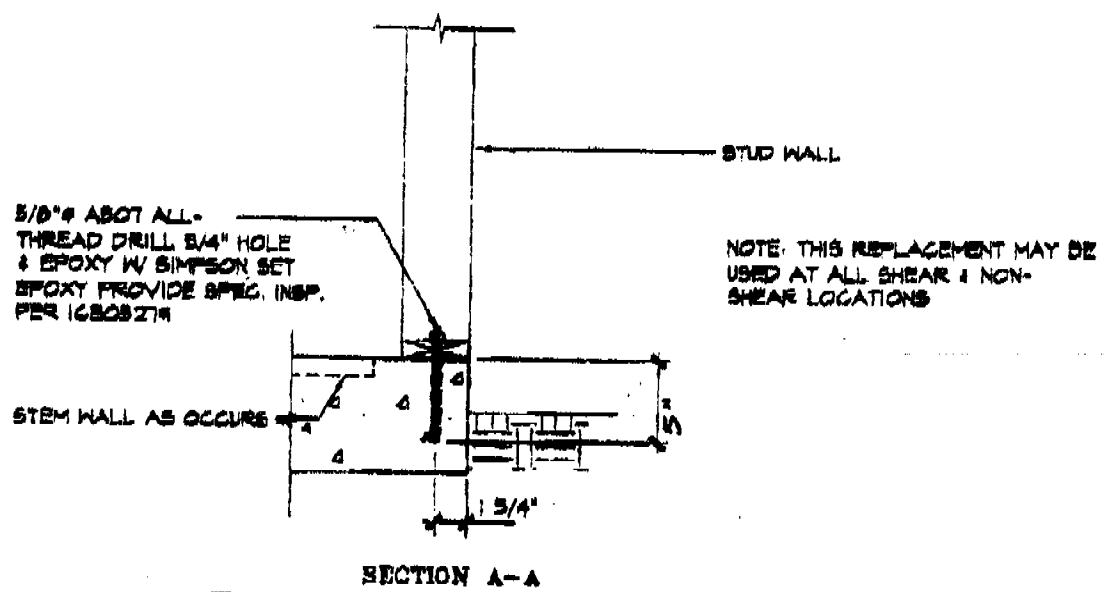
NO. 877 P. 4



EDGE CONDITION

PLAN VIEW

CORNER CONDITION



SECTION A-A

B
 2

ANCHOR BOLT REPLACEMENT DETAIL

USE @ EXTERIOR WALL



6579 Sunnyfield

Epoxy Installations Proofload Testing

Project Name: Laguna Classics Date: 4/26/02 Project No. 91159.5
Project Address: Jacinto and Cent. Inspector: B. Franklin Start _____ Stop _____

Reported to _____

1. Observed Epoxy Installation of; Performed proofload tests on; Anchors installed to 7" embedment
per plans at lot 30 see floor plan for location
installed at _____
2. Observations and testing performed per Structural Engineer's; Manufacturer's specifications. Except as noted.
Reference Number: _____ Dated: _____ Provided by: _____
3. All holes brushed and blown clean prior to installation.
Epoxy Manufacturer: Simpson Hilti Other; _____ Epoxy Name/Type: Set 22
ICBO# ER 5279 Model# _____ Expiration Date 10-03
4. Loads were applied in direct tension by using a calibrated hydraulic ram to the specified load of _____ pounds.
Gauge ID. _____ Ram ID. _____ Date Calibrated _____
5. Loads were applied by use of a torque wrench to the specified load of _____ Ft Lbs.
6. _____ % of the total installed were tested. Total Installed _____ Quantity Tested _____
7. See attached data sheet(s) for location and quantity of anchors tested and the specified applied loads and results
8. All specimens tested were found to be satisfactory with no visible evidence of distress or failure Except as noted.
9. Unusual Circumstances or problems? Non-Compliance report left at Job site.

Notified _____ at job site and _____ at *Terrasearch, Inc.*

Notes/Sketch: See attached notes:

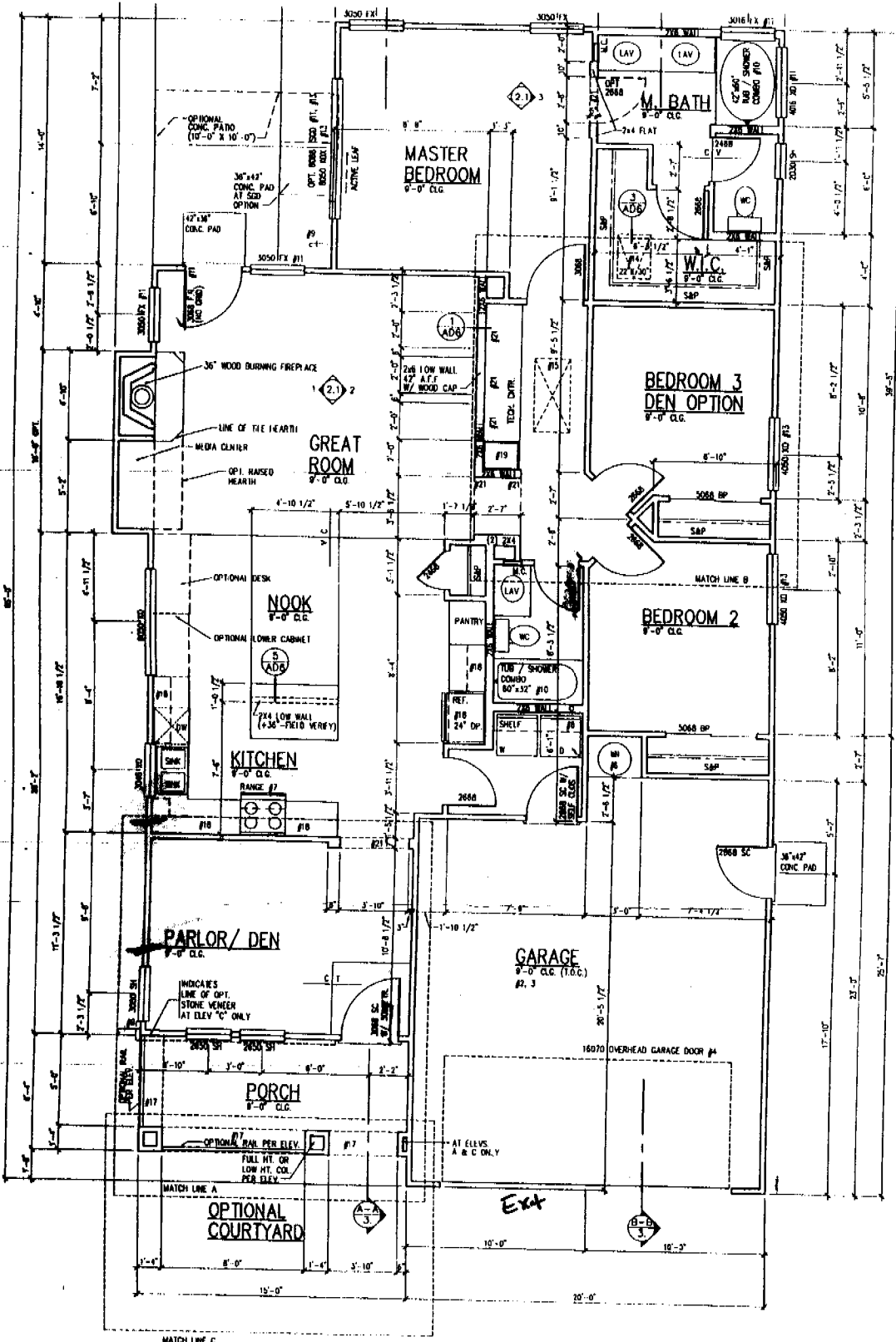
To the best of my knowledge, work inspected was in accordance with the Building Department approved design drawings, specifications & applicable workmanship provisions of the UBC except as noted above.

Inspector: Bryan Franklin

Date: 4-26-02

Received by: _____

Date: _____



bolts installed at
Highlighted marks

MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
-PM

Lot 30

JOB NO.	219430
PROJ. NO.	02, 03
DESIGN BY	GC, RD, SA, W
CHECKED BY	CA, RD
PLAN 3 (1503)	
SHEET TITLE	SHEET
MAIN FLOOR PLAN	2.1
PARTIAL FLOOR PLANS	
INTERIOR ELEVATIONS	

Date: 4/27/02 CLAperson: KY NonCLA:

- | | | |
|--|---|---|
| <input type="checkbox"/> Roof Covered | <input type="checkbox"/> HVAC In-progress | <input type="checkbox"/> HVAC Installed |
| <input checked="" type="checkbox"/> Exterior Covered | <input type="checkbox"/> Plumbing In-progress | <input type="checkbox"/> Plumbing Installed |
| <input type="checkbox"/> Wall Insulation Placed | <input type="checkbox"/> Electrical In-progress | <input type="checkbox"/> Electrical Installed |

Abbreviations:

COV --- covered	IP/C -- in place but COV	NG ---- no good	NV ---- not visible
GT ---- girder truss	N/A --- not applicable	ivIP --- not in place	OK ---- okay
IP ---- in place but NCID	NCID -- not checked in detail	NN ---- not nailed	SW ---- shearwall

Proj No: 2205
Lot No: 30

Re-check Date/Person

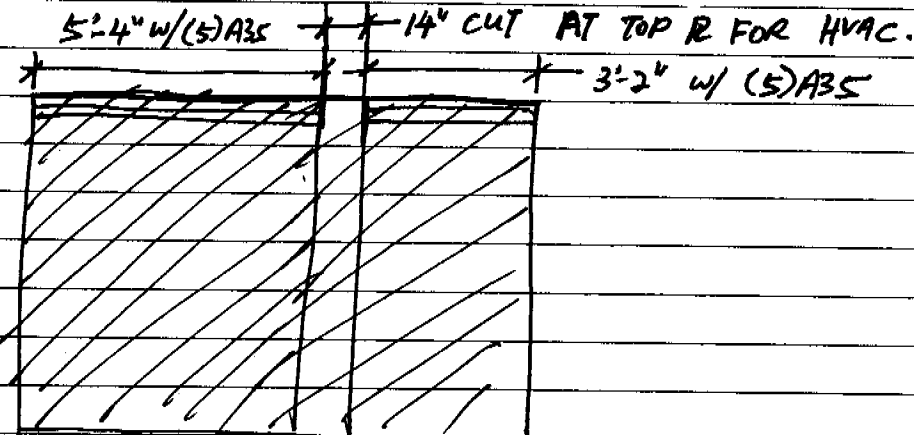
RICHMOND LAGUNA CLASSICS LOT 30-3C

A "P3" SHEAR WALL AT LINE 1 ONLY REQUIRE A MINIMUM LENGTH OF 8'-6".

KY 4/27

B. IT IS FINE TO HAVE SITUATION AS SHOWN FOR P2 SHEAR WALL AT LINE B.

KY 4/27





RICHMOND LAGUNA CREEK
 San Ramon, California

ATTENTION: All exterior studs, headers and connection details, detail flags and section cuts etc. not shown on the MASTER PLAN shall also be applied to the PARTIAL PLANS. (When not specifically indicated, the exception that the space and callouts given on the PARTIAL PLANS shall supersede those on the MASTER PLAN.)

1. Partial framing notes are given here for your convenience, contractor must refer to the Structural Notes on other sheets for its entirety.
 2. HEADERS: The following headers shall be used where header size is not specified on the plans. These noted otherwise, all headers shall be DF-Larch #2 or better.

Supporting ROOF Load only:
 2x4 Wall 2x6 Wall
 up to 4' span 4x6
 4' to 6' span 4x8
 6' to 8' span 4x10
 8' to 10' span 4x12

3. TRUSS HEADER:
 a. Headers for greater bays shall follow plan specifications. When not specified, headers shall use H&B41C.
 b. JACO bays headers for other bays shall be Simpson hangers listed below.

Regular Trusses:
 USSB for up to 27' span
 USSD for up to 39' span
 USSD for > 39' span

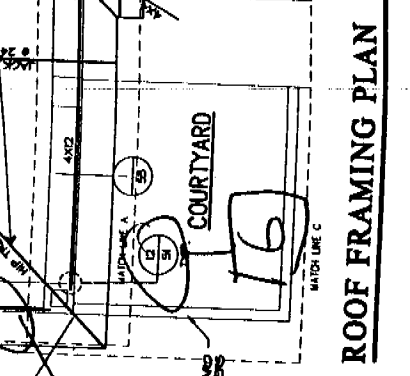
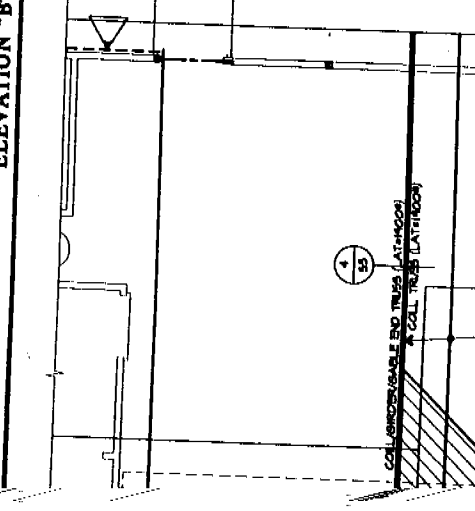
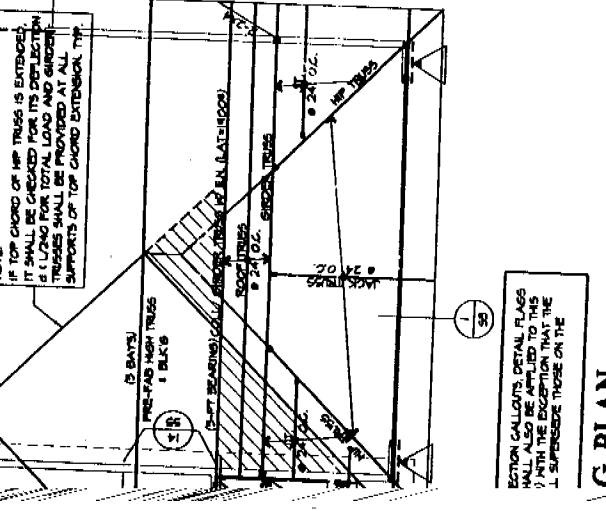
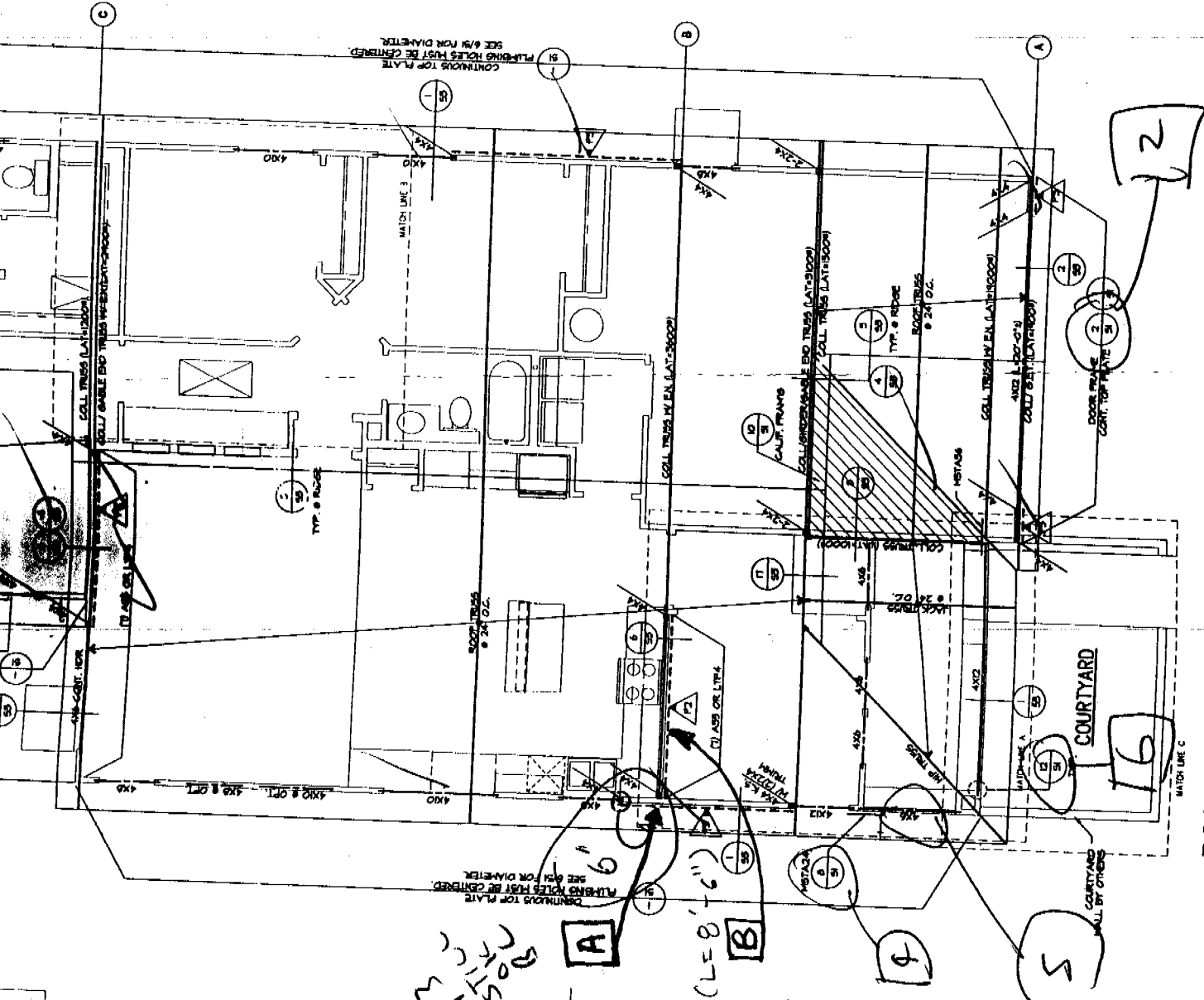
Hp Trusses:
 SUR/26 for up to 12' span
 SUR/30 for up to 16' span
 SUR/30 for > 16' span

4. Roof sheathing may be CDX or OSB, and shall be one of the following:
 1/2" with 24x40 span rafter
 1/2" with 24x40 span rafter
 5/8" with 24x40 span rafter

5. Roof edge-calling of bd at 6' o.c. shall be applied along the full length of all collector trusses. All California Framing shall have roof sheathing covering both the main roof and the lower roof. Rafter spans for the California Framed areas shall be as follows:
 2x4 at 24' o.c. for a maximum span of 8'-4"
 2x6 at 24' o.c. 10'-0"
 2x6 at 24' o.c. 15'-0"

6. Call collector trusses.

7. STOPS: Note: The optional HF studs allowed below shall not be used when the Shear Wall Schedule requires DF studs for lateral strength.
 a. Exterior Walls: Interior Bearing/Shearwalls
 * when supporting 2 story Bearing/Shearwalls
 * up to 12' Tall, 2x4 studs at 16' o.c., regardless the height, use 2x6 studs or better.
 * up to 12' Tall, 2x4 studs at 16' o.c., may be 1x4 or DF-Larch #2 or better.
 * more than 12' Tall, 2x6 studs shall be 1x4 or DF-Larch #2 or better, unless noted out differently on plans.
 b. Interior Walls: 2x4 studs, may be 1x4 or DF-Larch #2 grade or better spaced 16' or 24' o.c.
 * more than 14' Tall, all studs shall be 2x6 1x4 or DF-Larch #2 grade or better spaced at 16' o.c. unless called out differently on plans.
 c. Bearing Walls: studs with holes greater than 2 3/8" diameter shall be 2x6 studs, bearing walls and shearwalls, studs with holes greater than 1 3/8" diameter shall be 2x6.
 d. PLATES: The optional HF plates allowed below shall not be used when the Shear Wall Schedule requires DF studs for lateral strength.
 a. All exterior walls and interior structural bearing/shear walls shall have double top plates and be specified for continuity.
 b. Some plates shall be 1x4 or better or DF-Larch #2 grade or better.



ROOF FRAMING PLAN

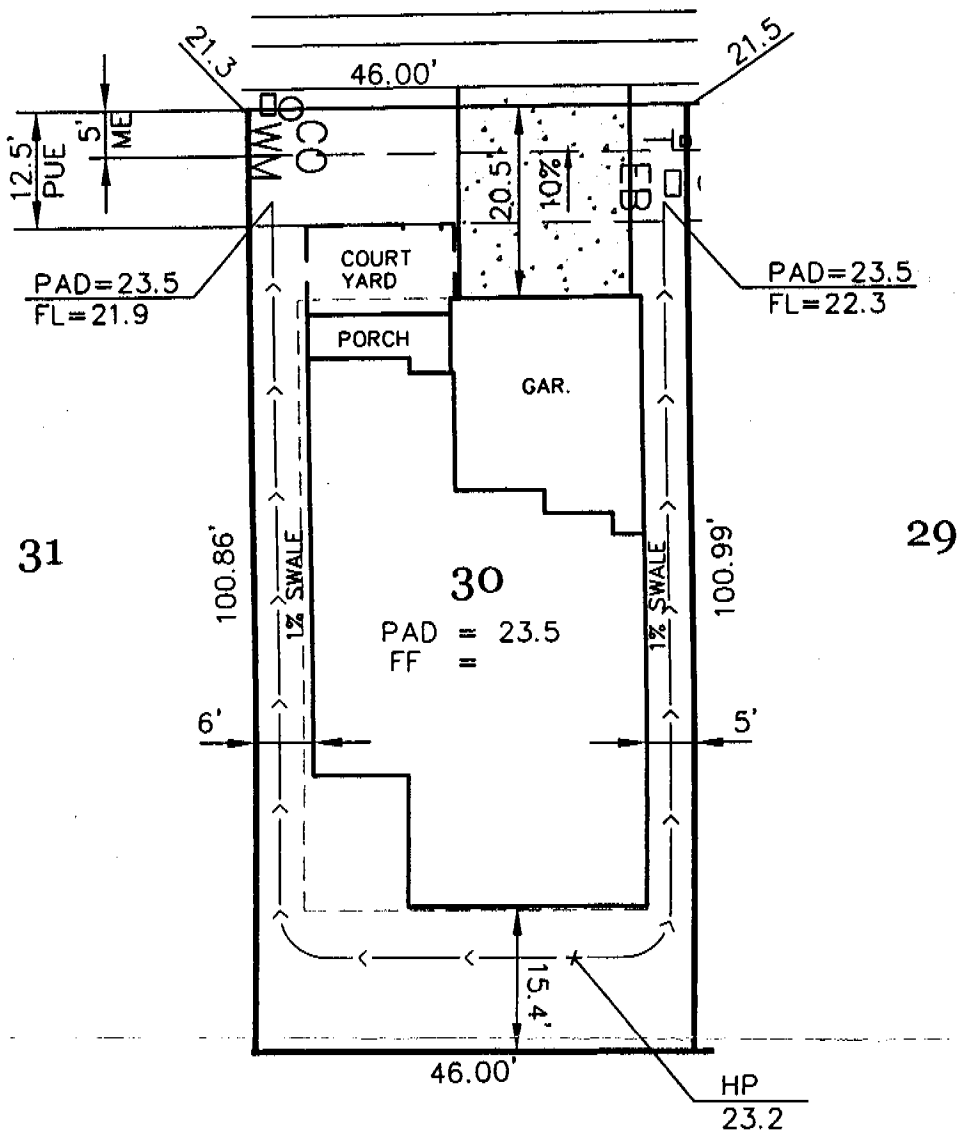
3x3
 1500
 (L=8'-6")

PLAN

SUNNYFIELD WAY



SCALE: 1"=20'



ARLINGTON PARK: PARKSIDE

PLOT PLAN

LAGUNA CREEK
UNIT NO. 3

APN : _____ ADDRESS : SUNNYFIELD WAY
 LOT# 30 PLAN : 3 ELEV. C
 ORIENTATION L COLOR _____
 BED/DEN N/A DECK N/A
 GROSS AREA 4642 SF LANDSCAPE AREA - COVERAGE 45%

UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THIS PLOT WILL NOT BE RESPONSIBLE FOR OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS PLOT. ALL CHANGES TO THIS PLOT MUST BE APPROVED IN WRITING BY THE ENGINEER.

David Evans & Associates, Inc.

JOB : RICH0000 0007 APPROVED BY: _____ DATE: 12/20/2001

RICHMOND AMERICA HOMES
 2001 CROW CANYON ROAD, STE. 100
 SAN RAMON, CA. 94583

LEGEND

- LOT LINE
- CATV CABLE TV RISER
- C CONDUIT RISERS, DRY UTILITIES
- EV ELECTRIC VAULT
- EB ELECTRIC PULL BOX
- ET ELECTRIC TRANSFORMER
- SLPB STREET LIGHT PULL BOX
- ☆ STREET LIGHT
- EM ELECTRIC METER
- T TELEPHONE RISER
- CO SEWER CLEAN OUT
- S STAMPED S IN CURB INDICATING PRESENCE OF SEWER SERVICE
- WM WATER METER
- WV WATER VALVE
- BOV BLOW OFF VALVE IN METER BOX
- ⊕ FIRE HYDRANT
- HANDICAP RAMP
- STORM DRAIN INLET
- ME MAIL EASEMENT
- PUE PUBLIC UTILITY EASEMENT

NOTE: THIS PLOT IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATIONS TO PROPERTY LINE, DESIGN OF DRAINAGE CONTROL ELEVATIONS, AND DIRECTION OF DRAINAGE FLOW TO CONFORM WITH LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE ONLY. ANY DEVIATIONS FROM SLOPES SHOWN, GRADING ON LOT AND SETBACK DIMENSIONS MADE BY THE PROPERTY OWNER MUST BE APPROVED BY THE CITY OF SACRAMENTO.

DUE TO THE UNIQUE CONDITIONS OF THIS LOT, THE BUYER HAS WALKED AND APPROVED THE SITE. SPOT ELEVATIONS ARE APPROXIMATE. FINAL GRADING CONDITIONS MAY VARY. THE INFORMATION ON THIS PLOT PLAN IS PROVIDED FOR YOUR CONVENIENCE AS A GUIDE TO THE GENERAL LOCATION OF THE SUBJECT PROPERTY. THE ACCURACY OF THIS PLOT PLAN IS NOT GUARANTEED, NOR IS IT A PART OF ANY POLICY, REPORT OR GUARANTEE TO WHICH IT MAY BE ATTACHED. ACTUAL DIMENSIONS MAY VARY OR CHANGE WITHOUT PRIOR NOTICE DUE TO ACTUAL SITE CONDITIONS.

SIGNED (BUYER) _____ DATE: _____
 SIGNED (BUYER) _____ DATE: _____